



CITY OF CAMPBELL
Community Development Department

May 19, 2015

NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

| | |
|-----------------------------|--|
| File No.: | PLN2015-124 |
| Applicant: | Marko and Merryl Buric |
| Project Address: | 635 Virginia Ave. |
| Property Owner: | Marko and Merryl Buric |
| Zoning District: | R-1-6 (Single-Family Residential) |
| General Plan: | Low Density Residential |
| Project Description: | Construction of a 372 square-foot addition to an existing single-family residence |

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on May 19, 2015 and ends on May 29, 2015. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **May 29, 2015**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Associate Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@cityofcampbell.com.

Project Location Map

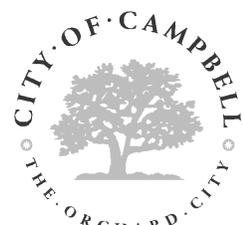
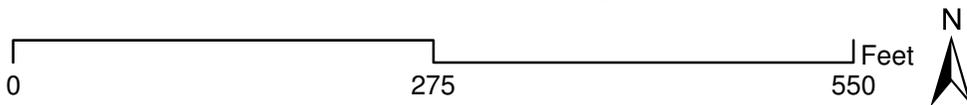


Project Location: 635 Virginia Ave.

Application Type: Admin. Site and Arch. Review Permit

Planning File No.: PLN2015-124

Description: Rear addition to a single-family residence



Community Development Department
Planning Division

**ADDITION TO RESIDENCE OF:
 MARKO & MERRYL BURIC
 635 VIRGINIA AVENUE
 CAMPBELL, CALIFORNIA**

| REVISIONS | BY |
|--------------|----|
| MAY 13, 2015 | LD |
| | |
| | |
| | |
| | |

LOUIS DORCICH
 ARCHITECT
 P.O. BOX 7306, SAN JOSE, CA 95109-7306
 EMAIL: LR.DORCICH@AOL.COM
 PHONE: (831) 430-9748

**ADDITION TO RESIDENCE OF:
 MARKO & MERRYL BURIC
 635 VIRGINIA AVENUE
 CAMPBELL, CALIFORNIA**

TITLE SHEET

| | |
|-------|--------------|
| Date | FEB 30, 2015 |
| Scale | N/A |
| Drawn | LD |
| Job | 14027 |
| Sheet | 1 |
| Of | 4 Sheets |

PROJECT SUMMARY

ASSESSORS PARCEL NUMBER: 406 - 01 - 010

LOT SIZE:
11,625.0 Gross sq. ft. (Property to center line of street)
9,375.0 Net sq. ft.

| DEVELOPMENT DATA: | Square Feet | | Percent of Site | |
|---|-------------|----------|-----------------|----------|
| | Existing | Proposed | Existing | Proposed |
| △ Building coverage | 1611.0 | 1983.0 | 17.2 | 21.2 |
| △ Landscape coverage | 6270.0 | 6108.0 | 66.9 | 65.1 |
| Paving coverage | 1494.0 | 1284.0 | 15.9 | 13.7 |
| △ FLOOR AREA RATIO: Total bldg s.f. divided by net lot size | | | 17.2 | 21.2 |

ADJACENT LAND USES:

| | |
|-------|------------------|
| | Use |
| North | SINGLE FAM. RES. |
| South | SFR |
| East | PUBLIC SCHOOL |
| West | SFR |

PARKING:

| # Standard Spaces | # Compact Spaces | # Disabled Spaces | # TOTAL PARKING |
|-------------------|------------------|-------------------|-----------------|
| 2 | | | 2 |

RESTAURANT AND ASSEMBLY USES:
 Seating Count N/A

RESIDENTIAL PROJECTS:

| | UNIT TYPE A | UNIT TYPE B | UNIT TYPE C | UNIT TYPE D |
|--------------------------------|-------------|-------------|-------------|-------------|
| △ Living Area (square footage) | 1758 | | | |
| △ Garage Area (square footage) | 225 | | | |
| △ Total Area (square footage) | 1983 | | | |
| Number of Bedrooms | 4 | | | |
| Total Number of Units per Type | 1 | | | |

1 COVERED
 1 OPEN (APRON)

| REVISIONS | BY |
|--------------|----|
| MAY 13, 2015 | b |
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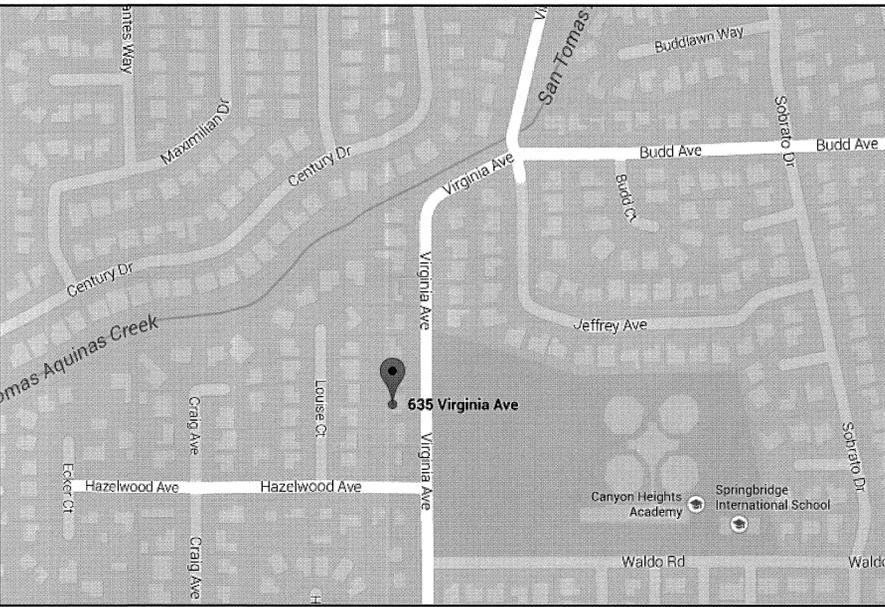
PROPOSED ADDITION / REMODEL TO:
BURIC RESIDENCE
 635 VIRGINIA AVE.
 CAMPBELL, CALIFORNIA

SITE PLAN PROJECT DATA

Date: 03/23/15
 Scale: as shown
 Drawn: MaB / LD
 Job: 14027
 Sheet: 1 of 4 Sheets

DRAWING INDEX

- SHEET NO.
 1 SITE PLAN & PROJECT DATA
 2 EXISTING & PROPOSED FLOOR PLANS
 3 EXTERIOR ELEVATIONS & STREET SCAPE
 4 CROSS SECTIONS



VICINITY MAP

GENERAL NOTES

- ALL CONSTRUCTION MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF THE CRC, LOCAL CODES, AND AUTHORITIES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
- CONTRACTORS AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR THE DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT ANY WORK, NOTIFY THE ARCHITECT FOR INSTRUCTION ON HOW TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT INSTRUCTION FROM THE ARCHITECT THE CONTRACTOR SHALL MAKE GOOD THE RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT. SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS.
- THE GENERAL CONTRACTOR SHALL CONFORM HIS OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE LAWS, LOCAL ORDINANCES, PERMITS AND CONTRACT DOCUMENTS. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY MANNER FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUN CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS THAT RESULT AS A PART OF HIS OPERATION.
- ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY EXCAVATING OR CUTTING, OR OTHERWISE ALTERING THE TOTAL WORK OF ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- NO PORTION OF WORK REQUIRING SHOP DRAWINGS OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES.
- DIMENSIONS:
 A. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE.
 B. ALL DIMENSIONS ARE TO THE ROUGH UNLESS OTHERWISE NOTED.
 C. CEILING HEIGHT DIMENSIONS ARE FROM FINISH FLOOR SLAB TO FACE OF CEILING.
- PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRIC UNITS, A.C. EQUIPMENT, AND ALL OTHER ITEMS WHERE FURRING OCCURS.
- WHERE LARGER STUDS OR FURRINGS ARE REQUIRED TO COVER DUCTS, PIPING, AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
- VERIFY ALL NEW FINISHES WITH OWNERS BEFORE PROCEEDING. ALL COLORS, ETC. TO BE SELECTED BY OWNERS.
- ALL CABINETS TO BE DESIGNED BY OTHERS. STYLE AND FINISHES SELECTED BY OWNERS.
- ALL KITCHEN APPLIANCES, BATH AND OTHER PLUMBING FIXTURES ACCESSORIES AND ELECTRICAL FIXTURES SELECTED BY OWNERS.
- WINDOWS SHALL BE DOUBLE GLAZE, VINYL FRAME MILGARD, OR APPROVED EQUAL.

OWNERS

MARKO AND MERRYL BURIC
 635 VIRGINIA AVE
 CAMPBELL, CA 95008
 408/480-0230

ARCHITECT

LOUIS R DORCICH, ARCHITECT
 P.O. BOX 7306
 SAN JOSE, CA 95150
 831/430-9748

ENERGY CONSERVATION

FRI ENERGY CONSULTANTS, LLC
 21 N. HARRISON AVE.
 SUITE 210
 CAMPBELL, CA 95008
 408/866-1620

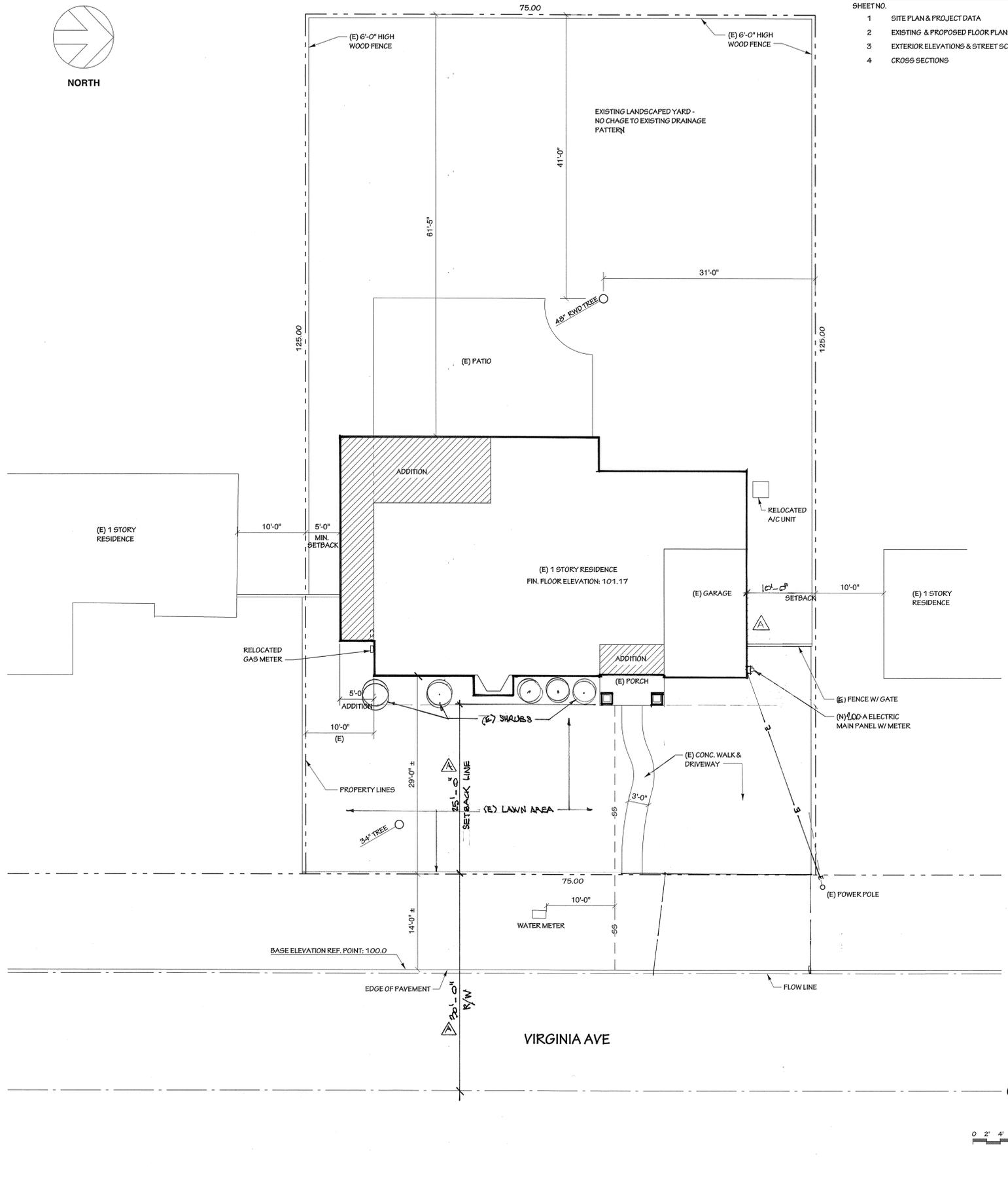
PROJECT ROSTER

| | |
|-----------------------------|------------------------|
| Project Address | 635 Virginia Ave. |
| Assessors Parcel No. | 406-01-010 |
| Zoning | R-1-6 (San Tomas Area) |
| Lot Area | 9,375.0 S.F. |
| Building Floor Area | |
| Existing Residence | 1,536.0 S.F. |
| Proposed Addition | 372.0 S.F. |
| Total Residence | 1,756.0 S.F. |
| Existing Garage | 225.0 S.F. |

| | |
|-----------------------------|---|
| Total Proposed Bldg. | 1,983.0 S.F. |
| Floor Area Ratio | 21.2% Proposed |
| Lot Coverage | 21.2% Proposed (40% Max) |
| Occupancy Group | R3/U |
| Construction Type | VB, Non-Fire Sprinklered |
| Code References | 2013 CRC 2013 CBC 2013 CMC 2013 CEC 2013 CPC 2013 Title 24 2013 CGBSC |
| Jurisdiction | City of Campbell |
| Project Description | Proposed 1 story additions to 1 story residence to add 1 bedroom and bath. No grading or tree removal proposed. |

GENERAL NOTES

PROJECT DATA



SITE PLAN

Scale: 1/8" = 1'-0"

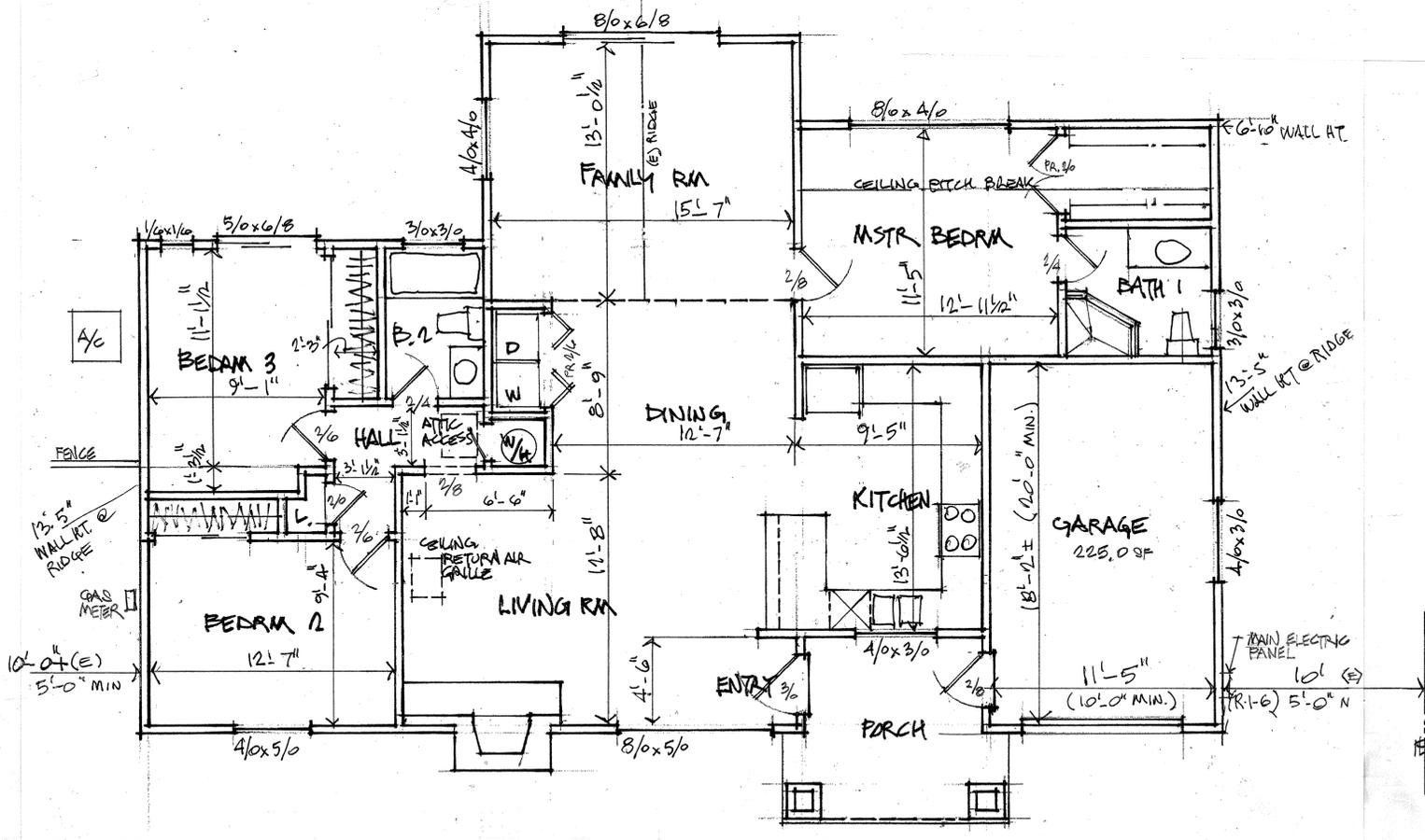
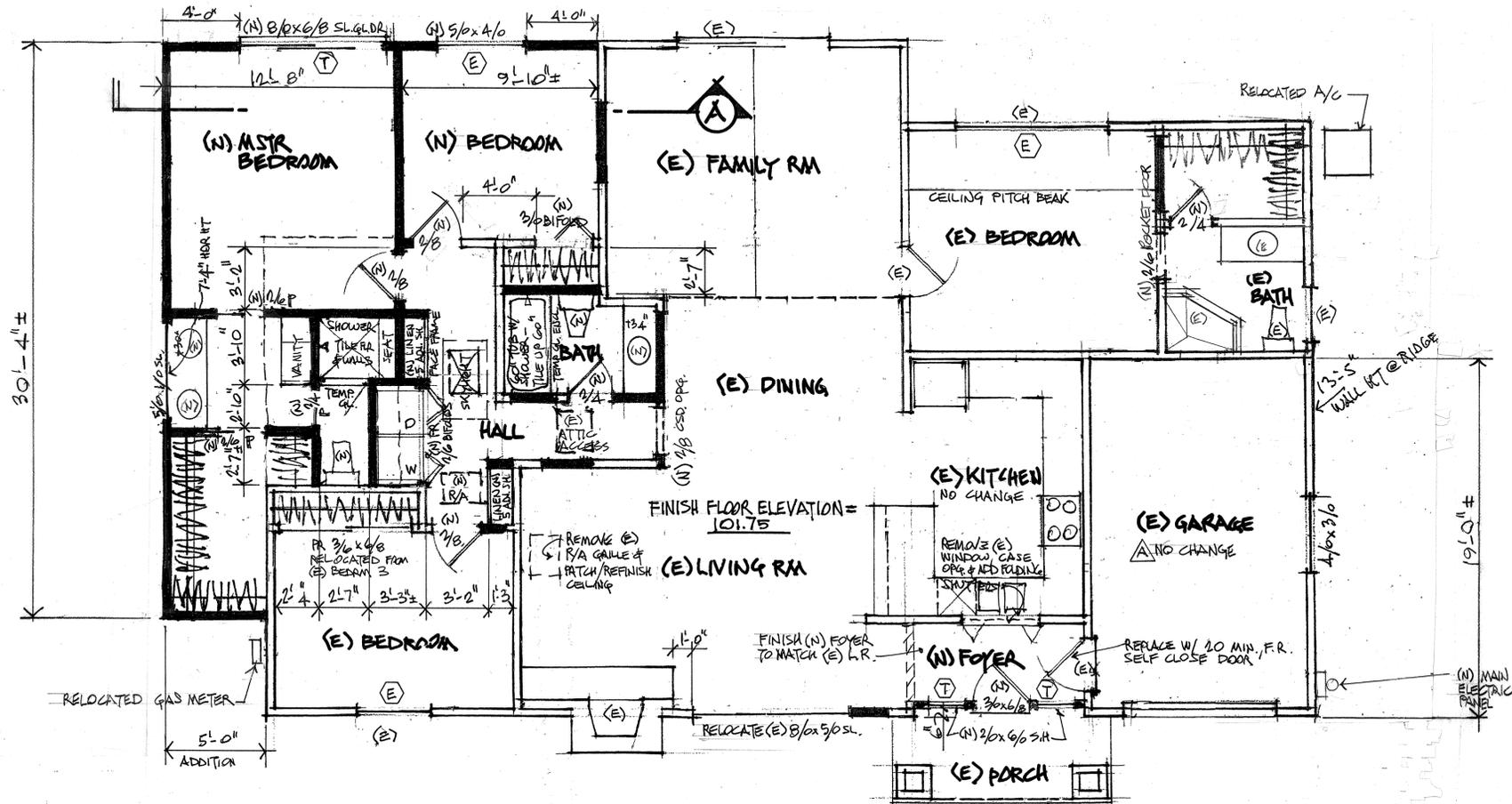
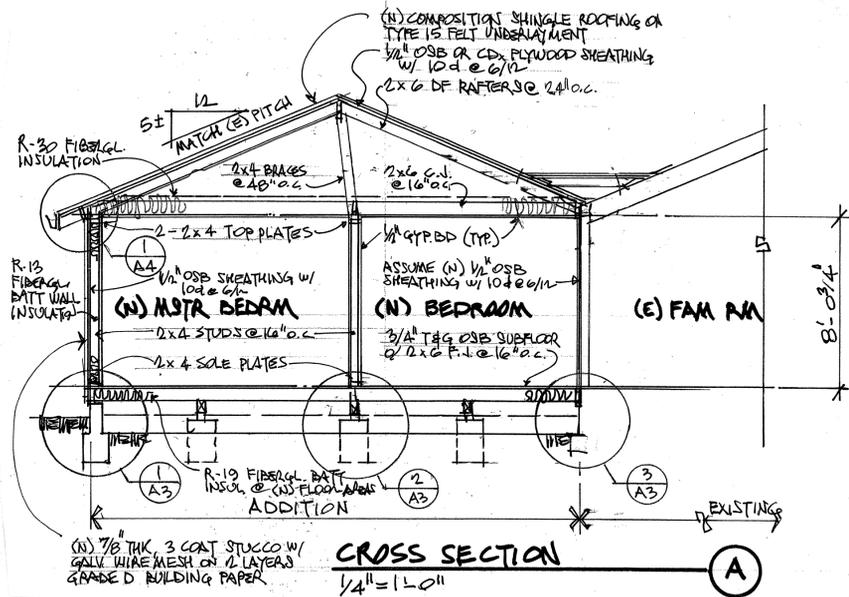
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| MAY 13, 2015 | LD |

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ADDITION TO RESIDENCE OF:
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 CAMPBELL, CALIFORNIA

FLOOR PLANS

Date: FEB 20, 2015
 Scale: AS NOTED
 Drawn: LD
 Job: 14027
 Sheet: 3
 Of 4 Sheets



ADDITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND

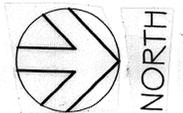
| | |
|-----|------------------------|
| | EXISTING WALLS |
| | NEW WALLS |
| | EXISTING WALLS REMOVED |
| (E) | EXISTING |
| (N) | NEW |
| (E) | EGRESS WINDOW |
| (T) | TEMPERED GLASS |

BATHTUB AND SHOWER TILED WALLS

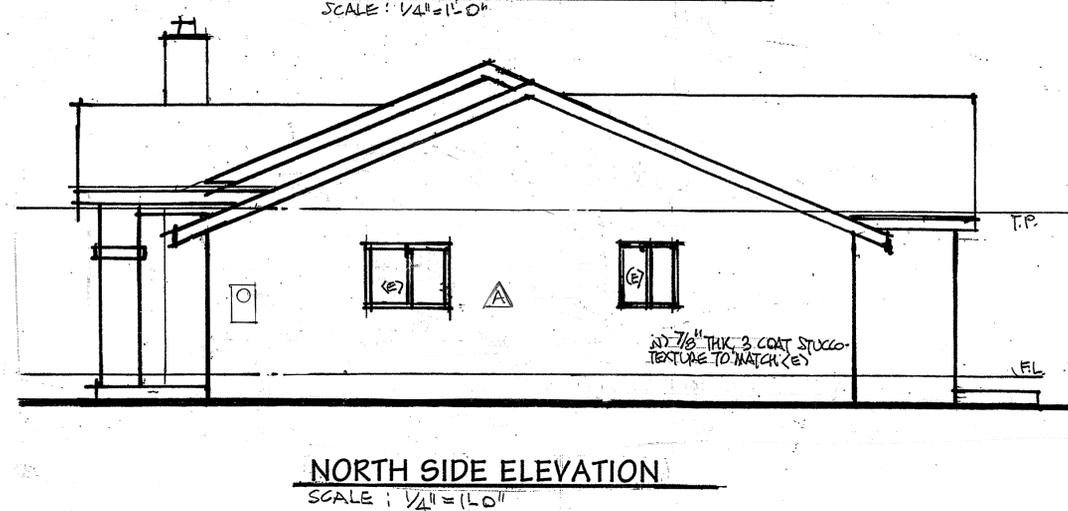
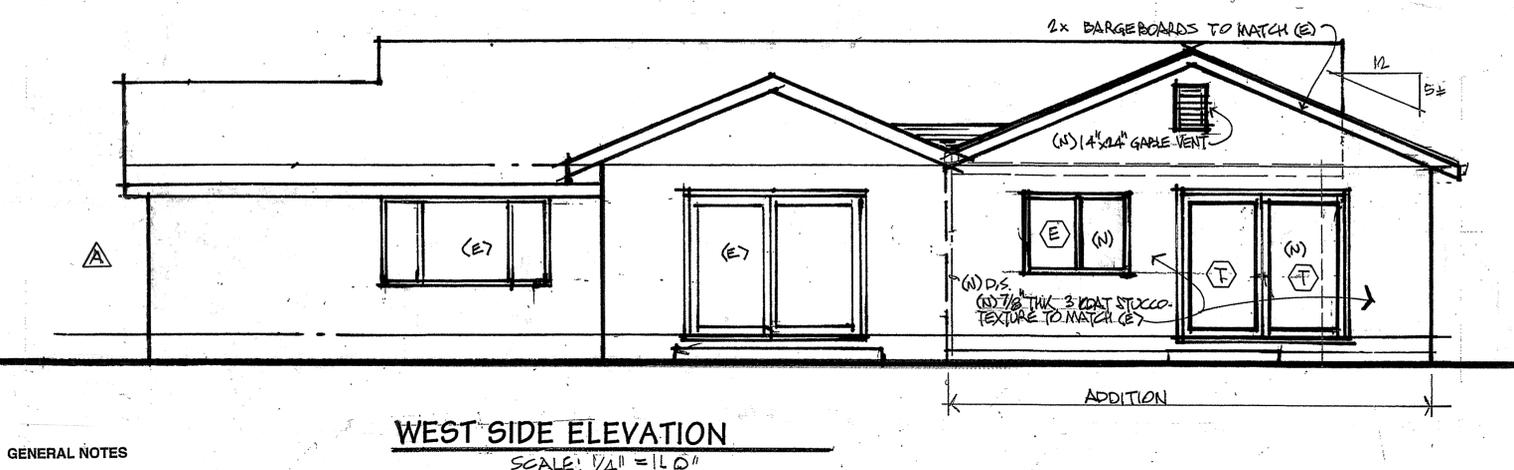
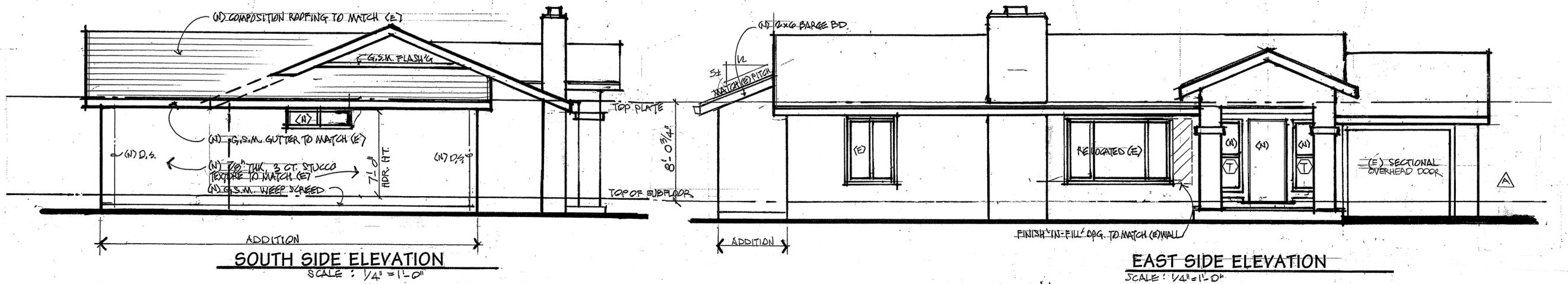
SHOWER AND TUB/SHOWER WALLS TO BE CERAMIC TILE OR OTHER SMOOTH, HARD, NON ABSORBENT SURFACE MATERIAL SET ON MORTAR OR DRY-SET ON 1/2" TILE BACKER BOARD OVER #15 FELT OR EQUAL MOISTURE RESISTANT UNDERLAY + 72" ABOVE DRAIN INLET.

EGRESS REQUIREMENTS

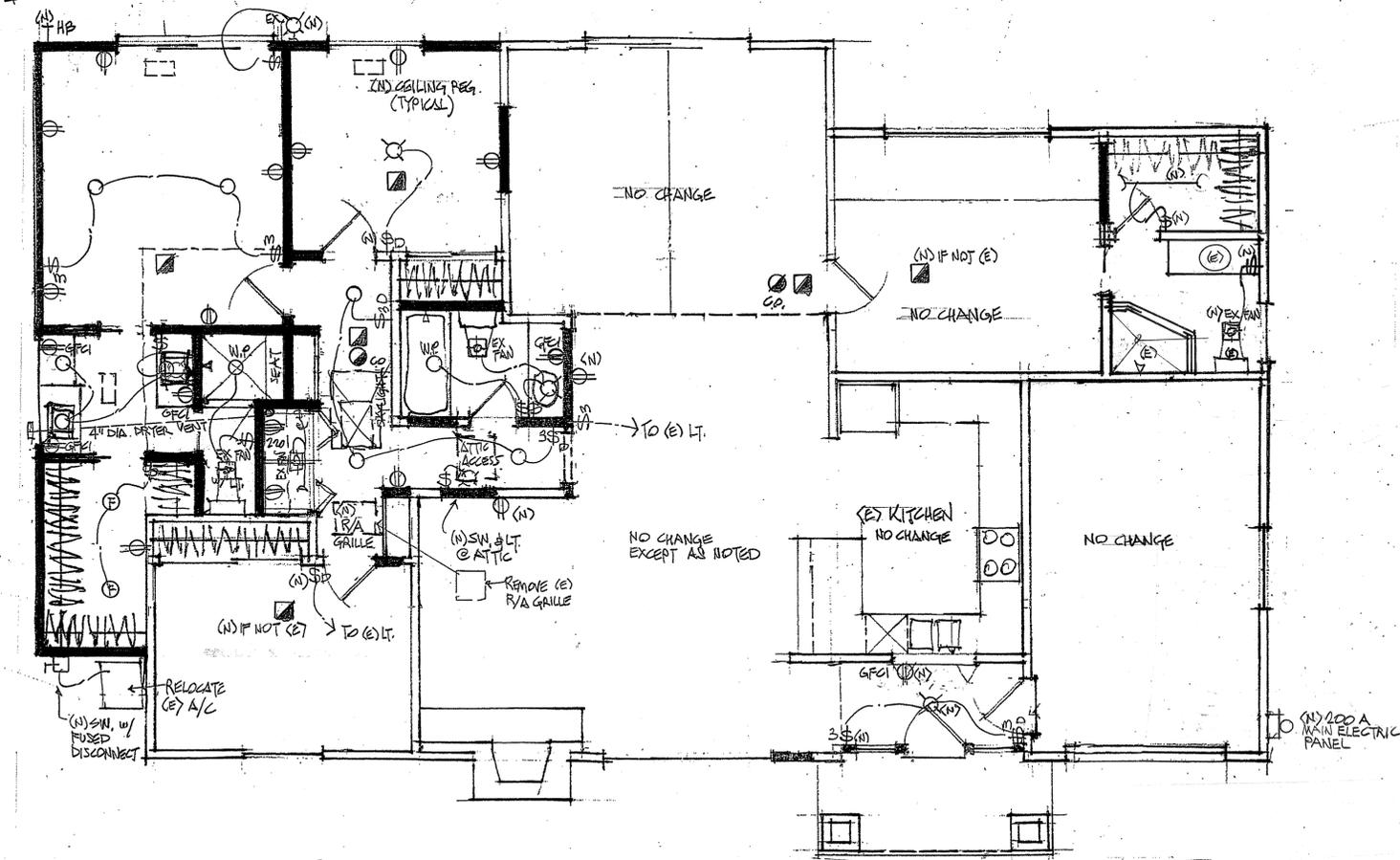
(E) ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ.FT. (ONLY 5.0 S.F. IS REQUIRED AT 1ST FLOOR). THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THE BOTTOM OF THE CLEAR OPENING SHALL BE NOT MORE THAN 44" ABOVE THE FLOOR.



EXISTING FLOOR PLAN 1386.0 SF
 SCALE: 1/4" = 1'-0"



- GENERAL NOTES**
- LAYOUTS SHOWN ARE SCHEMATIC.
 - ELECTRICAL AND MECHANICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES AND ENERGY COMPLIANCE TITLES AND REQUIREMENTS.
 - INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION.
- MECHANICAL NOTES**
- ACTUAL LOCATION OF THERMOSTATS SHALL BE DETERMINED BY MECHANICAL CONTRACTOR.
 - FURNACES SHALL BE GAS-FIRED A.G.A. APPROVED UNITS. THEY SHALL BE COMPLETE WITH VENTS AND RAIN CAPS. INTERNAL PANELS AND RETURN AIR GRILLES, GAS SHUT OFF CONTROL AND THERMOSTAT. FURNISH EVIDENCE OF COMPLIANCE WITH CALIFORNIA MECHANICAL CODE AND TITLE 24.
 - ALL MECHANICAL WORK SHALL CONFORM TO 2010 EDITION CALIFORNIA MECHANICAL CODE. INSULATE SUPPLY AND RETURN DUCTS OUTSIDE CONDITIONED SPACE.
 - TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (i.e. DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS). PER CMC 504.5.
- ELECTRICAL NOTES**
- ELECTRICAL CONTRACTOR SHALL CONFIRM ALL APPLIANCE AND EQUIPMENT CHARACTERISTICS, ROUGH-IN DIMENSIONS AND CONNECTION REQUIREMENTS AND SHALL ALSO CONNECT ALL APPLIANCES AND EQUIPMENT TO COMPLETE OPERATING CONDITIONS.
 - NEW RECEPTACLES SHALL BE TAMPER-RESISTANT PER CEC SEC. 406.11.
 - ALL ELECTRICAL WORK AND MATERIALS SHALL CONFORM TO THE 2010 CALIFORNIA ELECTRICAL CODE.
 - RECESSED LIGHTS IN INSULATED CEILING SHALL BE I.C. RATED AND AIR-TIGHT (A.T.) RATED.
 - RECEPTACLE OUTLETS IN ALL ROOMS SHALL BE PROTECTED BY AFCI-FI (ARC FAULT CIRCUIT INTERRUPTERS (AFCI)), LISTED TO PROTECT ENTIRE BRANCH CIRCUIT, CEC SEC. 210.12 (NOT IN EXCLUDED).
 - GENERAL LIGHTING IN BATHROOMS SHALL BE FLUORESCENT (MIN. 40 LUMENS PER WATT).
 - RELOCATE RECEPTACLES ACCESSIBLE BY APPLIANCES IN KITCHEN AND DINING ROOMS SHALL BE LOCATED TO THE NEIGHBORING THE WALL. SWITCHES SHALL BE LOCATED TO THE NEIGHBORING THE WALL. SWITCHES SHALL BE LOCATED TO THE NEIGHBORING THE WALL. SWITCHES SHALL BE LOCATED TO THE NEIGHBORING THE WALL.
 - GENERAL USE RECEPTACLES SHALL BE SPACED SO THAT THERE IS A RECEPTACLE WITHIN 6'-0" OF ANY SPACE MEASURED ALONG THE WALL LINE AND FOR ANY SPACE 2'-0" OR GREATER.
 - A DEDICATED 20 AMP CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. THESE CIRCUITS CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION - WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM OUTLET FOR OTHER EQUIPMENT WITHIN THE BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) C.E.C. ARTICLES 210.11(C)(3) & 210.52.
 - ALL EXTERIOR LIGHTS CONTROLLED BY MOTION DETECTOR SWITCHES SHALL BE I.C. RATED AND AIR-TIGHT (A.T.) RATED.
 - ALL NEW SMOKE ALARMS SHALL BE HARD-WIRED ON A LIGHTING CIRCUIT A/C/D/C INTERCONNECTED 120 VOLT AND HAVE BATTERY BACKUP. PER 2010 CEC SECTION 901.2.10.1.2.
 - ELECTRICIAN SHALL FIELD VERIFY LOCATIONS OF ALL OUTLETS, LIGHT FIXTURES AND SWITCHES WITH OWNERS PRIOR TO STARTING WORK.
 - ALL BATHROOM FANS SHALL BE ON A TIMER SWITCH OR HUMIDISTAT.
 - CARBON MONOXIDE ALARMS, A/C, D/C SHALL BE INTERCONNECTED PER CRC.
- PLUMBING NOTES**
- EXTEND ALL CLEANOUTS TO THE BUILDING EXTERIOR, IF MORE THAN 20'-0" FROM A CRAWL HOLE.
 - ALL PLUMBING WORK AND MATERIALS SHALL CONFORM TO 2010 EDITION CALIFORNIA PLUMBING CODE.
 - HOT AND COLD WATER PIPES SHALL BE TYPE "L" COPPER, ABOVE GROUND, WITH SOLDERED JOINTS.
 - DMV PIPES SHALL BE NO-HUB CAST IRON WITH NEOPRENE CONNECTORS OR ABS WITH SOLVENT CEMENT JOINTS. NOTE: VERTICAL WASTE LINES TO BE NO-HUB CAST IRON IF ABS PIPES ARE USED FOR DMV SYSTEM.
 - SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURE'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTINGS OF 120 DEGREES F.
 - MAXIMUM FLOW RATES:
 WATER CLOSETS 1.6 GALLONS/FLUSH
 SHOWER HEADS 2.5 GPM
 LAV & SINK FAUCETS 2.2 GPM



ELECTRICAL SYMBOL LEGEND

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|----------|--|----------|-------------------------------------|
| [Symbol] | DUPLEX RECEPTACLE | [Symbol] | SURFACE MOUNTED LIGHT FIXTURE |
| [Symbol] | HOT DUPLEX RECEPTACLE | [Symbol] | WALL BRACKET LIGHT FIXTURE |
| [Symbol] | 220V. 220V. RECEPTACLE | [Symbol] | RECESSED INCANDESCENT LIGHT FIXTURE |
| [Symbol] | W.P. WATERPROOF DUPLEX RECEPTACLE | [Symbol] | STEM OR SWAG LIGHT FIXTURE |
| [Symbol] | DUPLEX RECEPTACLE ABOVE COUNTER HEIGHT | [Symbol] | EX. EXTERIOR LIGHT FIXTURE |
| [Symbol] | JUNCTION BOX BELOW COUNTERLINE | [Symbol] | JUNCTION BOX |
| [Symbol] | GFCI GROUND FAULT CIRCUIT INTERRUPTOR | [Symbol] | FLUORESCENT LIGHT FIXTURE |
| [Symbol] | AFCI ARC FAULT CIRCUIT INTERRUPTOR | [Symbol] | EXHAUST FAN |
| [Symbol] | SWITCH | [Symbol] | TELEVISION OUTLET |
| [Symbol] | DIMMER SWITCH | [Symbol] | RECESSED FLUORESCENT LIGHT FIXTURE |
| [Symbol] | 3 WAY SWITCH | [Symbol] | FLUORESCENT STRIP LIGHT FIXTURE |
| [Symbol] | CHIMES AND PUSH BUTTON | [Symbol] | CIRCUIT BREAKER PANEL |
| [Symbol] | THERMOSTAT | [Symbol] | FLOOR OUTLET |
| [Symbol] | SMOKE ALARM AND DETECTOR - 110V. | [Symbol] | CARBON MONOXIDE DETECTOR |

NOTES:

- HIGH EFFICACY LIGHT FIXTURES TO BE FLUORESCENT WITH ELECTRONIC BALLAST AND MUST BE I.C. RATED AND AIR TIGHT AT INSULATED CEILINGS.
- ALL LIGHTS AND OUTLETS SHOWN ARE NEW.

ELECTRICAL/MECHANICAL PLAN 1/4" = 1'-0"

ADDITION TO RESIDENCE OF:
MARKO & MERRYL BURIC
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 CAMPBELL, CALIFORNIA

EXTERIOR ELEVATIONS
ELECTRICAL/MECHANICAL PLAN