



**CITY OF CAMPBELL**  
**Community Development Department**

May 29, 2015

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 9, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Payman Farzaneh for a Site and Architectural Review Permit (PLN2014-313) to allow the construction of a two-story single-family residence on property located at **1365 Juanita Way** in the R-1-10 (Single Family Residential) Zoning District. Staff is recommending that this project be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

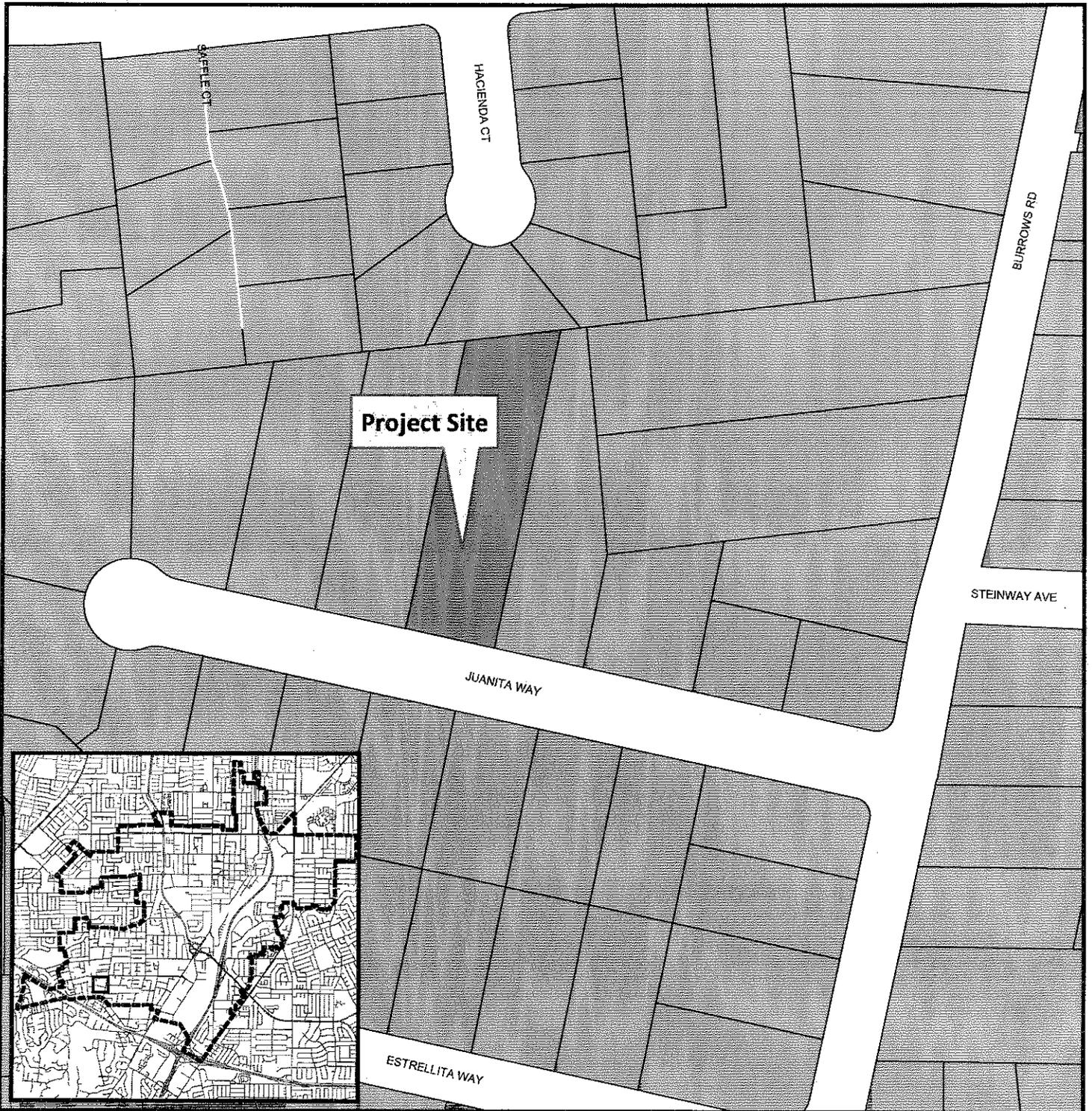
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

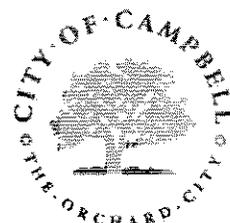
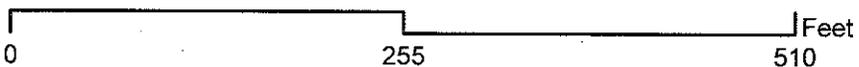
**PLANNING COMMISSION**  
**CITY OF CAMPBELL**  
**PAUL KERMOYAN**  
**SECRETARY**

**PLEASE NOTE:** When calling about this Notice,  
please refer to: **1365 Juanita Way**

# Project Location Map



**Project Location:** 1365 Juanita Way  
**Application Type:** Site and Arch. Review Permit  
**Planning File No.:** PLN2014-262  
**Description:** New Single-Family Residence



Community Development Department  
Planning Division

# NEW SINGLE FAMILY HOME FARZANEH'S RESIDENCE 1365 JUANITA WAY, CAMPBELL CA 95008 APN #: 403-16-016

## PROJECT DATA:

ZONING DISTRICT..... R-1-10  
 NUMBER OF FLOORS..... TWO  
 FIRE PROTECTION..... MFG SPRINKLER  
 CONSTRUCTION TYPE..... VB  
 OCCUPANCY CLASSIFICATION..... R-3U

### APPLICABLE CODES:

2013 CALIFORNIA BUILDING CODE  
 2013 CALIFORNIA RESIDENTIAL CODE  
 2013 CALIFORNIA ADMINISTRATIVE CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA ELECTRICAL CODE  
 2013 CALIFORNIA FIRE CODE  
 2013 CALIFORNIA ENERGY CODE

### ABBREVIATIONS:

CRC..... CALIFORNIA RESIDENTIAL CODE 2010  
 CEC..... CALIFORNIA ELECTRICAL CODE 2010  
 CBC..... CALIFORNIA BUILDING CODE 2010  
 CMC..... CALIFORNIA MECHANICAL CODES 2010  
 UL..... UNDERWRITERS LABORATORY  
 IBC..... INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS

APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR BUILDING IN SUCH A POSITION AS TO BE CLEARLY VISIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. LETTERS OR NUMBERS SHALL BE MINIMUM 4" IN HEIGHT AND STROKE OF MINIMUM 1/2" OF A CONTRASTING COLOR TO THE BACKGROUND ITSELF. ADDRESSING SHALL BE ILLUMINATED AT NIGHT. "CNC" IS 1581.1

PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM PER CRC CALIFORNIA RESIDENTIAL CODE. PROVIDE AUTOMATIC FIRE ALARM SYSTEM PER UNDER SEPARATE PERMIT. THESE INFORMATION IS DEFERRED SUBMITTAL.

ALL NEW AND EXISTING UTILITIES SHALL BE PLACED UNDERGROUND WITH NO EXCEPTION.

## AREAS:

LOT SIZE AREA = 21,432 SQ. FT. = - 0.5 ACRE  
 MAX. ALLOWABLE F.A.R. = 45% = 9,644.4 SQ. FT.  
 PROVIDED F.A.R. = 23.94% = 5,130.9 SQ. FT.  
 MAX. ALLOWABLE LOT COVERAGE = 39% = 7,501.2 SQ. FT.  
 PROVIDED LOT COVERAGE = 16.64% = 3,515 SQ. FT.

GARAGE AREA..... 468.1 SQ. FT.  
 MAIN HOUSE AREA..... 4,732.2 SQ. FT.  
 SECOND FLOOR AREA..... 1,713.2 SQ. FT.  
 POOL HOUSE..... 1,733.0 SQ. FT.  
 TOTAL PROVIDED LOT COVERAGE..... 3,515 SQ. FT.

GARAGE AREA..... 468.1 SQ. FT.  
 MAIN HOUSE AREA..... 4,732.2 SQ. FT.  
 COVERED PORCH..... 1,973.0 SQ. FT.  
 POOL HOUSE..... 1,733.0 SQ. FT.  
 TOTAL PROVIDED LOT COVERAGE..... 3,515 SQ. FT.

## SCOPE OF THE WORK:

DEMOLISH AND REMOVE EXISTING OLD BUILDING AND CONSTRUCT NEW TWO STORY HOUSE PLUS POOL HOUSE AND IN-LAW SUITE PER SITE PLAN.

## CONSULTANTS:

LAND SURVEY, SAN ENGINEERS  
 10014 CANON LANE, LOS ALTOS, CA 94024  
 TEL: (650) 341-8855 FAX: (650) 341-8755

## PARCEL MAP



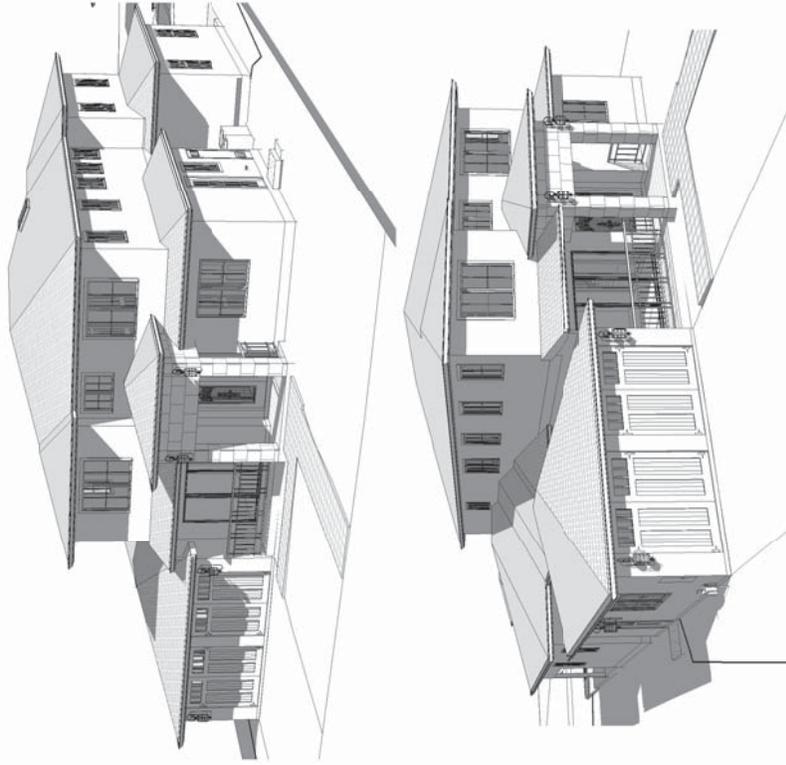
## VICINITY MAP



Sheet Number	Sheet Name
A0	COVER SHEET
A1	SITE PLAN
A2	FIRST FLOOR PLAN (MAIN HOUSE)
A3	SECOND FLOOR PLAN (MAIN HOUSE)
A4	LANDSCAPE PLAN
A5	FRONT & REAR ELEVATIONS (MAIN HOUSE)
A6	FRONT & REAR ELEVATIONS (MAIN HOUSE)
A7	POOL HOUSE PLAN, ROOF ELEVATIONS AND SECTION
A8	MAIN HOUSE CROSS SECTIONS
A9	AREA & LOT COVERAGE CALCULATIONS
A10	PHOTOGRAPHS AND STREET SCOPE
A11	LANDSCAPE PLAN

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A10	PHOTOGRAPHS AND STREET SCOPE
A11	LANDSCAPE PLAN

1 of 4	TITLE SHEET GRADING & DRAINAGE PLANS
2 of 4	GRADING & DRAINAGE PLAN PLUS DETAIL
3 of 4	GRADING & DRAINAGE DETAILS
4 of 4	BLUE PRINT FOR A CLEAN BAY
11	TOPO SURVEY



No.	Description	DATE

871 EAST HAMILTON AVE.  
 SUITE "D"  
 CAMPBELL, CA 95008  
 TEL: (408) 209 8942



DESIGN BY:

## COVER SHEET

NEW SINGLE FAMILY FOR:  
 PAYMAN FARZANEH  
 1365 JUANITA WAY  
 CAMPBELL, CA 95008

DATE: 09-26-2014  
 SCALE:  
 DRAWN:  
 E.K.  
 JOB NUMBER: 2014-R01  
 SHEET

A0  
 SHEETS  
 OF

42420113:1024



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	09/26/2014
2		
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871 EAST HAMILTON AVE.  
SUITE "D"  
CAMPBELL, CA 95008  
TEL: (408) 209 8942



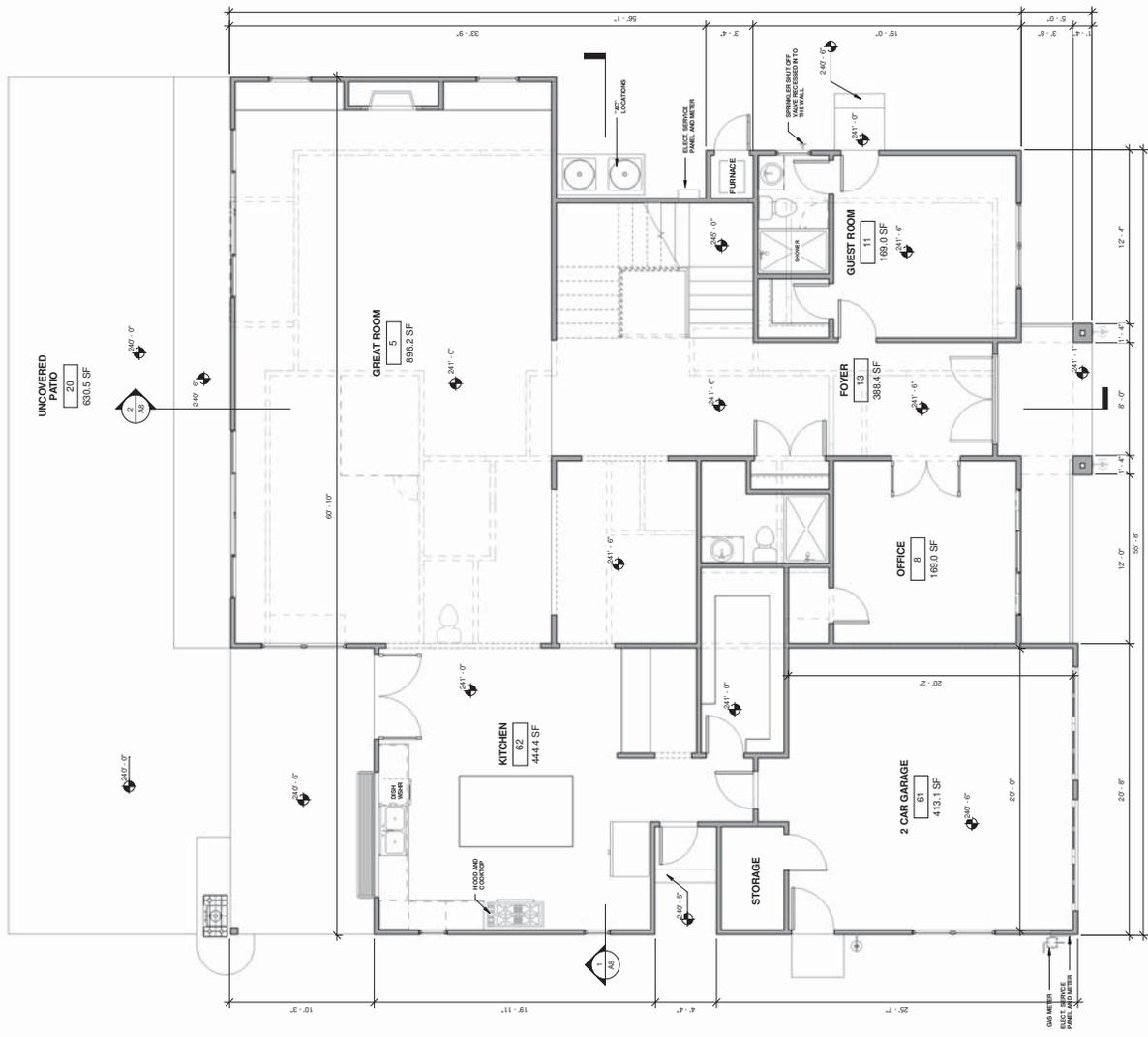
DESIGN BY:  
BAY AREA CONSTRUCTION GROUP, INC.  
FIRST FLOOR PLAN (MAIN HOUSE)

NEW SINGLE FAMILY FOR:  
PAYMAN FARZANEH  
1365 JUANITA WAY  
CAMPBELL, CA 95008

DATE: 09-26-2014  
SCALE: 1/4" = 1'-0"  
DRAWN: B.K.  
JOB NUMBER: 2014-R01

SHEET  
A2  
OF  
SHEETS

1 FIRST FLOOR (MAIN HOUSE)  
A2 1/4" = 1'-0"



DATE: 09-26-2014  
SCALE: 1/4" = 1'-0"  
DRAWN: B.K.  
JOB NUMBER: 2014-R01

SHEET  
A2  
OF  
SHEETS

No.	Description	Date

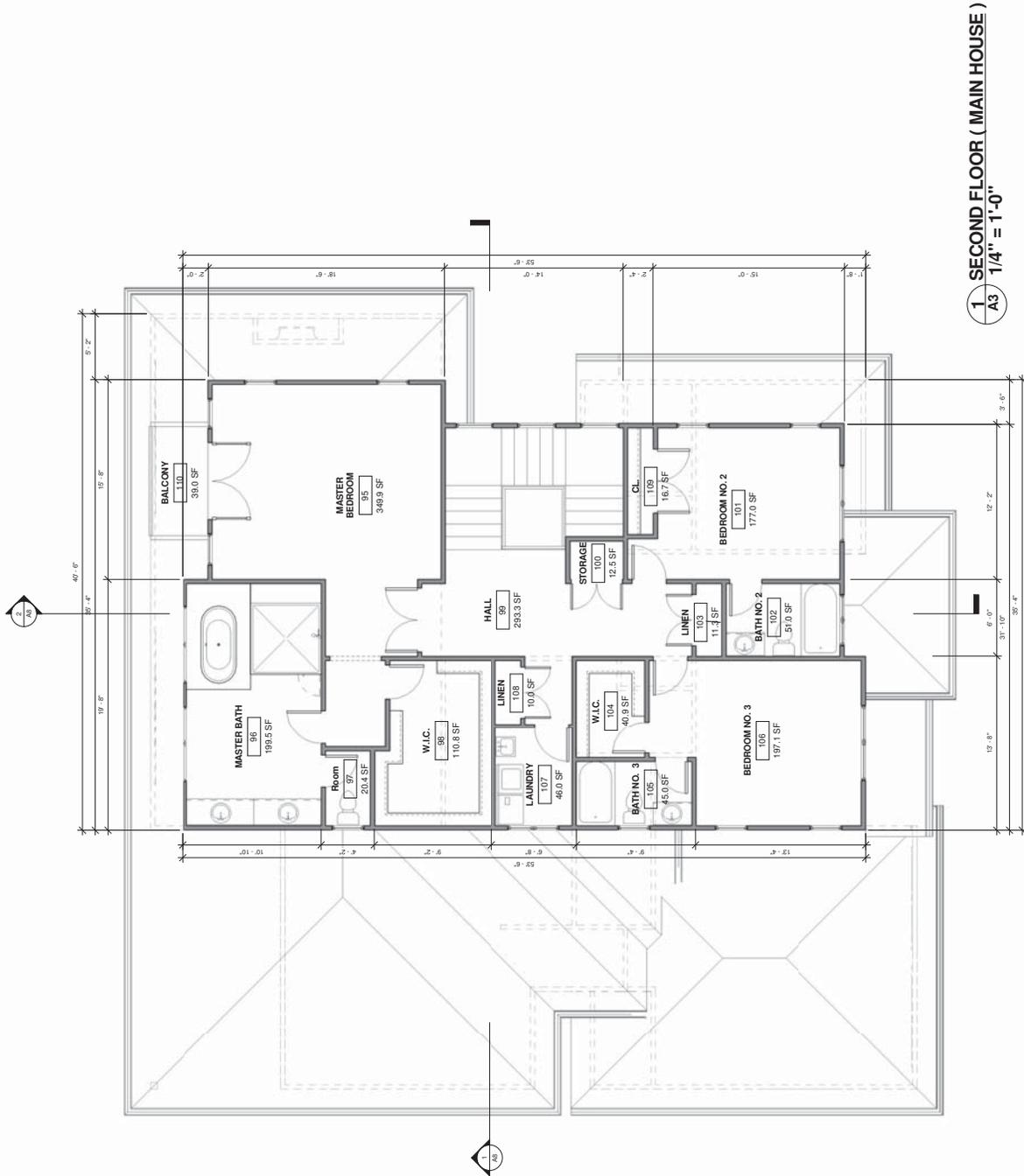
871 EAST HAMILTON AVE.  
SUITE "D"  
CAMPBELL, CA 95008  
TEL: (408) 209 8942

DESIGN BY:  
**BAY AREA**  
CONSTRUCTION  
MEMBER #

SECOND FLOOR PLAN (MAIN HOUSE)

NEW SINGLE FAMILY FOR:  
PAYMAN FARZANEH  
1365 JUANITA WAY  
CAMPBELL, CA 95008

DATE: 09-26-2014  
SCALE: 1/4" = 1'-0"  
DRAWN: B.K.  
JOB NUMBER: 2014-F01  
SHEET  
A3  
SHEETS  
OF



1 SECOND FLOOR ( MAIN HOUSE )  
A3 1/4" = 1'-0"





NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	09-25-2014
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871 EAST HAMILTON AVE.  
 SUITE "D"  
 CAMPBELL, CA 95008  
 TEL: (408) 209 8942



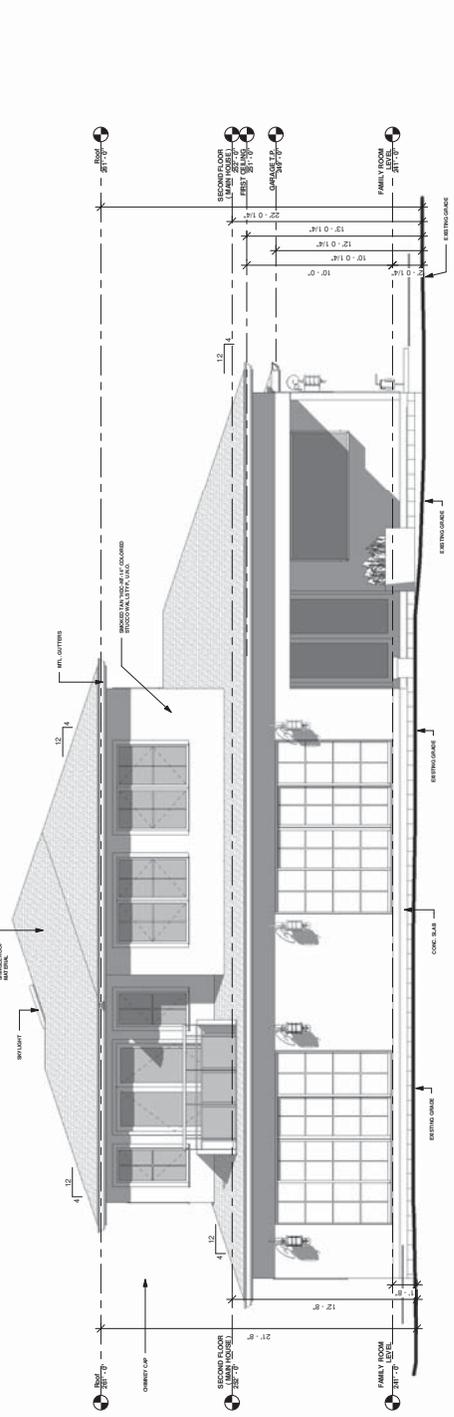
DESIGN BY:

REAR & LEFT ELEVATIONS (MAIN HOUSE)

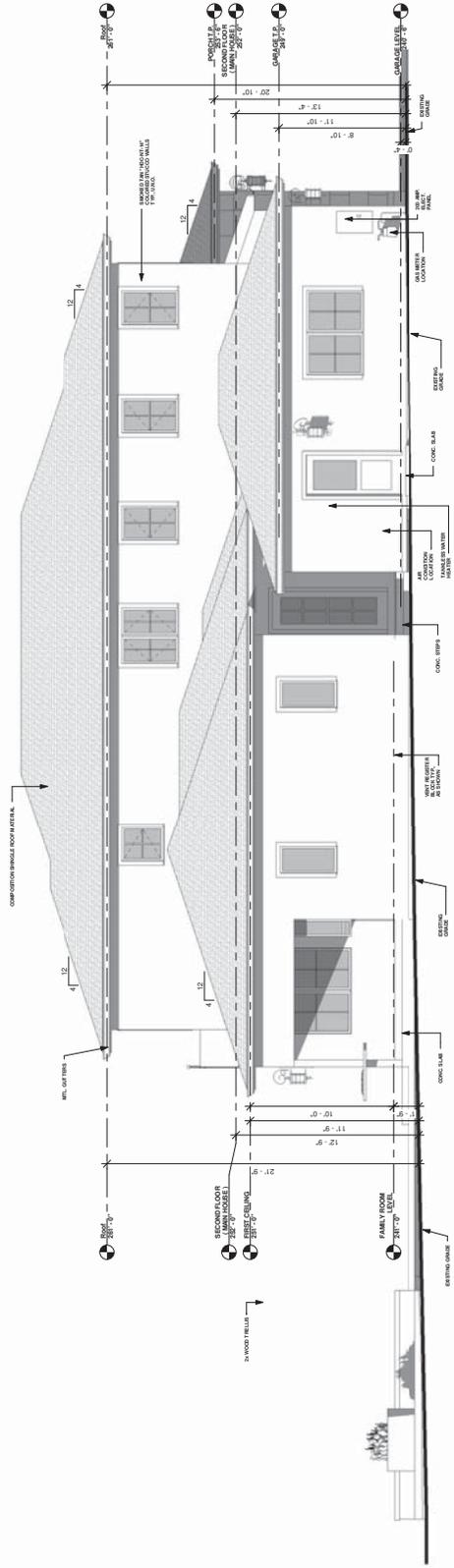
NEW SINGLE FAMILY FOR:  
 PAYMAN FARZANEH  
 1365 JUANITA WAY  
 CAMPBELL, CA 95008

DATE: 09-25-2014  
 SCALE: 1/4" = 1'-0"  
 DRAWN: B.K.  
 JOB NUMBER: 2014-R01  
 SHEET

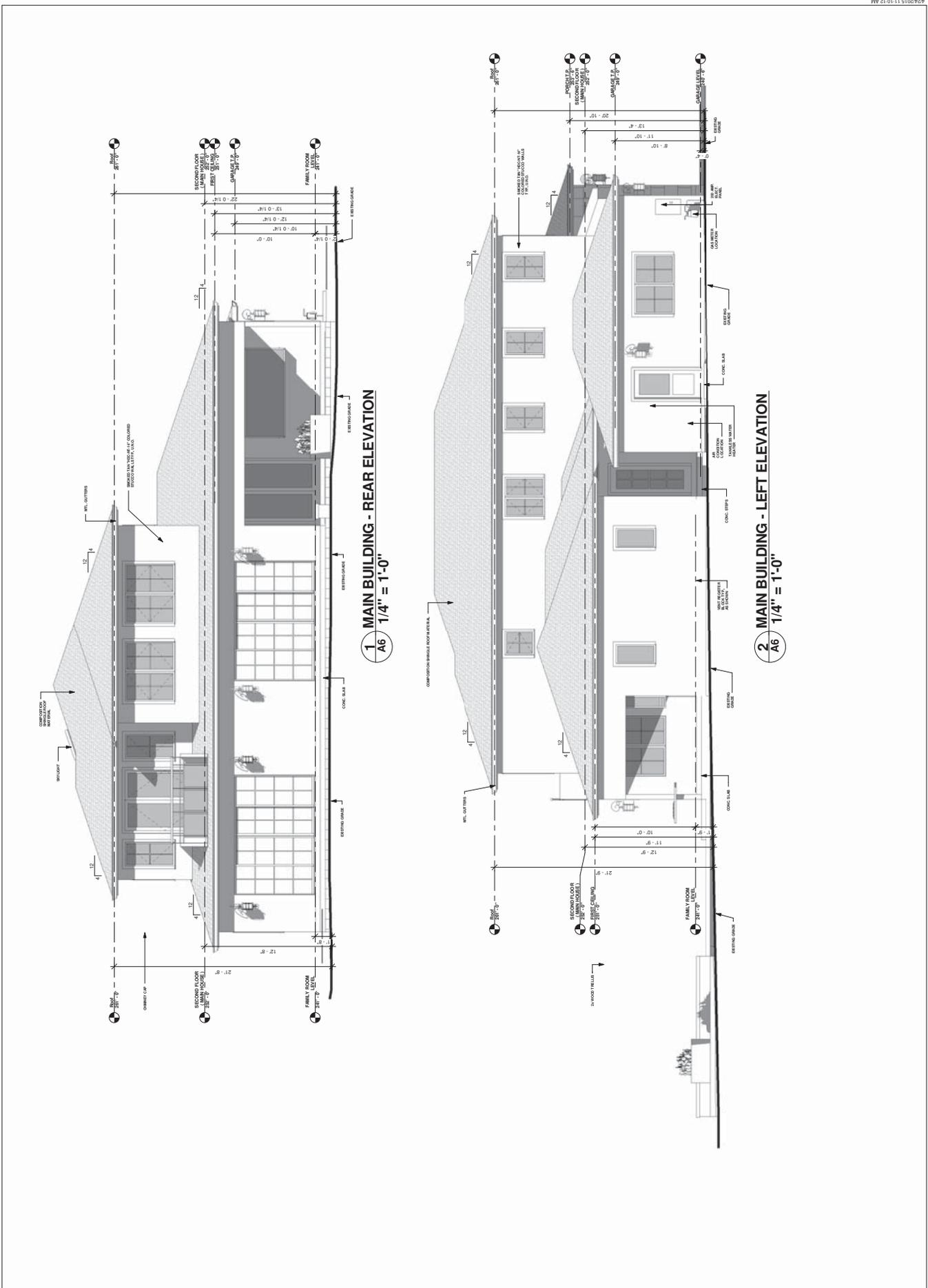
A6  
 SHEETS  
 OF



1 MAIN BUILDING - REAR ELEVATION  
 A6 1/4" = 1'-0"



2 MAIN BUILDING - LEFT ELEVATION  
 A6 1/4" = 1'-0"



NO.	Description	Date

871 EAST HAMILTON AVE.  
SUITE "D"  
CAMPBELL, CA 95008  
TEL: (408) 209 8942

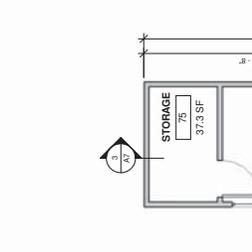
CONSTRUCTION  
BAY AREA  
DESIGN BY :

POOL HOUSE PLAN, ROOF  
ELEVATIONS AND SECTION

NEW SINGLE FAMILY FOR:  
PAYMAN FARZANEH  
1365 JUANITA WAY  
CAMPBELL, CA 95008

DATE: 09-25-2014  
SCALE: 1/4" = 1'-0"  
DRAWN: B.K.  
JOB NUMBER: 2014-R01  
SHEET

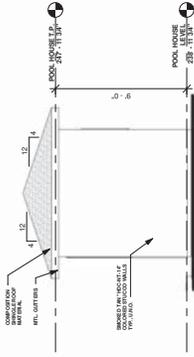
A7  
SHEETS  
OF



1 POOL HOUSE PLAN  
A7 1/4" = 1'-0"



2 POOL HOUSE ROOF  
A7 1/4" = 1'-0"



4 POOL HOUSE - FRONT ELEVATION  
A7 1/4" = 1'-0"



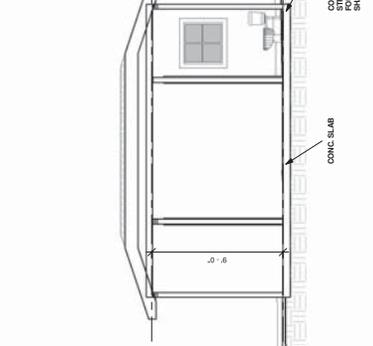
6 POOL HOUSE - REAR ELEVATION  
A7 1/4" = 1'-0"



7 POOL HOUSE - RIGHT ELEVATION  
A7 1/4" = 1'-0"



5 POOL HOUSE - LEFT ELEVATION  
A7 1/4" = 1'-0"



3 SECTION "3" (POOL HOUSE)  
A7 1/4" = 1'-0"

COORDINATE AND FOLLOW  
STRUCTURAL DRAWINGS FOR  
SHAPE AND CONFIGURATION TYP.

No.	Description	Date

871 EAST HAMILTON AVE.  
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TEL: (408) 209 8942

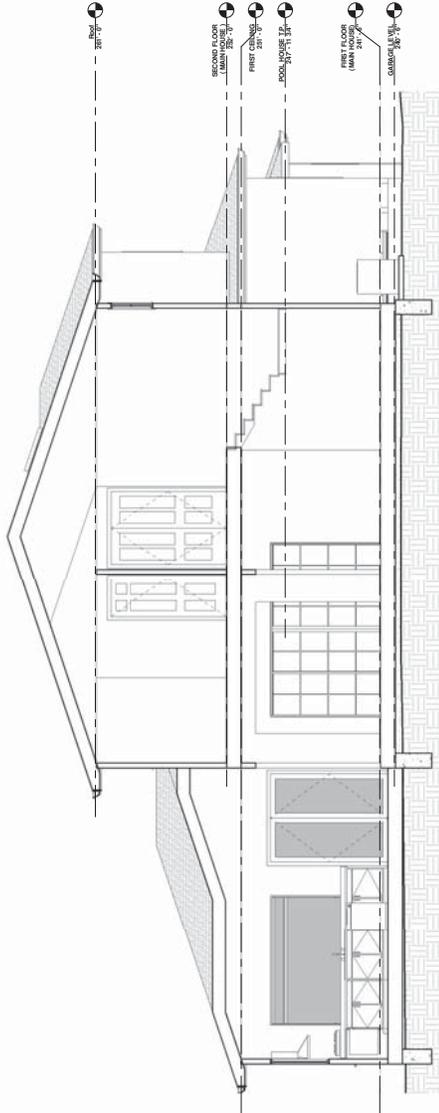


MAIN HOUSE CROSS SECTIONS

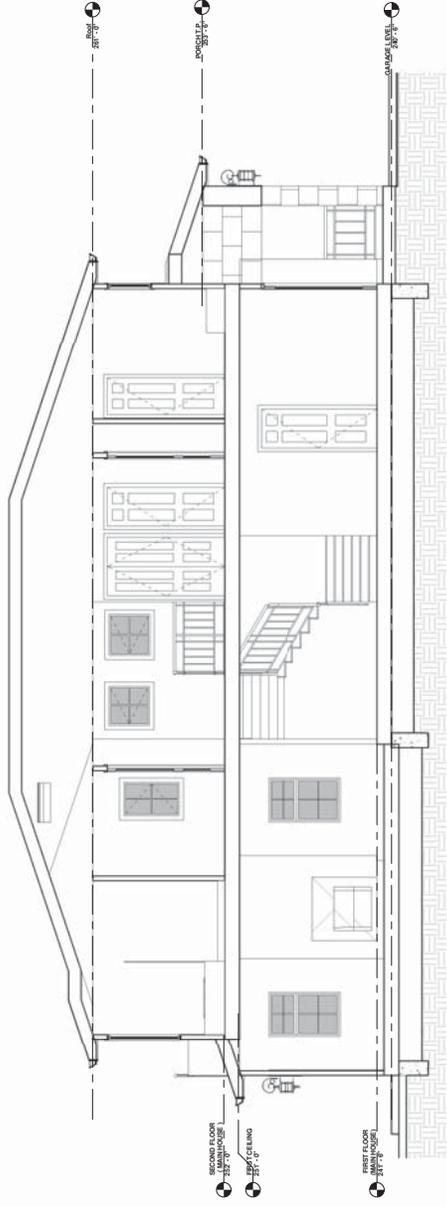
NEW SINGLE FAMILY FOR:  
PAYMAN FARZANEH  
1365 JUANITA WAY  
CAMPBELL, CA 95008

DATE: 09-26-2014  
SCALE: 1/4" = 1'-0"  
DRAWN: Author  
JOB NUMBER: 2014-F01

SHEET  
A8  
OF



1 MAIN HOUSE CROSS SECTION 1  
A8 1/4" = 1'-0"



2 MAIN HOUSE CROSS SECTION 2  
A8 1/4" = 1'-0"

4242013 11:10:13 AM

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	09/26/2014

871 EAST HAMILTON AVE.  
SUITE "D"  
CAMPBELL, CA 95008  
TEL: (408) 209 8942



DESIGN BY :

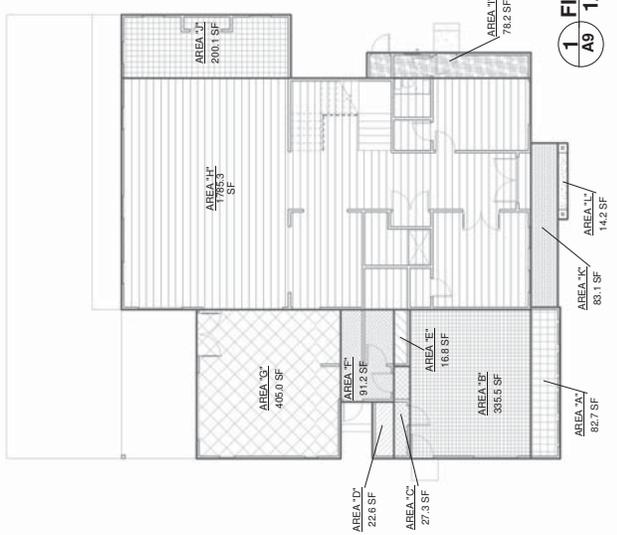
AREA & LOT COVERAGE CALCULATIONS

NEW SINGLE FAMILY FOR:  
PAYMAN FARZANEH  
1365 JUANITA WAY  
CAMPBELL, CA 95008

DATE: 09-26-2014  
SCALE: 1/8" = 1'-0"  
DRAWN: Author  
JOB NUMBER: 2014-FR01  
SHEET

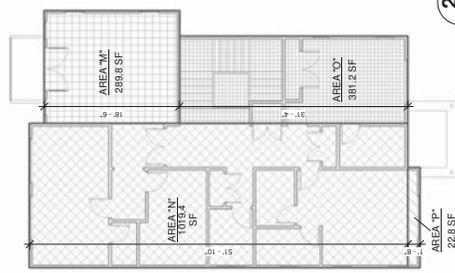
A9  
SHEETS  
OF

SPACE	AREA SQ. FT.	TOTAL SQ. FT.
AREA "A"	82.7	468.1
AREA "B"	385.5	
AREA "C"	27.3	
AREA "D"	22.8	
AREA "E"	16.8	
AREA "F"	91.2	2,776.6
AREA "G"	405	
AREA "H"	1785.3	
AREA "I"	78.2	
AREA "J"	200.1	97.3
AREA "K"	83.1	
AREA "L"	14.2	



1 FIRST FLOOR (MAIN HOUSE)  
A9 1/8" = 1'-0"

SPACE	AREA SQ. FT.	TOTAL SQ. FT.
AREA "M"	289.8	1732
AREA "N"	1019.4	
AREA "O"	381.2	
AREA "P"	22.8	



2 SECOND FLOOR (MAIN HOUSE)  
A9 1/8" = 1'-0"



3 POOL HOUSE  
A9 1/8" = 1'-0"

PROVIDED LOT COVERAGE :  
GARAGE + 1ST FLOOR + COVERED PORCH + POOL HOUSE =  
468.1 + 2776.6 + 97.3 + 173 = 3,515 SQ. FT.

PROVIDED FLOOR AREA RATION:  
GARAGE + 1ST FLOOR + SECOND FLOOR + POOL HOUSE =  
468.1 + 2776.6 + 1,713.2 + 173 = 5,130.9 SQ. FT.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	09/26/2014
2		
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871 EAST HAMILTON AVE.  
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CAMPBELL, CA 95008  
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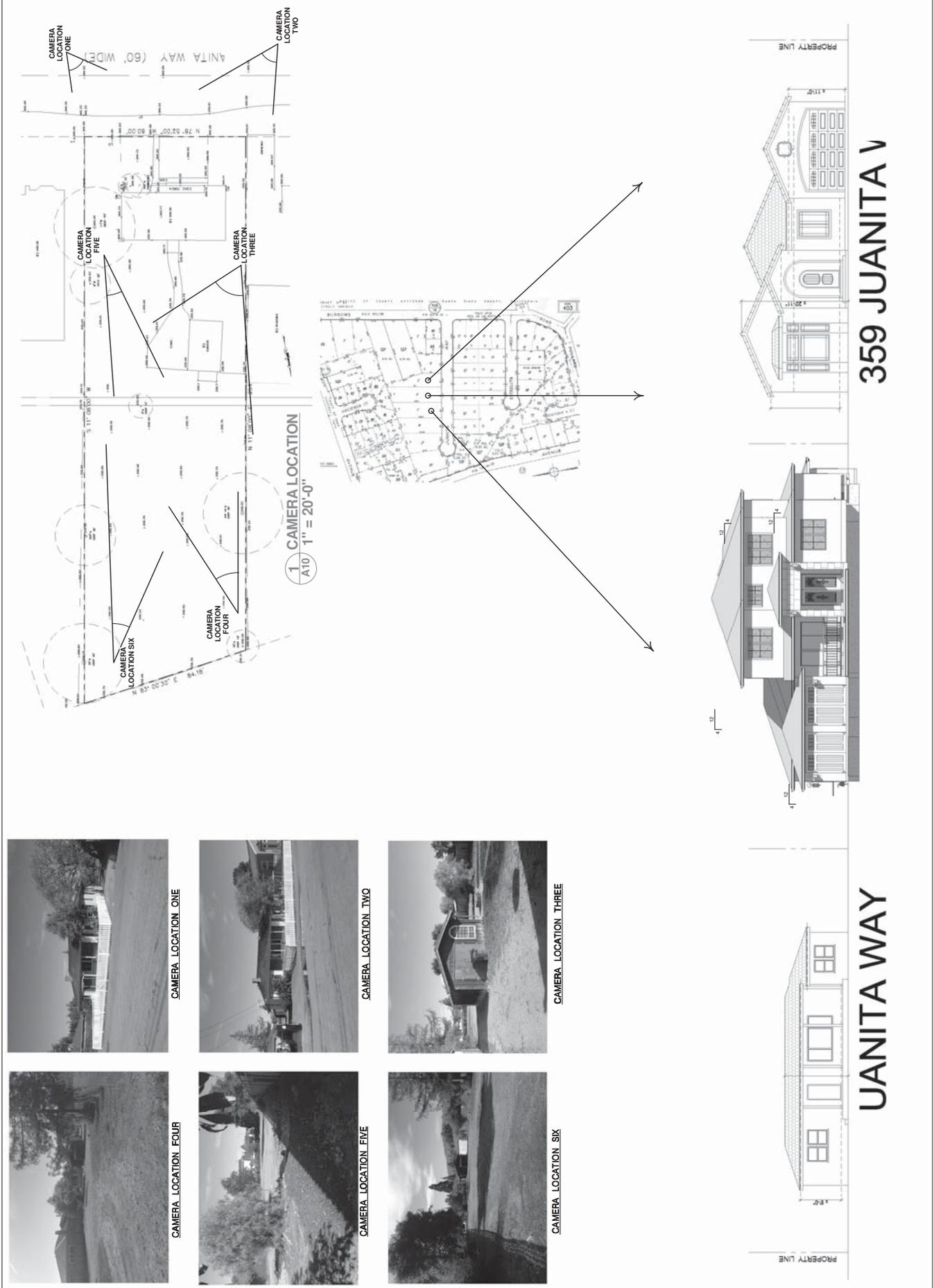
DESIGN BY:  
**BAY AREA CONSTRUCTION**  
MEMBER OF

PHOTOGRAPHS AND STREET  
SCAPE  
CONSTRUCTION

NEW SINGLE FAMILY FOR:  
PAYMAN FARZANEH  
1365 JUANITA WAY  
CAMPBELL, CA 95008

DATE: 09-26-2014  
SCALE: As Indicated  
DRAWN: Author  
JOB NUMBER: 2014-R01  
SHEET

A10  
SHEETS  
OF



CAMERA\_LOCATION\_ONE



CAMERA\_LOCATION\_TWO



CAMERA\_LOCATION\_THREE



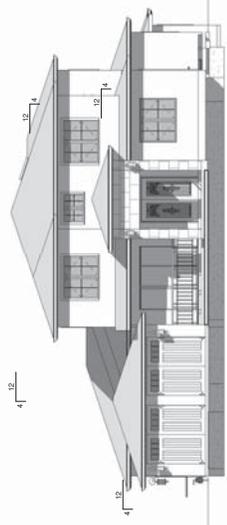
CAMERA\_LOCATION\_FOUR



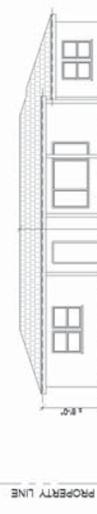
CAMERA\_LOCATION\_FIVE



CAMERA\_LOCATION\_SIX



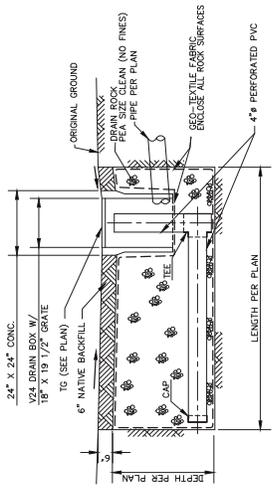
359 JUANITA V



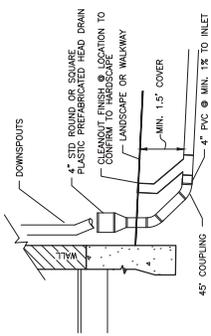
JUANITA WAY



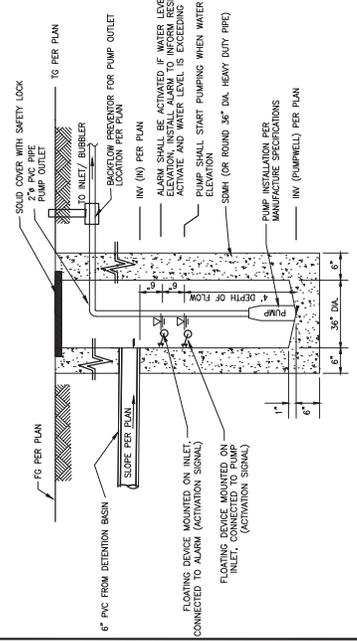




**SHALLOW GRAVEL BASIN**  
ELEVATION VIEW - NTS

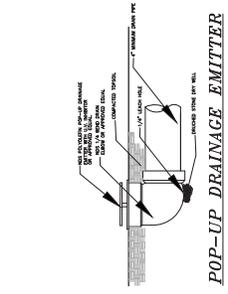


**ROOF DOWN-SPOUT CONNECTION**  
N.T.S.

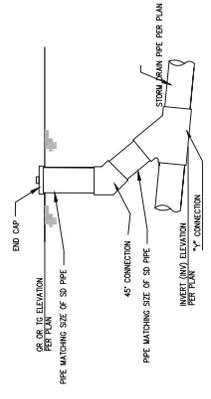


**ELEVATION VIEW**  
**PUMPWELL DETAIL FOR OVERFLOW**  
N.T.S.

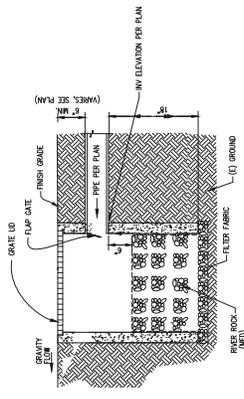
- PUMP NOTES:**
- HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING.
  - PUMPS TO BE CONNECTED TO BACKUP GENERATORS TO PREVENT FLOODING IN CASE OF BLACKOUT.
  - PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.
  - PROVIDE RESERVE PUMP FOR EACH PUMP WELL.
  - PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/LIGHT IN PUMPWELL, TO NOTIFY RESIDENTS OF POSSIBLE RISE OF WATER IN PUMPWELL.



**POP-UP DRAINAGE EMITTER**  
N.T.S.

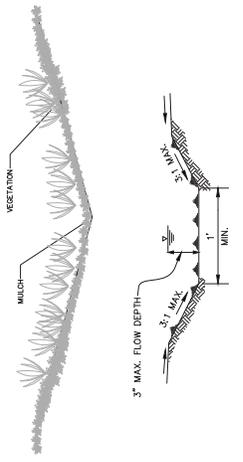


**STORM DRAIN CLEANOUT DETAIL**  
N.T.S.

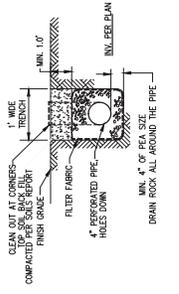


- NOTES:**
- RIGID PLASTIC, A.C., C.I. OR STEEL PIPE ALLOWED TO BOX FROM PUMP.
  - BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
  - BOX SHALL BE SET IN LANDSCAPE AREA TO FACILITATE PERCOLATION.
  - BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
  - PERCOLATION SHALL BE FACILITATED BY LEADING FROM BOX OF PERFORATED PVC PIPE. PERFORATED PVC PIPE SHALL BE 1/2\"/>

**BUBBLER BOX DETAIL**  
N.T.S.



**EARTH SWALE DETAIL**  
N.T.S.



**HOUSE SUBDRAIN DETAIL**  
N.T.S.

TITLE SHEET  
GRADING AND DRAINAGE PLANS  
PROJECT ADDRESS 1365 JUANITA WAY, CAMPBELL, CA  
M-BUILDING PERMIT NO. 20  
PARCEL MAP  
CAMPBELL, CALIFORNIA

SCALE: N.T.S.  
SHEET: 3 OF 4

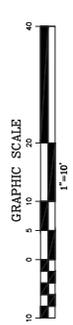
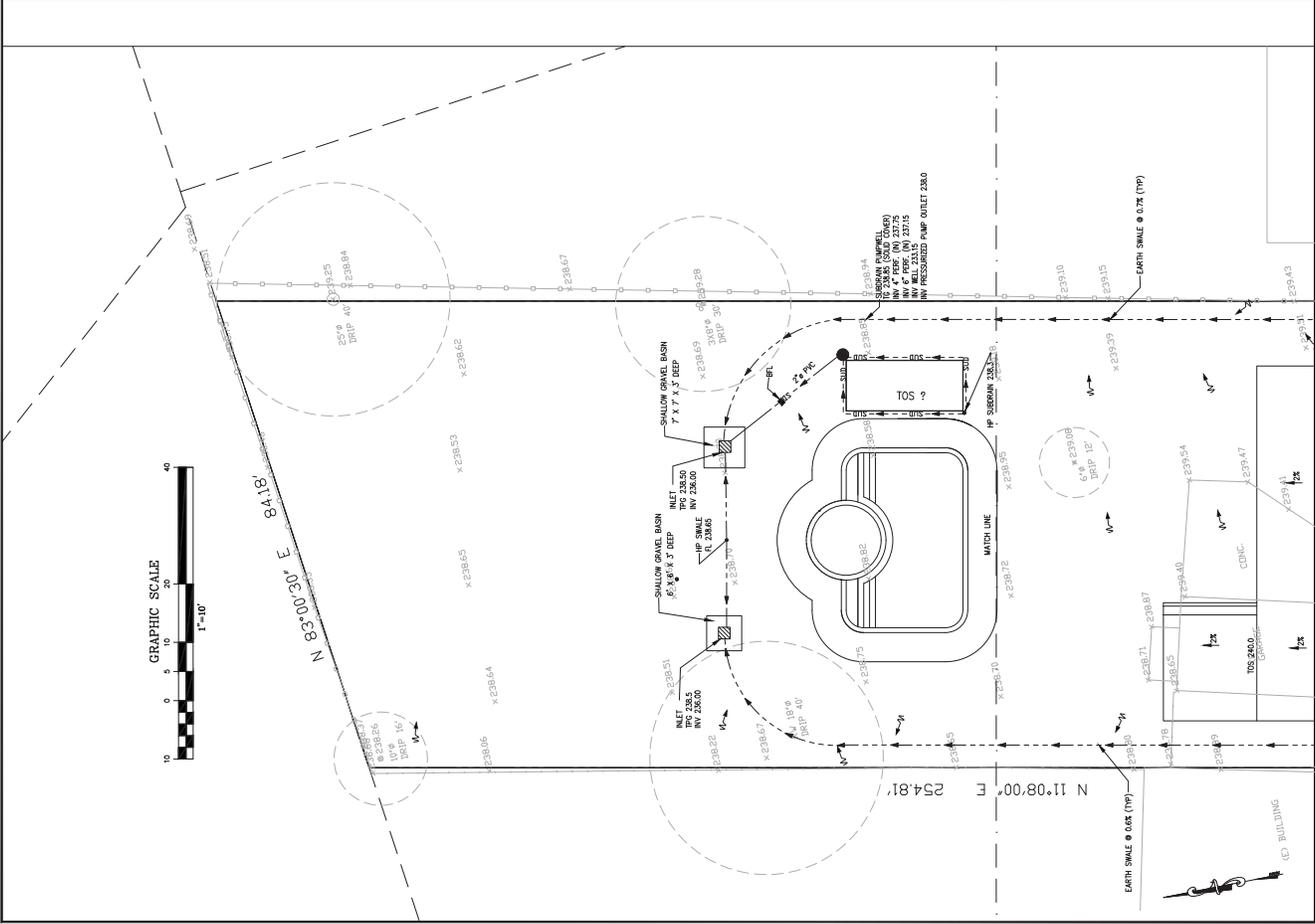
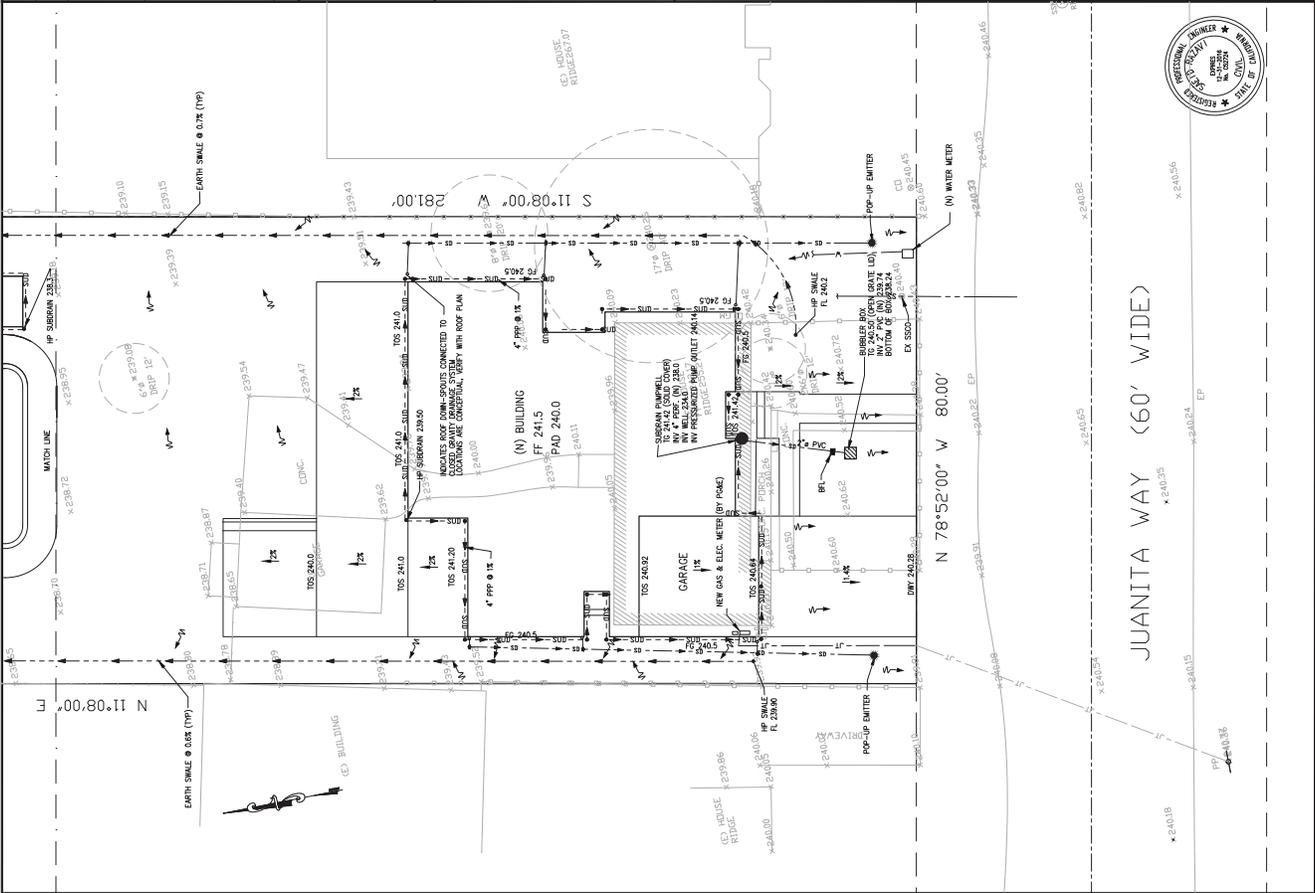


S.M.P. ENGINEERS  
S.M.P. ENGINEERS - LAND ENGINEERS  
1324 Oak Lane, Livermore, CA 94550  
Tel: (925) 941-8000 Fax: (925) 941-8170

Job No.: 214125  
Designed By: S.F.  
Drawn By: S.F.  
Date: 12/23/2014

No.	Revision	Date	By	CHK

No.	Revision	Date	By	Check



JUANITA WAY (60' WIDE)

# GRADING & DRAINAGE PLANS - ON SITE ENGINEERED

PROJECT ADDRESS: 1365 JUANITA WAY, CAMPBELL, CA

BUILDING PERMIT NO. 20 \_\_\_\_\_

ASSESSORS PARCEL NO. APN: 403-16-016

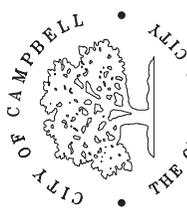
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## GRADING AND DRAINAGE NOTES

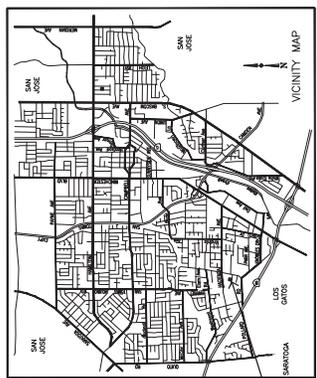
1. CALIFORNIA BUILDING CODE AND ALL WORK SHALL COMPLY WITH THE 2017 CALIFORNIA BUILDING CODE.
2. ASHRAE REGULATIONS
3. GEOTECHNICAL SHEETS REFLECT THE PROJECT TO COMPLY WITH THE GRADING REGULATIONS IN THE PROJECT GEOTECHNICAL SOILS REPORT PREPARED BY \_\_\_\_\_ DATED \_\_\_\_\_.
4. ALL UTILITIES AND OBSTRUCTIONS SHALL BE EXPOSED AND REPAIRED TO ORIGINAL CONDITIONS OR BETTER. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER OR ENGINEER OF WORK BEFORE ANY GRADING OR PROPOSED WORK SHALL BE REPAIRED AND REPAIRED UNDER OBSERVATION.
5. NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) SHALL APPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM NPDES PERMITS REQUIREMENTS AND THE QUALITY TREATMENT PLAN (QTP) FOR THE PROJECT AND THE CITY OF CAMPBELL MUNICIPAL CODE REGULATIONS WATER POLLUTION PREVENTION.
6. LOCAL WINDMOUNT SOURCE ABANDONMENT: CONTRACTOR SHALL PROVIDE PROTECTION OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
7. UNDERGROUND UTILITIES AND STRUCTURES: CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND STRUCTURES. THESE PLANS WERE DEVELOPED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS AND ASKING FOR ANY CONCEALED UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE TO TAKE THE NECESSARY PRECAUTIONS TO AVOID DAMAGE TO ANY UTILITIES AND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE TO TAKE THE NECESSARY PRECAUTIONS TO AVOID DAMAGE TO ANY UTILITIES AND STRUCTURES.
8. EROSION CONTROL: CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES AS REQUIRED IN ALL GRADING AREAS, AS SHOWN ON THESE PLANS, TO PREVENT EROSION.
9. UTILITY ELEVATION VERIFICATION: CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND STRUCTURES ARE CORRECTLY LOCATED AND DEPTHS ARE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK IMMEDIATELY IN WRITING IF ANY DISCREPANCIES ARE FOUND.
10. EROSION CONTROL: CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES AS REQUIRED IN ALL GRADING AREAS, AS SHOWN ON THESE PLANS, TO PREVENT EROSION.
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## CITY OF CAMPBELL COMMUNITY DEVELOPMENT DEPARTMENT & BUILDING DIVISION



### AGENCY INDEX

AB	AGGREGATE BASE	(408) 378-4010
AC	ASBESTOS	(408) 866-2150
AD	ADJUSTED FINISH FLOOR	(408) 811-3900
AE	AGGREGATE	(408) 811-3900
AF	AGGREGATE BASE	(408) 811-3900
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