



**CITY OF CAMPBELL**  
Community Development Department

August 4, 2015

**NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT**

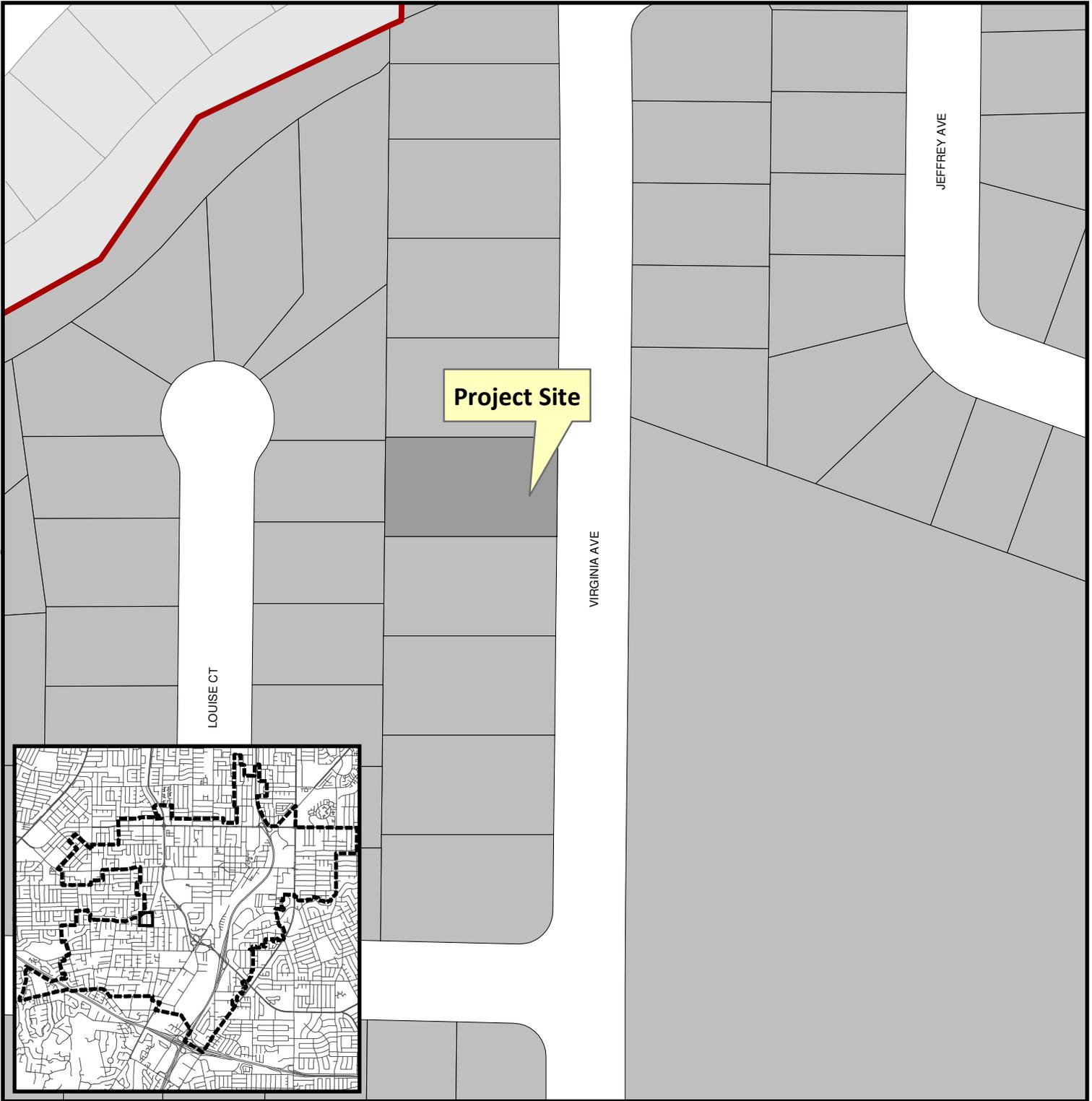
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

**File No.:** PLN2015-192  
**Applicant:** Benjamin Wu  
**Project Address:** 611 Virginia Ave.  
**Property Owner:** Benjamin Wu  
**Zoning District:** R-1-6 (Single-Family Residential)  
**General Plan:** Low Density Residential  
**Project Description:** Construction of a first-story, 905 square-foot living area and garage addition to an existing single-family residence, including demolition of an existing (1-car) garage.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on August 4, 2015 and ends on August 14, 2015. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 14, 2015**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Associate Planner, in the Community Development Department, at (408) 866-2193 or by email [danielf@cityofcampbell.com](mailto:danielf@cityofcampbell.com).

# Project Location Map

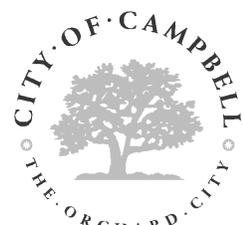
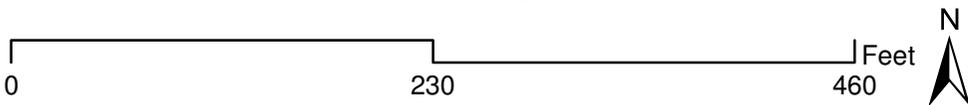


**Project Location:** 611 Virginia Ave.

**Application Type:** Admin. Site and Arch. Review Permit

**Planning File No.:** PLN2015-192

**Description:** Addition to a single-family residence



Community Development Department  
Planning Division

NUMBER	DATE	REVISION

TITLE PAGE

Wu Family Addition  
611 Virginia Ave  
Campbell, CA 95008

DRAWINGS PROVIDED BY:  
Vagione Properties  
12747 Saratoga Glen Ct.  
Saratoga, CA 95078

DATE: 7/30/2015  
SCALE:  
SHEET: A1

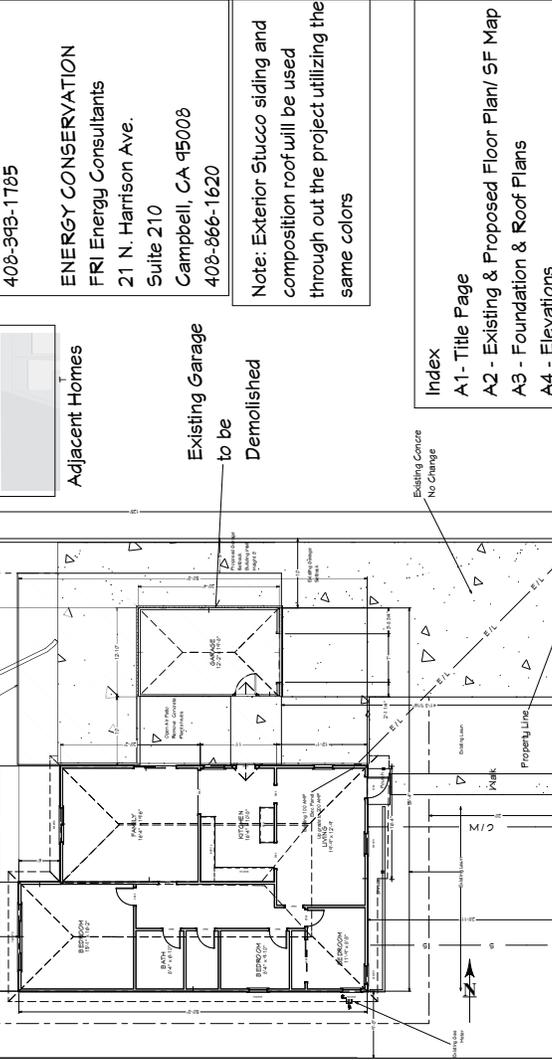
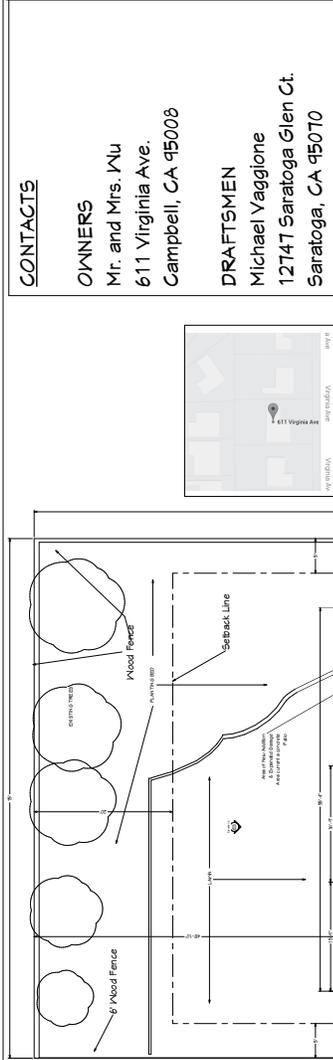
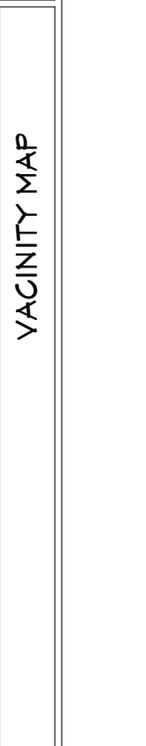
**PROJECT INFORMATION**  
 Project Address: 611 Virginia Ave  
 Assessors Parcel No: 406-01-008  
 Zoning: R-1-6 (San Tomas Area)  
 Lot Area: 9,375 SF  
 Building Area:  
 Existing Resd. 1,552 SF  
 Proposed Addition 483 SF  
 Total Resd 2,035 SF  
 Existing Garage - 273 SF to be demolished  
 New Garage 422 SF  
 Total Proposed Bldg 2,457 SF  
 Floor Area Ratio 26.3% Proposed  
 Lot Coverage 32.6% Proposed (40% Max)  
 Occupancy Group R3/U  
 Construction Type VB, Non-Fire Sprinklered  
 Code References 2013CRC  
 2013 CBC  
 2013 CMC  
 2013 CEC  
 2013 CFC  
 2013 TITLE 24  
 2013 CGBSC

**CONTACTS**  
**OWNERS**  
 Mr. and Mrs. Wu  
 611 Virginia Ave.  
 Campbell, CA 95008  
**DRAFTSMEN**  
 Michael Vagione  
 12747 Saratoga Glen Ct.  
 Saratoga, CA 95070  
 408-393-1185  
**ENERGY CONSERVATION**  
 FRI Energy Consultants  
 21 N. Harrison Ave.  
 Suite 210  
 Campbell, CA 95008  
 408-866-1620  
 Note: Exterior Stucco siding and composition roof will be used throughout the project utilizing the same colors

**PROJECT DESCRIPTION**  
 Proposed 1 story addition to an existing 1 story residence to add 1 dining room, 1 laundry room, 1 bedroom w/closet and 1 bathroom. Replace (demolish) one car detached garage with a two car attached garage.  
 No grading or tree removal proposed

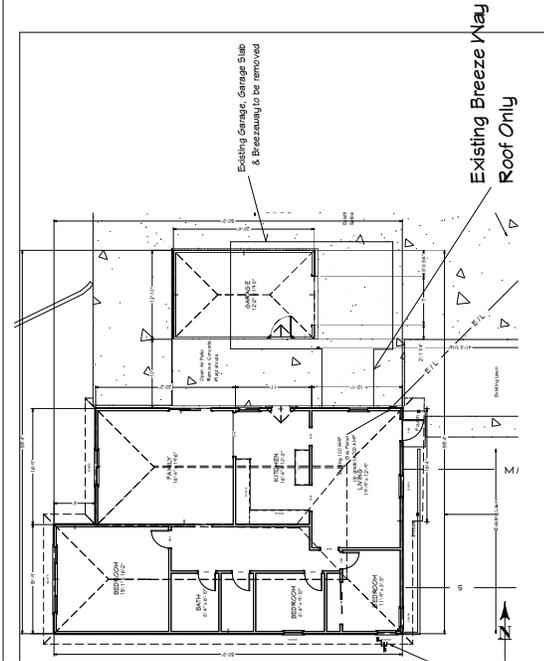
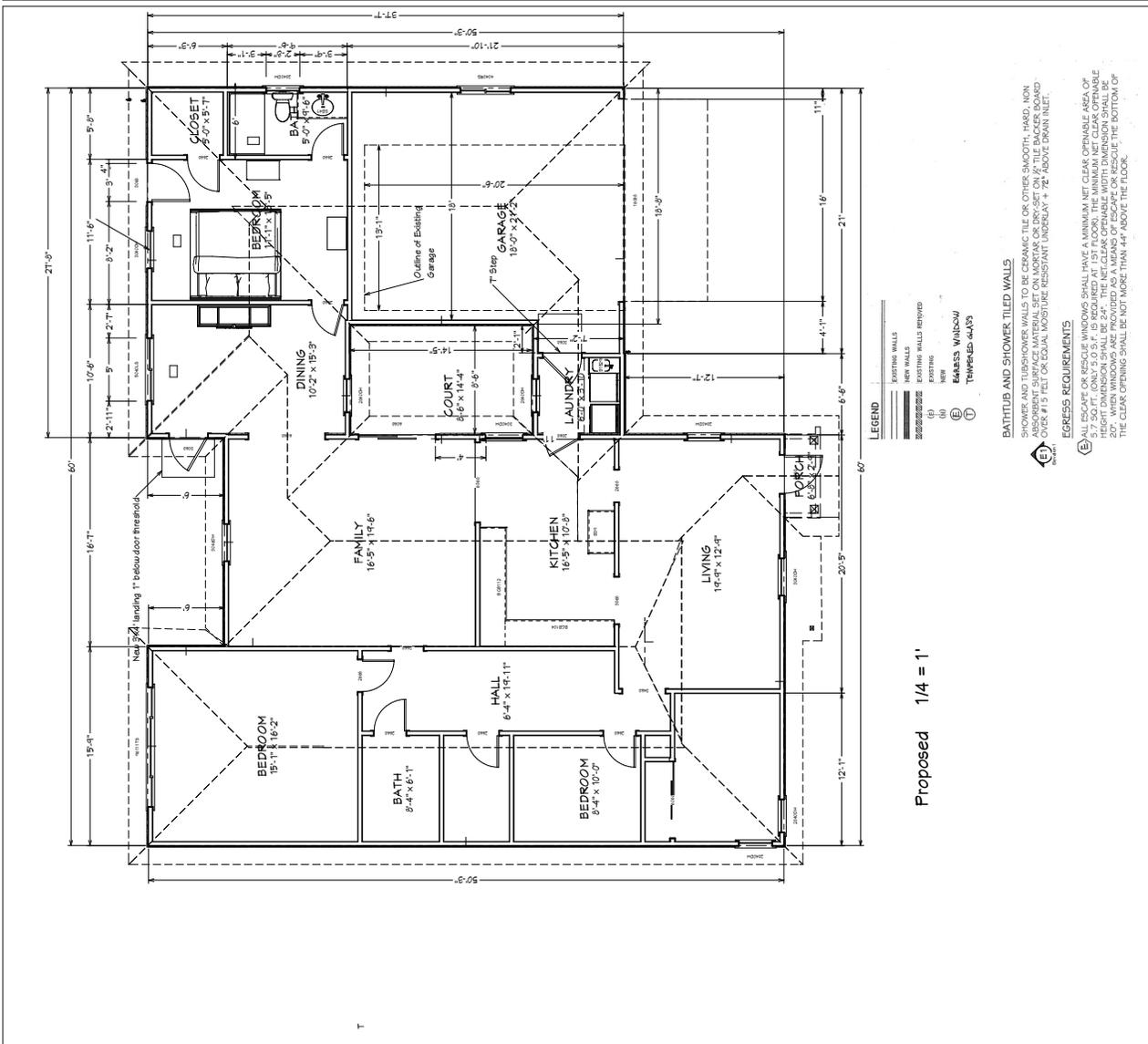
**PROJECT SUMMARY**  
 ASSESSORS PARCEL NUMBER 406-01-008

DEVELOPMENT DATA	Square Feet		Percent of Site	
	Existing	Proposed	Existing	Proposed
BUILDING COVERAGE	1,552.0	2,035.0	16.5	21.6
LANDSCAPE COVERAGE	5,973.0	5,907.0	63.7	63.0
PAVING COVERAGE	1,950.0	1,025.0	19.8	11.0
FLOOR AREA RATIO			16.5	21.6



**INDEX**  
 A1 - Title Page  
 A2 - Existing & Proposed Floor Plan/ SF Map  
 A3 - Foundation & Roof Plans  
 A4 - Elevations

PLOT PLAN 1/8" = 1'

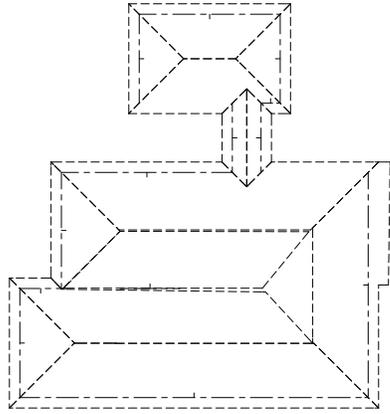


PROPOSED AREA TABLE	
AREA P1	27.7 X 15.75 = 436
AREA P2	6.5 X 7.2 = 47
AREA P3	18.75 X 21.7 = 407
AREA P4	2.1 X 7.2 = 15
<b>TOTAL</b>	<b>905 / (EXISTING) 1025 = 41.5%</b>

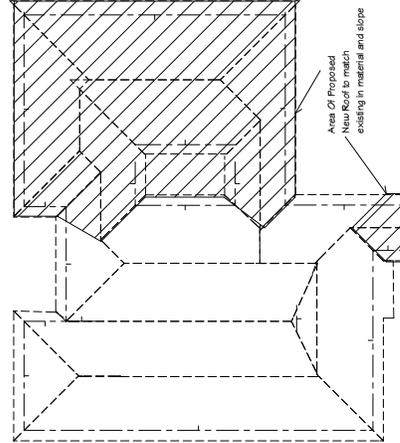
  

ADDITION SQ FOOTAGE CALC	
ADDITION SQ FOOTAGE CALC	1/8" = 1'

Existing Foundation and Floor Slab to remain



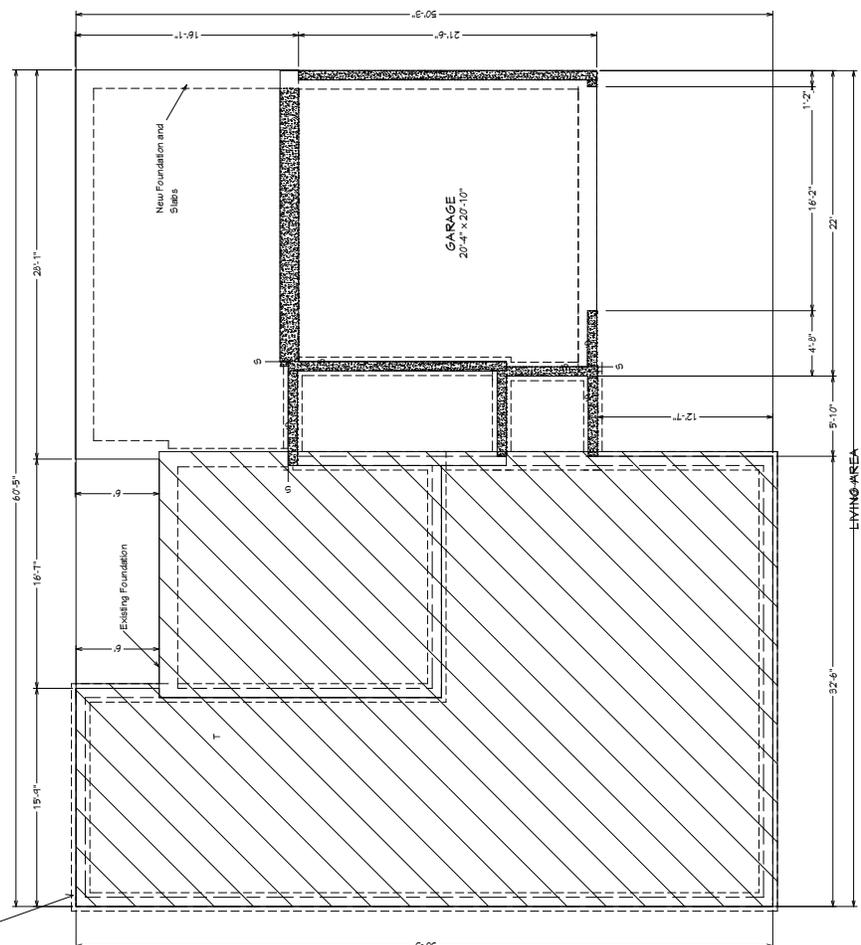
Current Roof Plan 1/8" = 1' 4/12 Pitch



Proposed Roof Plan 1/8" = 1' 4/12 Pitch

GENERAL NOTES

- ALL CONSTRUCTION MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE CURRENT EDITION OF THE CRC, LOCAL CODES, AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
- CONTRACTORS AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. DIMENSIONS SHALL BE TAKEN FROM THE FINISHED GRADE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
- CONTRACTORS SHALL REMOVE ALL TRASH AND DEBRIS THAT RESULT FROM THE WORK AND SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL TRASH AND DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL TRASH AND DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL TRASH AND DEBRIS.
- THE GENERAL CONTRACTOR SHALL CONFORM HIS OPERATIONS ON THE SITE TO ALL APPLICABLE LAWS, LOCAL, STATE AND FEDERAL ORDINANCES, PERMITS AND CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL TRASH AND DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL TRASH AND DEBRIS.
- ALL MATERIALS, STORED ON THE SITE, SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS SHALL BE AT THE CONTRACTOR'S RISK.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY PART OF THE WORK OR THE PERSONNEL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL TRASH AND DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL TRASH AND DEBRIS.
- NO PORTION OF WORK REQUIRING SHOP DRAWINGS OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND APPROVED BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL TRASH AND DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL TRASH AND DEBRIS.
- DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. ALL DIMENSIONS ARE TO THE FACE UNLESS OTHERWISE NOTED. HEIGHT DIMENSIONS ARE FROM FINISH FLOOR SLAB TO FACE OF CEILING.
- PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRIC UNITS, A/C EQUIPMENT, AND ALL OTHER ITEMS WHERE FURRING OCCURS.
- WHERE FURRING IS REQUIRED TO COVER OVER EXISTING DUCTS, PIPES AND CONDUITS, THE LARGER STUD SIZE OF FURRING SHALL EXTEND THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
- ALL INTERIORS SHALL BE FINISHED AND PAINTED TO MATCH ALL COLORS, ETC. TO BE SELECTED BY OWNERS.
- ALL CABINETS TO BE DESIGNED BY OTHERS. STYLE AND FINISHES TO BE SELECTED BY OWNERS.
- ALL KITCHEN APPLIANCES, BATH AND OTHER PLUMBING FIXTURES ACCESSORIES AND ELECTRICAL FIXTURES SELECTED BY OWNERS TO BE APPROVED BY ARCHITECT.
- WINDOWS SHALL BE DOUBLE GLAZE, VINYL FRAME MILGARD, OR APPROVED EQUAL.



Foundation 1/4" = 1'

<p>1747 Saratoga Glen Ct. Saratoga, CA 95070</p> <p>DATE: 7/30/2015</p> <p>SCALE:</p> <p>SHEET: A3</p>	<p>Wu Family Addition 611 Virginia Ave Campbell, CA 95008</p>	<p>FOUNDATION PLAN</p>
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REVISION TABLE
NUMBER DATE REVISION BY DESCRIPTION

Elevations

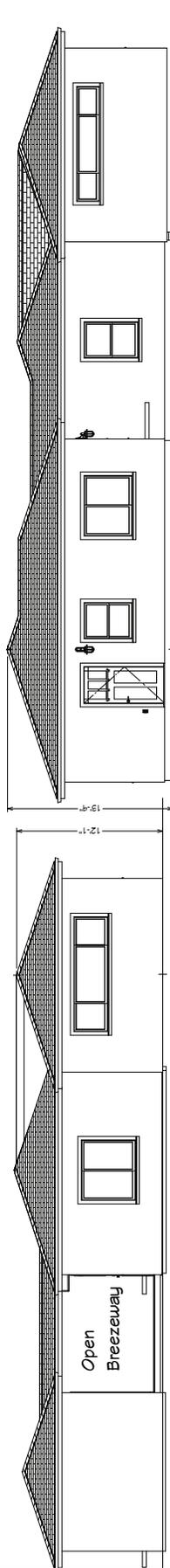
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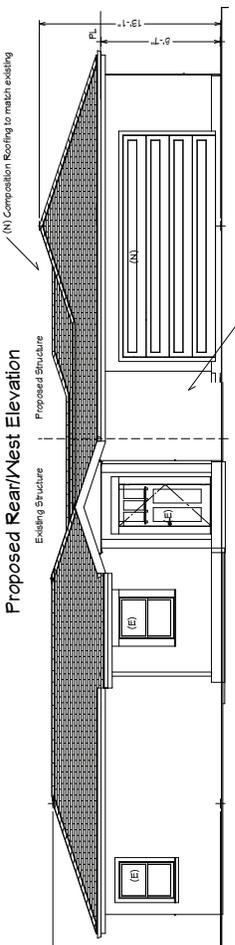
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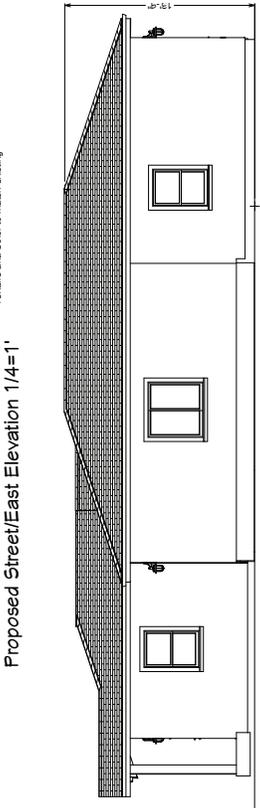


Existing Rear/West Elevation 1/4" = 1'

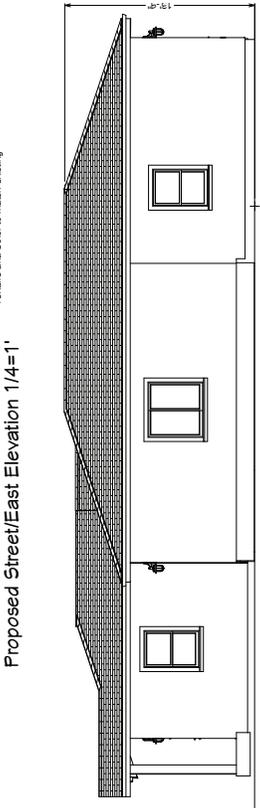


Proposed Rear/West Elevation

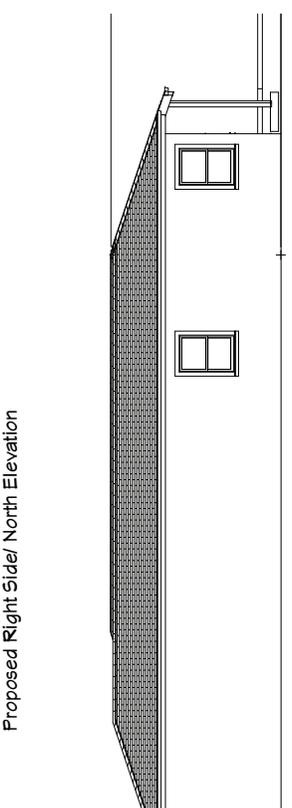
Existing Street/East View



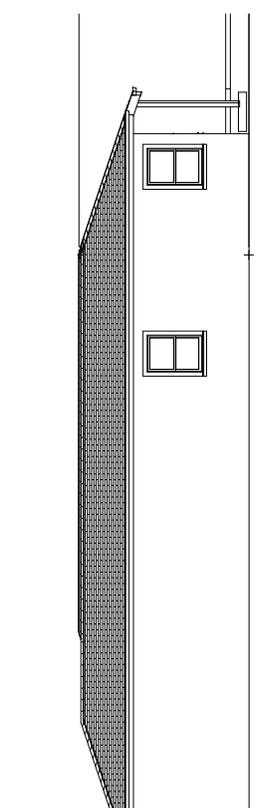
Proposed Street/East Elevation 1/4"=1'



Existing Right Side/ North Elevation



Proposed Right Side/ North Elevation



Note: Exterior Stucco siding and composition roof will be used through out the project utilizing the same colors

Landscaping will not be changed. Project will remove only existing Hard Scape

Existing and Left Side/ South Proposed Elevations - No Changes

Note: Proposed expansion will use matching Composition Roof Materials, Matching Stucco and Trim finish and match colors to the existing structure.