



CITY OF CAMPBELL
Community Development Department

August 27, 2015

**MODIFICATION
NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

File No.: PLN2015-226
Applicant: Degan Homes, Inc.
Project Address: 112 Jasmine Ct. (1411 and 1425 Westmont Ave. – Lot 8)
Property Owner: Degan Homes, Inc.
Zoning District: R-1-6 (Single-Family Residential)
General Plan: Low Density Residential
Project Description: Modification to a previously approved Administrative Site and Architectural Review Permit to allow a redesign of an approved two-story single-family residence.

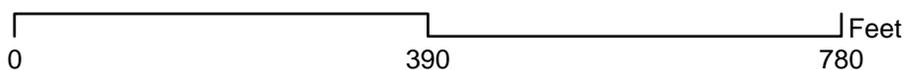
This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on August 27, 2015 and ends on September 8, 2015. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **September 8, 2015**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Associate Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@cityofcampbell.com.

Project Location Map



Project Location: 112 Jasmine Ct.
(1411 and 1421 Westmont Avenue - Lot 8)
Application Type: Modification to Administrative Site
and Architectural Review Permit
Planning File No.: PLN2015-226



Community Development Department
Planning Division

PROJECT DATA

- LOCATION: 1411 & 1421 WESTMONT AVENUE CAMPBELL, CA
- ASSESSOR PARCEL NUMBER: 403-10-113 & 403-10-114
- ZONING: R-1-6 (SAN THOMAS AREA NEIGHBORHOOD PLAN)
- GENERAL PLAN: LOW DENSITY RESIDENTIAL LESS THAN 6 DUA
- EXISTING LAND USE: VACANT & RESIDENCES
- PROPOSED LAND USE: DETACHED SINGLE-FAMILY RESIDENTIAL
- SITE AREA: GROSS 1.8532 ACRES/ 80725 SQUARE FEET
- NUMBER OF LOTS: 9 PROPOSED
- DENSITY: (9/ 1.8532) 4.86 DUA
- AREA TABULATION:

Lot Size And Building Area										
A	B	C	D	E	F	G	H	J	K	
Lot No.	Net Lot Size (SF)	Allowable 45%	1st Flr (SF) Living & Garage	Portion (SF)	Coverage (%) (D-E)/B	2nd Flr (SF)	1st/2nd FAR (%) (D-G)/B	Blgd Total (SF) Living & Garage (D-G)	Designated Floor Area	
1	6751	3038	1486/428	1924	233	32	1114	2610/428	3038	
2	6173	2778	1311/454	1765	52	30	1013	2324/454	2778	
3	6173	2778	1311/454	1765	52	30	1013	2324/454	2778	
4	6002	2701	1290/439	1729	61	29	1117	2262/439	2701	
5	6781	3051	1482/457	1934	33	29	1117	2599/457	3051	
6	6947	3126	1505/453	1958	43	29	1168	2672/453	3126	
7	7105	3197	1612/448	2060	93	30	1137	2749/448	3197	
8	10067	4630	1899/500	2459	134	26	1511	3410/500	3410	
9	7310	3250	1649/454	2103	159	31	1186	2835/454	3189	
			Sum of D							

- SETBACKS: FRONT 20' / 25' AT GARAGE
REAR 20' / 10' WHERE THE USABLE YARD AREA GREATER THAN 20 X LOT WIDTH
SIDE THE GREATER OF 5' OR 1/2 THE HT. OF THE BLDG WALL ADJACENT TO THE PROPERTY LINE
- FAR: 0.45
- COVERAGE: 28 AND LESS THAN 2-1/2 STORIES MEASURED FROM ADJ. NATURAL GRADE
- BLDG HT.: REAR SETBACK OF 2ND DWELLING IS 10'
-

OWNER: DEGAN DEVELOPMENT CORPORATION
2839 S. WINCHESTER BLVD. SUITE 200A
CAMPBELL, CA 95008
(408) 923-2893

LOCATION MAP



DRAWING INDEX

- ARCHITECTURAL**
- SHEET 1 AT-8 TITLE SHEET
 - SHEET 2 A-8-8 ARCHITECTURAL SITE PLANS
 - SHEET 3 A-8-1 1ST FLOOR PLAN/AREA CAL.
 - SHEET 4 A-8-2 2ND FLOOR PLAN & LOWER ROOF PLAN/AREA CAL.
 - SHEET 5 A-8-3 UPPER ROOF PLAN
 - SHEET 6 A-8-4 BUILDING ELEVATIONS, FRONT & RIGHT SIDE
 - SHEET 7 A-8-5 BUILDING ELEVATIONS, REAR & LEFT SIDE
 - SHEET 8 A-8-6 BUILDING SECTIONS
 - SHEET 9 A-8-7 BUILDING SECTIONS

CONSULTANTS

ARCHITECT: STEVE YANG & ASSOCIATES	1618 WILLIAMSHURST AVE. SAMI JOSE, CA 95125	TEL. (408) 694-1618 FAX (408) 694-9888
CIVIL ENGINEER: STERLING CONSULTANTS	300 PAVAL COURT SAMI RAMON, CA 94582	TEL. (925) 765-3833
SOIL ENGINEER: AMERICAN SOIL TESTING, INC.	2734 S. BASCOM AVE SAMI JOSE, CA 95124	TEL. (408) 589-4400
LANDSCAPE ARCHITECT: WILSON & ASSOCIATES	916 SAMI STREET RD. BERKELEY, CA 94709	TEL. (510) 644-0969
STRUCTURAL ENGINEER:		
MECHANICAL ENGINEER:		
ELECTRICAL ENGINEER:		

LOT 8

AMENDMENT NOTE:
APPROVED PLANS OF THIS LOT ARE BEING MODIFIED FOR REQUIRED REVIEW & APPROVAL

WESTMONT VILLA
9 SINGLE FAMILY
HOUSING DEVELOPMENT
WESTMONT AVE. + JASMINE COURT
CAMPBELL, CA

SITE AND ARCHITECTURAL APPLICATION

Steve Yang & Associates
Professional Engineer
No. 10000
1618 Williamshurst Ave
Sam Jose, CA 95125
(408) 694-1618

Review By:
REV: 8/15/15 NH

Drawn By: NH
Checked By: SF
Date: 7/22/14
Scale: AS NOTED
Job No:

Sheet
AT-8
of

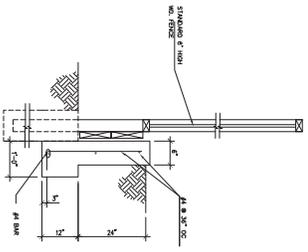
JASMINE CT

LOT 8
(REV.)

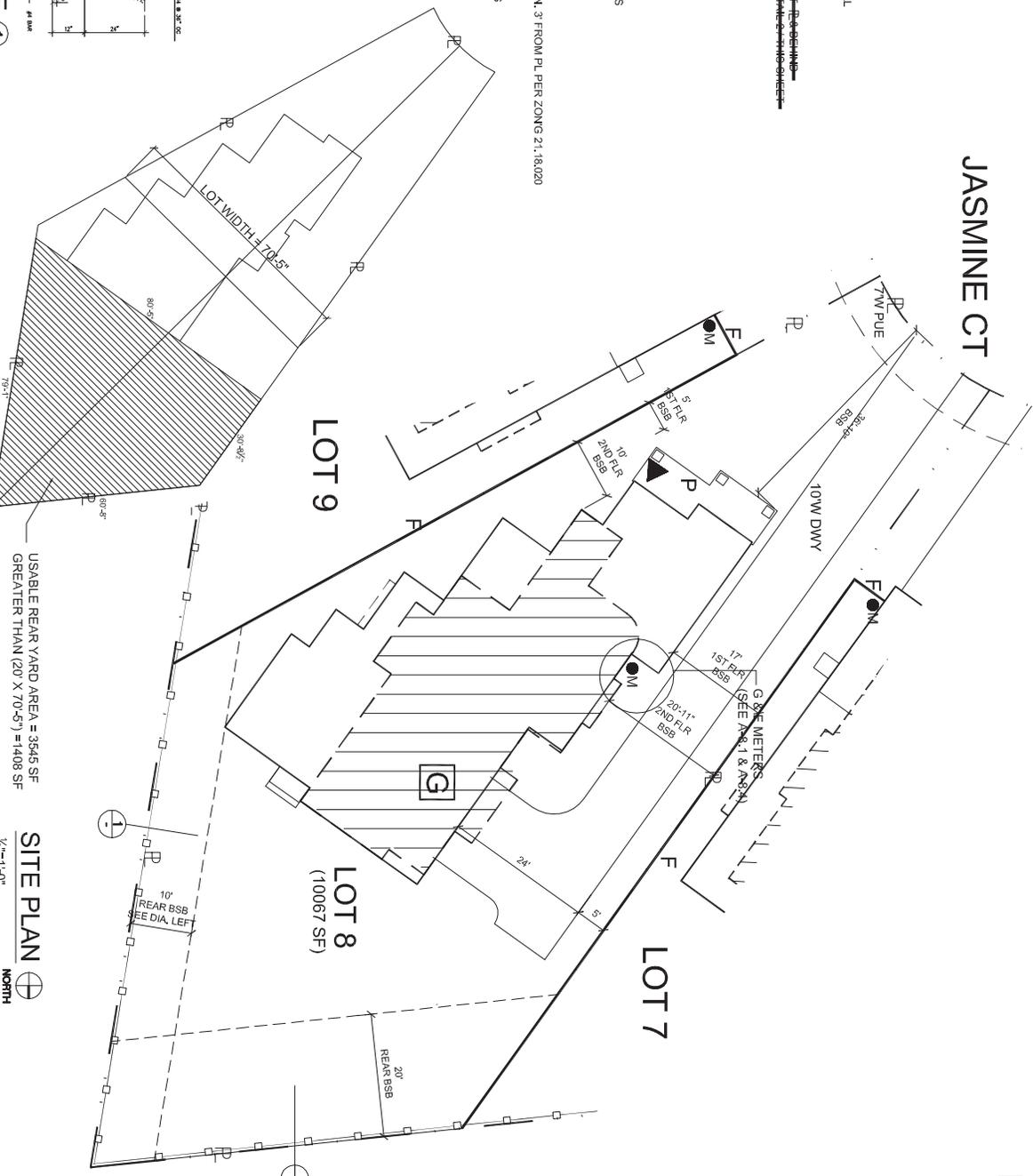
LEGENDS:

- PROPERTY LINE
 - DRIVEWAY
 - LIGHT WELL
 - PORCH
 - FENCE
 - FENCE W/ 24TH RETAINING WALL (NEIGHBORHOOD FENCE) SEE DETAIL 1/ THIS SHEET
 - 42TH POCKET FENCE SEE DETAIL 1/ THIS SHEET
 - MAIN ENTRY
 - GAS & ELECT METERS
 - GARAGE
 - CARPORT
 - 2ND FLOOR
 - 5W PUBLIC UTILITY EASEMENTS
 - BIO-RETENTION AREA
 - DOWNSPOT AT GROUND
 - OUTDOOR AC CONDENSER (MIN. 3' FROM PL PER ZONING 21.18.020)
- OTHERS SEE C-DWG'S AND L-DWG'S PLUS REQUIREMENTS IN SOIL REPORT

WD FENCE ①
REAR YARD



USABLE REAR YARD DIA./CAL. N.T.S.



USABLE REAR YARD AREA = 3545 SF
GREATER THAN (20' X 70'-5") = 1408 SF

SITE PLAN
1/8" = 1'-0"
NORTH



Sheet
AS-8
of

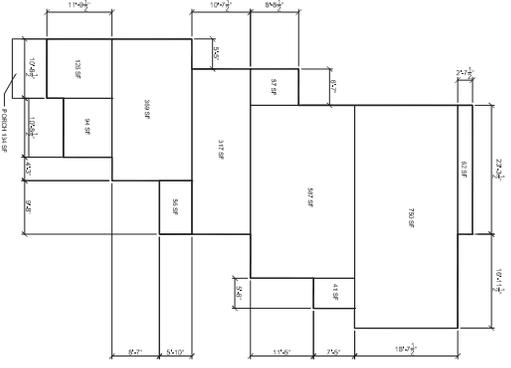
Drawn	HH
Check	ST
Date	05/15/2016
Scale	AS-NOTED
Job No.	14-109

Prepared	By

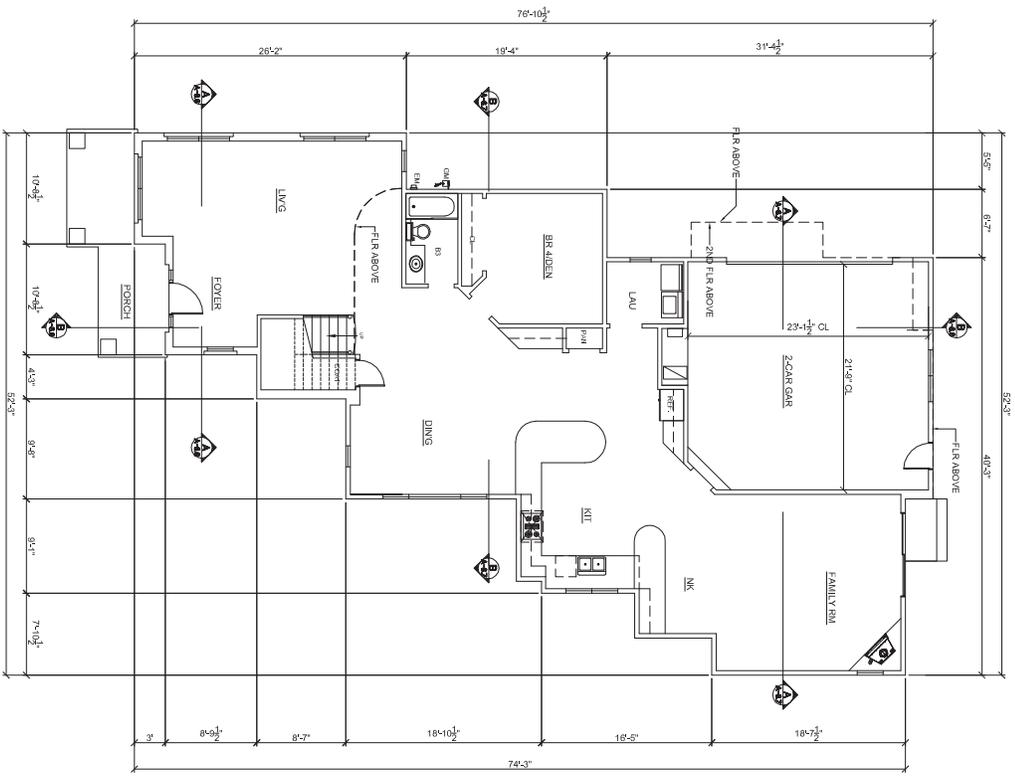
9 SINGLE FAMILY HOUSING DEVELOPMENT
112 JASMINE COURT
CAMPBELL, CA

Steve Young
& Associates
Professional Engineers & Architects
10000
1400
1400
1400

LOT 8
(REV.)



AREA CAL.
1"=10'-0"
LIVING AREA = 1899 SF
GARAGE = 690 SF
TOTAL AREA = 2499 SF



1ST FLOOR PLAN



Steve Young
& Associates
Professional Engineers/Architects
& Planners
1414 BAYVIEW DRIVE
SAN JOSE, CA 95128
(408) 264-1818

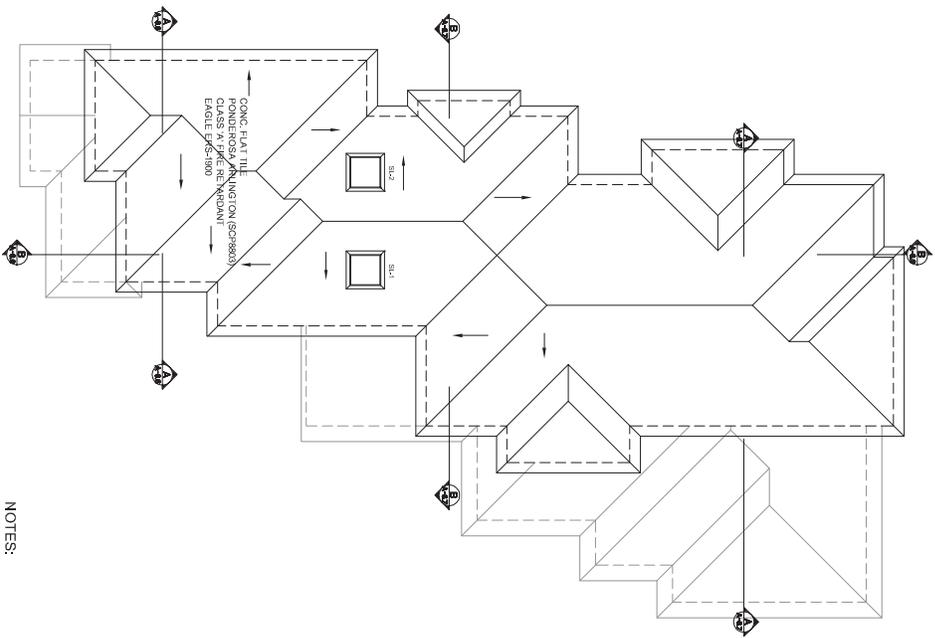
9 SINGLE FAMILY HOUSING DEVELOPMENT
112 JASMINE COURT
CAMPBELL, CA

Prepared By	Checked By	Date

Drawn: NH
Check: ST
Date: 07/15/2016
Scale: AS NOTED
Job No: 14-109

Sheet
A-8.1
of

LOT 8
(REV.)



NOTES:
1. ROOF PITCH TO BE 5 / 12 THROUGHOUT

UPPER ROOF PLAN



<p>Steve Young & Associates Architects 1125 W. 14th St. Campbell, CA 95008 (408) 854-4444</p>	<p>DATE: 05/13/2016 BY: [Signature] SCALE: AS NOTED JOB NO: 14-09</p>
---	---

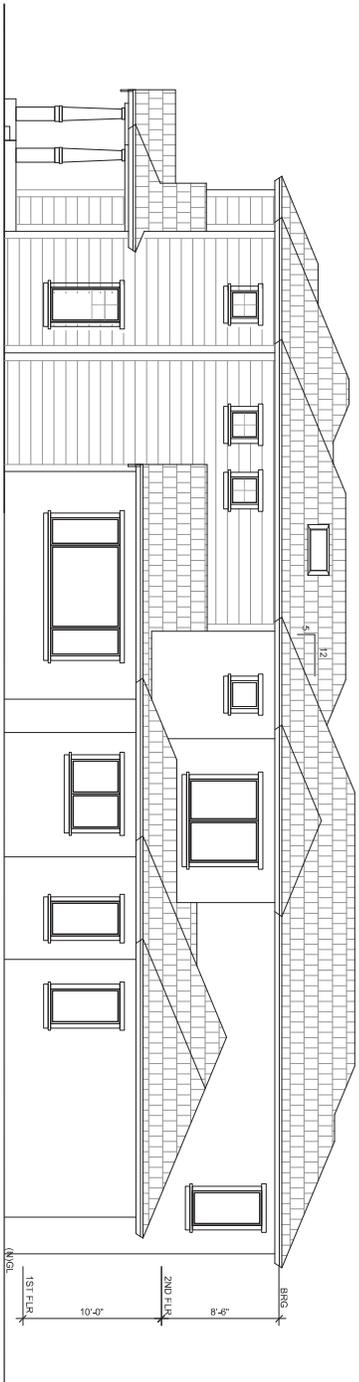
9 SINGLE FAMILY
HOUSING DEVELOPMENT
112 JASMINE COURT
CAMPBELL, CA

Revisions	By

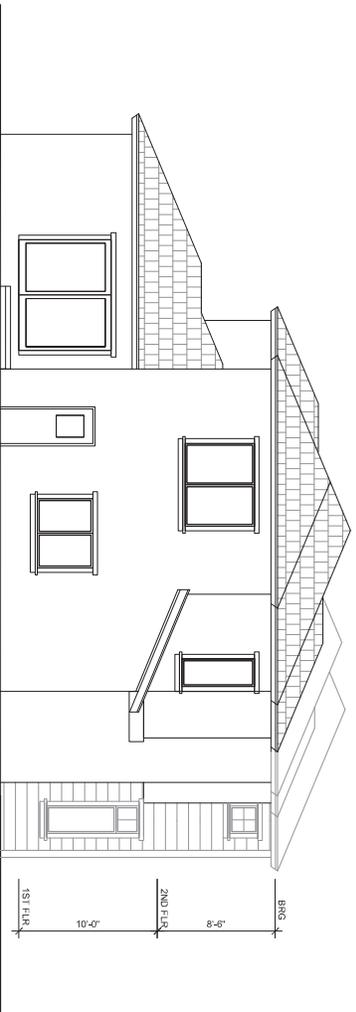
Drawn	HH
Checked	ST
Date	05/13/2016
Scale	AS NOTED
Job No.	14-09

Sheet
A-8.3
of

LOT 8
(REV.)



RIGHT SIDE ELEVATION
1/4"=1'-0"



REAR ELEVATION



Steve Young
8 Associates
Architects
112 Jasmine Court
Campbell, CA 95008
(408) 864-1414

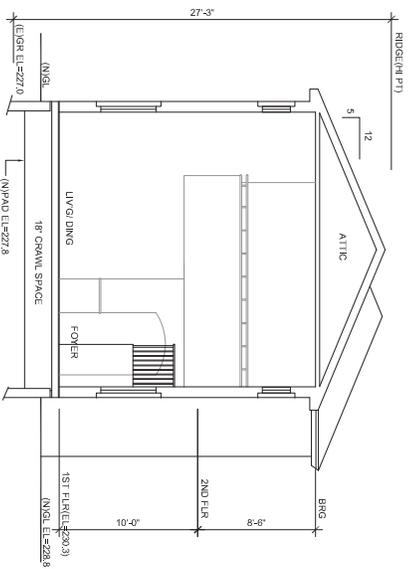
9 SINGLE FAMILY HOUSING DEVELOPMENT
112 JASMINE COURT
CAMPBELL, CA

Revisions	By

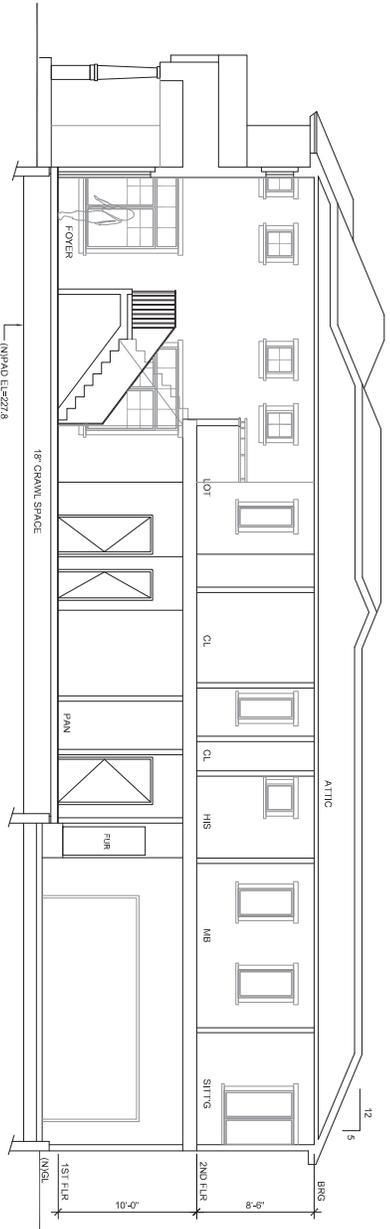
Drawn	NH
Check	SV
Date	8/15/2015
Scale	AS NOTED
Job No.	14-109

Sheet
A-8.5
of
9

LOT 8
(REV.)



BLDG SECTION A
1/2"=1'-0"



BLDG SECTION B



Steve Young
8 Associates
Architects
1145 W. UNIVERSITY AVE.
SAN ANTONIO, CA 78202
(408) 584-1414

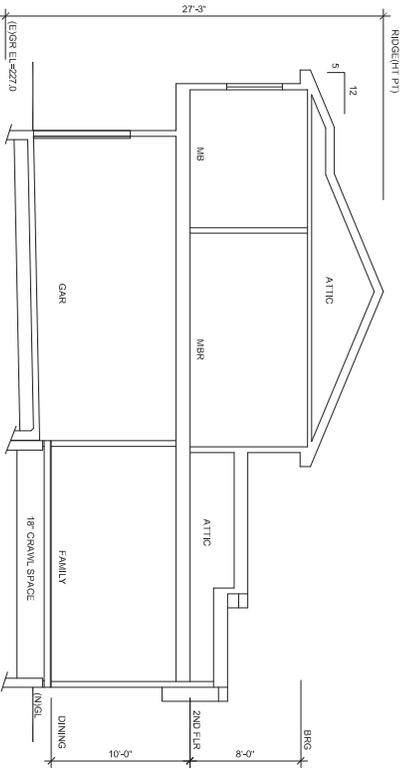
9 SINGLE FAMILY HOUSING DEVELOPMENT
112 JASMINE COURT
CAMPBELL, CA

Revisions	By

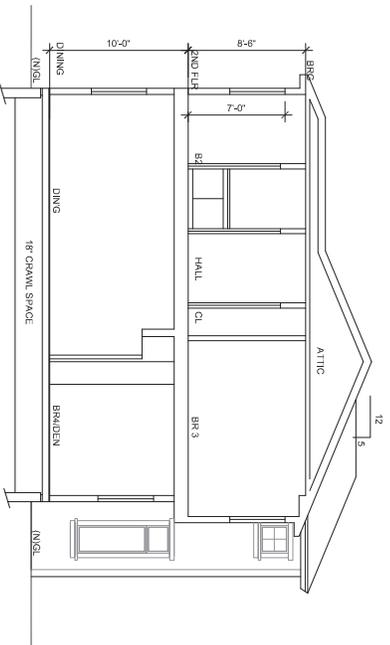
Drawn	NH
Check	SV
Date	01/15/2015
Scale	AS NOTED
Job No.	14-109

Sheet
A-8.6
of
9

LOT 8
(REV.)



BLDG SECTION A
1/4"=1'-0"



BLDG SECTION B



Steve Young
 & Associates
 ARCHITECTS
 1414 WILSON AVENUE, SUITE 200
 SAN JOSE, CA 95128
 (408) 944-1414

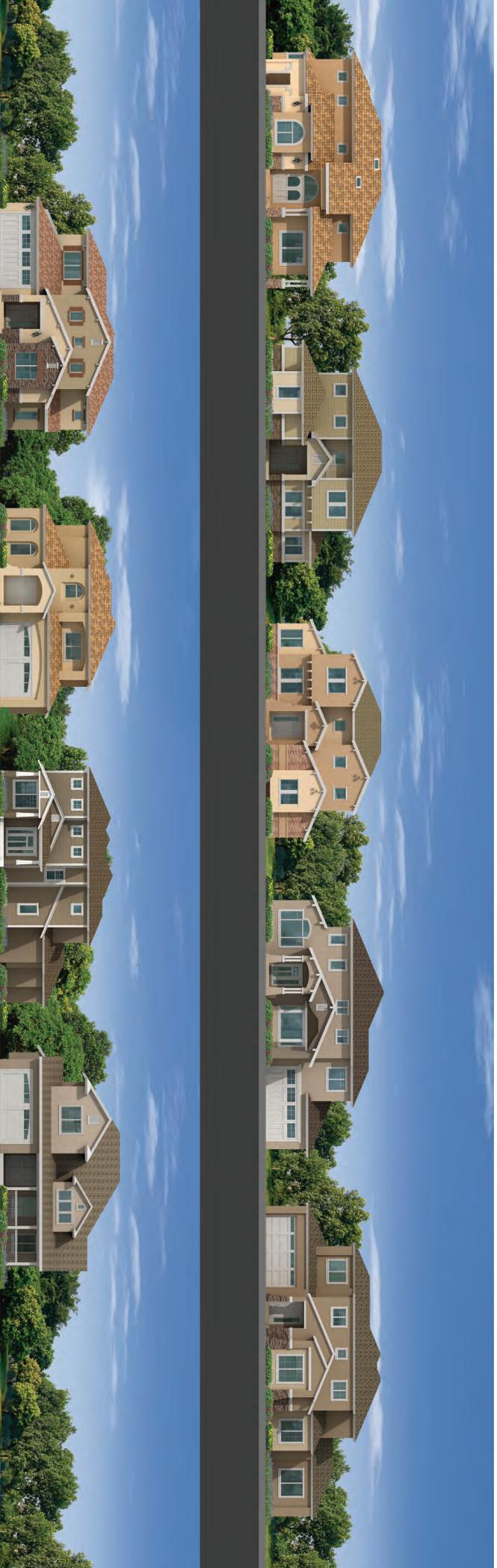
9 SINGLE FAMILY HOUSING DEVELOPMENT
 112 JASMINE COURT
 CAMPBELL, CA

Revisions	By

Drawn	NH
Check	SV
Date	8/15/2015
Scale	AS NOTED
Job No.	14-109

Sheet
A-8.7
 of
 9





Westmont Villa
Campbell, California