



**CITY OF CAMPBELL**  
**Community Development Department**

September 11, 2015

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **September 22, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Larry Schaadt for a Modification (PLN2015-247) to a previously-approved Conditional Use Permit (PLN2014-35) to convert an existing restaurant/wine bar with beer and wine service to a restaurant with general alcohol service, and a change to the approved "late night" operational hours to extend the public closing time from 11:00 PM to 11:30 PM on property located at **394 E. Campbell Avenue** in the C-3 (Central Business District) Zoning District. Staff is recommending that this project be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

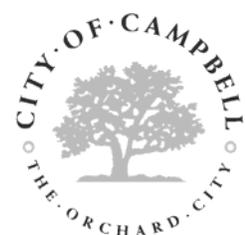
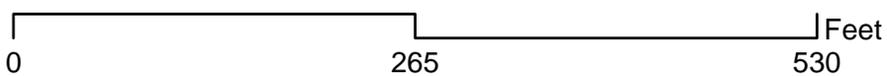
PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **394 E. Campbell Avenue**

# Project Location Map



**Project Location:** 394 E. Campbell Ave.  
**Application Type:** CUP Modification  
**Planning File No.:** PLN2015-247  
**Description:** Convert wine bar to restaurant



Community Development Department  
Planning Division



## Program Statement

394 E. Campbell Ave

With this Development Application I am requesting to modify my existing Conditional Use Permit to allow a change in my ABC license from a Type 41 to a Type 47, which is typical for a restaurant. We are currently operating as a wine bar and restaurant. There are now three wine bars Downtown within three blocks of each other and all on the same side of the street, which makes it financially difficult for everyone.

My plan is to modify our existing operation by partnering with a local restaurateur to expand the restaurant side of the business with a greater focus on the food, and to offer both wine and cocktails typical of most traditional restaurants. Given that I have dramatically scaled down the size and scope of the planned restaurant next door, and the fact that we already serve alcohol, adding cocktails to our menu will not increase the number of people drinking in the Downtown area. We will continue to focus on wine, but having cocktails available will be critical to our operation. I would also like to increase our "business hours" closing time by 30 minutes to 11:30, still below the midnight closing time referenced in the Downtown Alcohol Policy, with a restriction that all alcohol sales must end at 11:00 as currently permitted. The extra 30 minutes is to allow guests seated later in the evening time to finish their meals and exit the premises.

This last block of the Downtown needs to be developed with successful businesses. Changing our concept with Rendezvous and opening the Grower's Bank Building at the same time will go a long way towards making this end of the Downtown come to life.

# REGALE WINE BAR

## FOOD MENU



- SMALL PLATES**
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
- BRUSCHETTA**
  - Butter lettuce, roasted beets, beehive cheese, Citrus vinaigrette
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
- SOUPS**
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
- DESSERTS**
  - Vanilla panna cotta with salted caramel
  - Apple-Mangoes
  - Chocolate soufflé
  - Warm spiced bread pudding

- SLICED MEATS**
  - Prosciutto di Parma
  - Salami Bresaola
  - Roasted Chicken
  - Roasted Chicken
  - Roasted Chicken
- CHARCUTERIE**
  - Roasted Chicken
  - Roasted Chicken
  - Roasted Chicken
  - Roasted Chicken
  - Roasted Chicken
- CRESTINI**
  - Roasted Chicken
  - Roasted Chicken
  - Roasted Chicken
  - Roasted Chicken
  - Roasted Chicken
- FLATBREADS**
  - Wild mushroom, marinated artichokes, balsamic tomato, spinach, roasted pepper
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
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  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
- SALADS**
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
- PANINI**
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
  - Roasted chicken, parmesan, green peas and goat's cheese
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  - Chocolate soufflé
  - Warm spiced bread pudding

**HOURS**  
 Sunday - Wednesday  
 11AM - 10PM  
 Thursday - Saturday  
 11AM - 11PM

**REGALE WINE BAR**  
 394 EAST CAMPBELL AVENUE  
 CAMPBELL, CA 95008  
 (408) 730-8877

## BUSINESS PLAN

**CONCEPT:**  
 THE PROPOSED WINE BAR WILL IN PART BE AN EXTENSION OF OUR EXCLUSIVE REGALE WINE BAR AND IN PART A HIGH-END RESTAURANT AND WINE BAR. WE PLAN ON OFFERING LIVE MUSIC WITH FOUR MUSICIANS OR FEWER INDOORS DAILY UNTIL 10PM. THE LIVE MUSIC IS INTERESTED IN EXPERIENCING NOT ONLY OUR WINES BUT WINE FROM AROUND THE WORLD. WE WILL BE OFFERING A WINE TASTING MENU WITH A VARIETY OF WINE FROM AROUND THE WORLD ON-SITE IN OUR KITCHEN. THE WINE BAR WILL BE A GREAT COMPLIMENT TO THE OTHER RESTAURANTS IN DOWNTOWN CAMPBELL.

**OPERATIONS:**  
 OUR RESTAURANT/WINE BAR WILL BE OPEN FOR LUNCH AND DINNER DAILY FROM 11AM TO 10PM. WE WILL BE OFFERING LIVE MUSIC WITH FOUR MUSICIANS OR FEWER INDOORS DAILY UNTIL 10PM. THE LIVE MUSIC IS INTERESTED IN EXPERIENCING NOT ONLY OUR WINES BUT WINE FROM AROUND THE WORLD. WE WILL BE OFFERING A WINE TASTING MENU WITH A VARIETY OF WINE FROM AROUND THE WORLD ON-SITE IN OUR KITCHEN. THE WINE BAR WILL BE A GREAT COMPLIMENT TO THE OTHER RESTAURANTS IN DOWNTOWN CAMPBELL.

**REGALE:**  
 OUR MENU OF SMALL PLATES HAS BEEN CRAFTED TO OFFER A VARIETY OF FOOD OPTIONS TO OUR GUESTS THROUGHOUT THE DAY. THERE ARE LIGHTER OPTIONS FOR LUNCH AND HEAVIER DISHES FOR DINNER. OF COURSE THERE WILL BE FINGER FOOD AND CHEESE AND MEAT OFFERINGS AS WELL. THE MENU WILL BE CHANGED SEASONALLY AND ALL FOOD SELECTIONS WILL HAVE BEEN DESIGNED TO PAIR WITH OUR WINES.

**WINE:**  
 REGALE PRODUCED WINES, INCLUDING OUR SECOND LABEL RENDEZVOUS CELLARS, WILL CERTAINLY BE OUR FOCUS BUT WILL COMPRISE ONLY ABOUT 15% OF THE WINES OFFERED. THERE WILL BE A SIGNIFICANT COMPONENT OF FRENCH, SPANISH AND ITALIAN WINES ALONG WITH MANY OTHER WINES FROM CALIFORNIA.

**SUMMARY:**  
 THE WINE BAR WILL BE A GREAT COMPLIMENT TO THE MANY BUSINESSES AND RESTAURANTS IN DOWNTOWN CAMPBELL. OUR UNIQUE OLD WORLD FEEL AND QUALITY FOOD AND MEAT OFFERINGS WILL ATTRACT VISITORS FROM THE LOCAL COMMUNITY AND BEING AN ACTIVE MEMBER OF THE DOWNTOWN COMMUNITY.

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## VICINITY MAP



## PROJECT TEAM

**TENANT**  
 REGALE WINERY & VINEYARDS - LARRY SCHAOT  
 24640 SUMMIT ROAD - LOS GATOS - CA 95033  
 CONTACT: LARRY SCHAOT

**T.I. ARCHITECT**  
 STUDIO 02, INC. PKWY. STE 303, SUNNYVALE, CA 94085  
 (408) 730-8877 (F) 408-718-2396  
 CONTACT: SUNNY TAM AIA

## PROJECT DATA

**ACCESSORS PARCEL NUMBER:** 412-07-037  
**V-B:**  
**NO FULL SPRINKLER SYSTEM WILL BE INSTALLED**  
**SPRINKLER:**  
**EXISTING GROUND FLOOR AREA:** 2,116 SF (VACANT, NO CHANGE)  
**EXISTING GROUND FLOOR AREA:** 792 SF (VACANT, NO CHANGE)  
**TOTAL EXISTING FLOOR AREA:** 2,911 SF  
**PROPOSED GROUND FLOOR OCCUPANCY:** A-2 (RESTAURANT)  
**PROPOSED 2ND FLOOR OCCUPANCY:** A-2 (RESTAURANT)  
**TOTAL PARKING:** 10 (EXISTING) + 10 (PROPOSED)  
**EXISTING STREET PARKING:**

**SEE A1.0 FOR EXIT PLAN / OCCUPANCY LOAD CALCULATION**  
**CODE REFERENCE:** 2013 CBC, 2013 CEC, 2013 CMC, 2013 CALIFORNIA ENERGY CODE  
**2013 CBC, 2013 CEC, 2013 CMC, 2013 CALIFORNIA ENERGY CODE**  
**CALIFORNIA GREEN BUILDING CODE, CITY OF CAMPBELL MUNICIPAL CODES**

## PROJECT DESCRIPTION

**THIS IS A TENANT IMPROVEMENT PROJECT IN THE HEART OF DOWNTOWN CAMPBELL. THE PROPOSED USE IS A NEW WINE BAR. SCOPE OF WORK INCLUDES:**

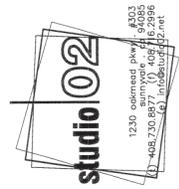
- INTERIORS PARTITION WALLS AND COUNTERS.
- KITCHEN EQUIPMENTS.
- BUILT-IN CABINETRY.
- BAR DESIGN LAYOUTS.
- NEW EXTERIOR SIGNAGE (UNDER SEPARATE SIGNAGE PERMIT)
- NEW EXTERIOR SIGNAGE (UNDER SEPARATE SIGNAGE PERMIT)
- EXISTING RESTROOM TO REMAIN.
- EXISTING ROOFTOP A/C TO REMAIN.
- NO CHANGE TO EXISTING FACADE.

## SHEET INDEX

**ARCHITECTURAL**  
 A0.0 PROJECT INFORMATION  
 A1.0 EXISTING SITE PLAN  
 A2.0 GROUND FLOOR PLANS  
 A3.0 EXISTING STOREFRONT PHOTO

## FIRE PROTECTION NOTES

- SUBMIT SHOP DRAWINGS FOR THE NEW FIRE SPRINKLER SYSTEM TO THE FIRE DEPT FOR FIRE REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- PROVIDE PORTABLE FIRE EXTINGUISHER, LOCATION AND SPECIFICATION IN ACCORDANCE WITH CALIFORNIA FIRE CODE.
- ALL PORTION OF THE BUILDING SHALL BE WITHIN 75 FEET OF A FIRE EXTINGUISHER. THE MIN. SIZE OF THE EXTINGUISHER SHALL BE 2-A10-BC.
- EXISTING RESTROOM SHALL BE MONITORED BY THE SPRINKLER MONITORING SYSTEM. FIRE ALARMS PLANS SHALL BE SUBMITTED SEPARATELY AND APPROVED PRIOR TO COMMENCEMENT OF WORK IN ACCORDANCE TO CBC SECTION 907.2.



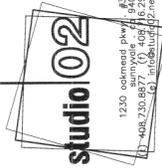
# REGALE

## CONDITIONAL USE PERMIT

394 EAST CAMPBELL AVENUE  
 CAMPBELL, CA 95008

01.29.14 ISSUED FOR CUP SUBMITTAL  
**RECEIVED**  
 FEB 24 2014  
 CITY OF CAMPBELL  
 PLANNING DEPT.

PROJECT NO.: 13--4330  
 PROJECT INFORMATION  
 A0.0  
 COPYRIGHT 2013 . STUDIO 02, INC.



CONDITIONAL USE PERMIT  
**REGALE**  
 394 EAST CAMPBELL AVENUE  
 CAMPBELL, CA 95008

01.29.14 ISSUED FOR CUP SUBMITTAL

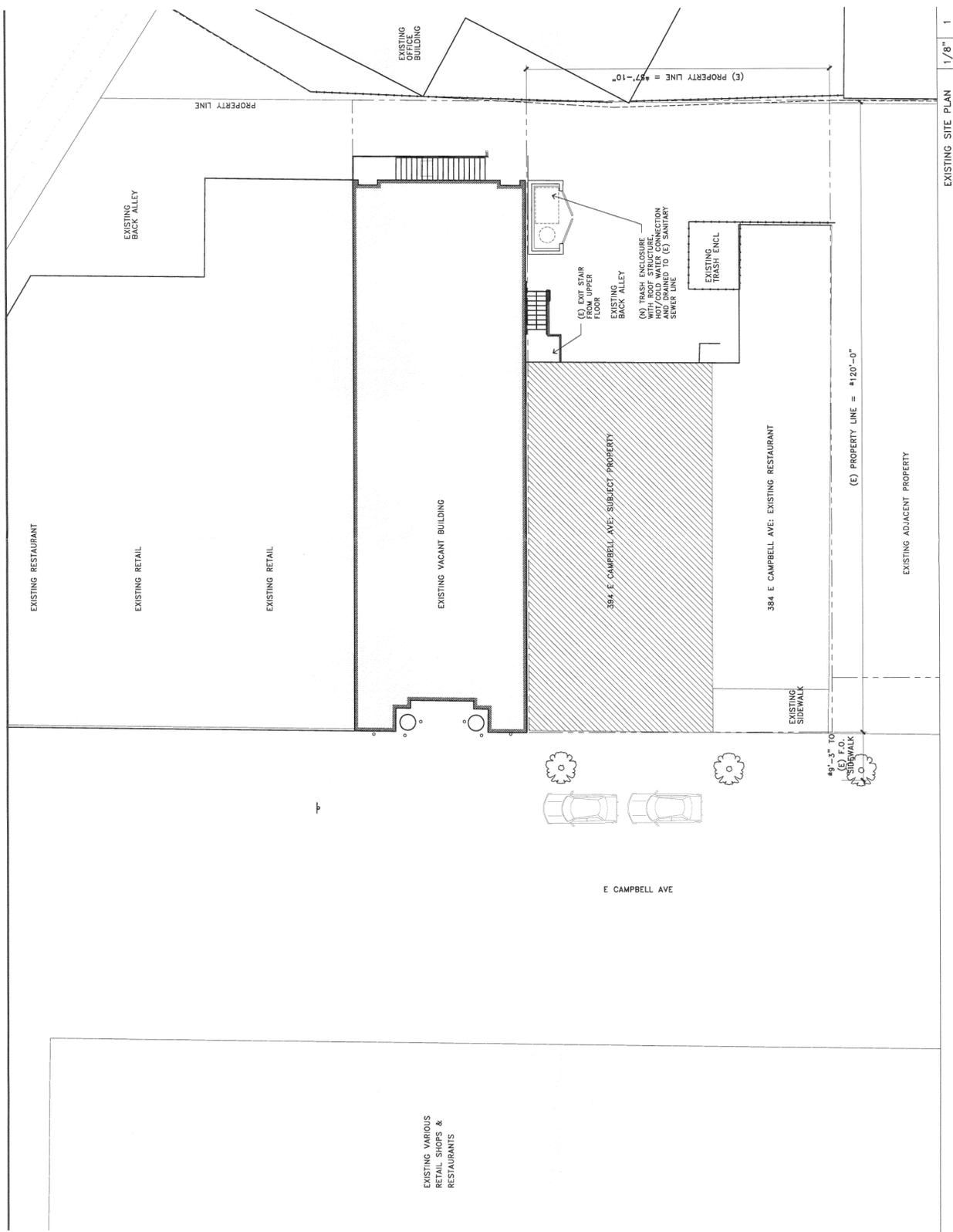
PROJECT NO.: 13-4330

EXISTING SITE PLAN



A1.0

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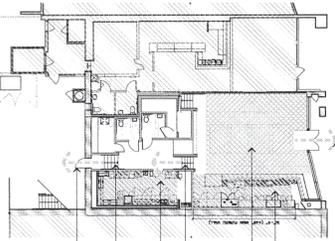


EXISTING SITE PLAN 1/8" = 1'

STUDIO 02 AND ITS EMPLOYEES SHALL NOT BE RESPONSIBLE FOR ANY VIOLATIONS OF ANY APPLICABLE ORDINANCES.



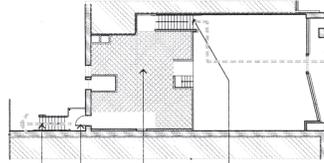
PROPOSED GROUND FLOOR PLAN



- (E) ACCESSIBLE EXIT WIDTH PROVIDED: 36"  
EXIT WIDTH REQ'D. PER OCCUPANT: 0.2"  
OCCUPANT LOAD ALLOW TO EXIT: 180
- (E) ACCESSIBLE EXIT WIDTH PROVIDED: 48"  
EXIT WIDTH REQ'D. PER OCCUPANT: 0.3"  
OCCUPANT LOAD ALLOW TO EXIT: 180
- (N) KITCHEN
- (E) ACCESSIBLE EXIT WIDTH PROVIDED: 48"  
EXIT WIDTH REQ'D. PER OCCUPANT: 0.3"  
OCCUPANT LOAD ALLOW TO EXIT: 180
- (N) DINING AREA
- (N) SERVICE BAR
- (E) ACCESSIBLE EXIT WIDTH PROVIDED: 36"  
EXIT WIDTH REQ'D. PER OCCUPANT: 0.2"  
OCCUPANT LOAD ALLOW TO EXIT: 180

EXIT WIDTH ANALYSIS PER SEC 1005

PROPOSED 2ND FLOOR PLAN



- (E) ACCESSIBLE EXIT WIDTH PROVIDED: 48"  
EXIT WIDTH REQ'D. PER OCCUPANT: 0.3"  
OCCUPANT LOAD ALLOW TO EXIT: 180
- (E) ACCESSIBLE EXIT WIDTH PROVIDED: 36"  
EXIT WIDTH REQ'D. PER OCCUPANT: 0.2"  
OCCUPANT LOAD ALLOW TO EXIT: 180
- (N) DINING AREA
- (E) ACCESSIBLE EXIT WIDTH PROVIDED: 48"  
EXIT WIDTH REQ'D. PER OCCUPANT: 0.3"  
OCCUPANT LOAD ALLOW TO EXIT: 180

EXIT WIDTH ANALYSIS PER SEC 1005

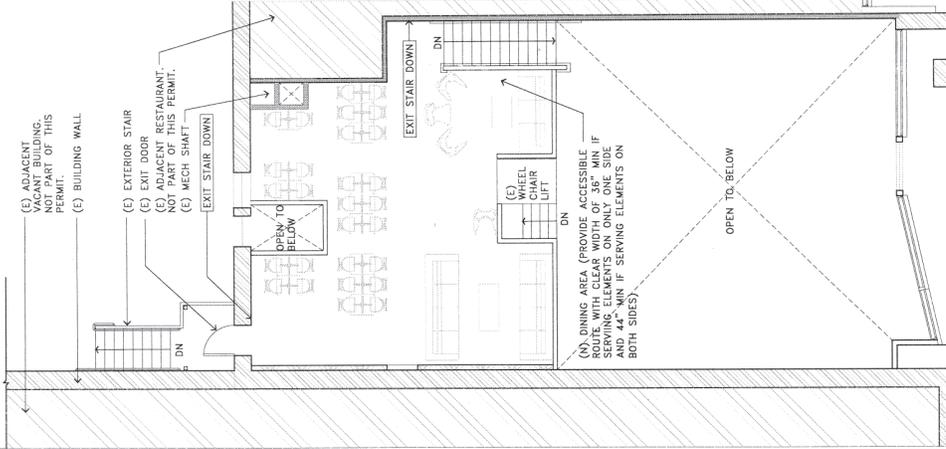
FLOOR DESCRIPTION	AREA	OCC. LOAD FACTOR PER SEC 1004.1.2	OCCUPANT LOAD MALE	FEMALE
1 DINING	693	15	103.95	86.2
1 KITCHEN/SERVICE	233	2.00	46.6	1.5
1 SERVICE BAR	299	2.00	59.8	48.9
TOTAL	925		210.35	136.6
2 DINING	654	15	98.1	43.6
TOTAL	654		98.1	43.6
TOTAL	1580		308.45	180.2

MAX OCCUPANCY LOAD CALCULATION PER TABLE 1004.1.2

EXIT ANALYSIS 1/16"

PLAN LEGEND

[EXIT] TACTILE SIGN WORDING REFER TO AD.1 "SIGNAGE /BRAILLE" PER SEC 1011.4

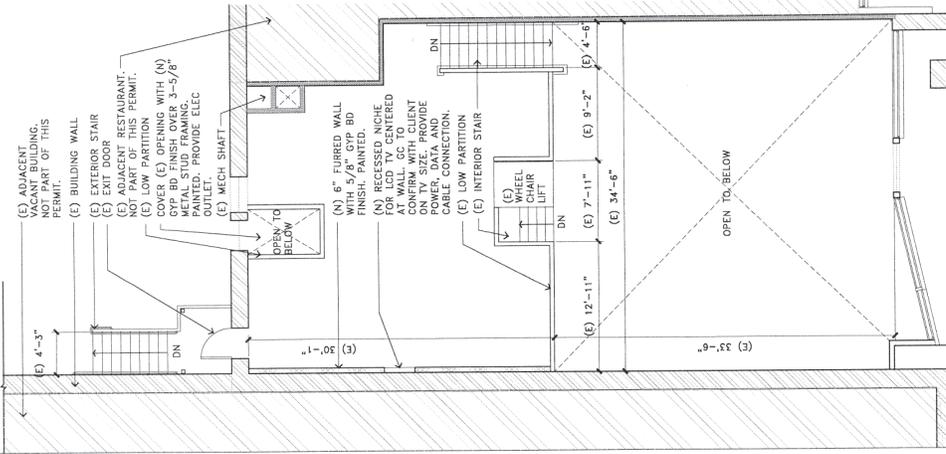


- (E) ADJACENT VACANT BUILDING, NOT PART OF THIS PERMIT.
- (E) BUILDING WALL
- (E) EXTERIOR STAIR
- (E) EXTERIOR STAIR
- (E) ADJACENT RESTAURANT, NOT PART OF THIS PERMIT.
- (E) MECH SHAFT
- EXIT STAIR DOWN
- OPEN TO BELOW
- WHEEL CHAIR LIFT
- (N) DINING AREA (PROVIDE ACCESSIBLE SERVING ELEMENTS ON ONLY ONE SIDE AND 44" MIN IF SERVING ELEMENTS ON BOTH SIDES).

E CAMPBELL AVE

PROPOSED 2ND FLOOR PLAN 3/16"

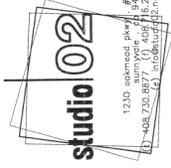
PROVIDE POWER AT ALL INTERIOR STAIRS FOR ILLUMINATED HANDRAIL BRACKETS MFG. WILES NELSON MODEL #703CSP



- (E) ADJACENT VACANT BUILDING, NOT PART OF THIS PERMIT.
- (E) BUILDING WALL
- (E) EXTERIOR STAIR
- (E) EXTERIOR STAIR
- (E) ADJACENT RESTAURANT, NOT PART OF THIS PERMIT.
- COVER (E) OPENING WITH (N) GYP BD FINISH OVER 3'-5/8" METAL STUD FRAMING. PROVIDE ELEC OUTLET.
- (E) MECH SHAFT
- OPEN TO BELOW
- (N) 6" FIRRED WALL WITH 5/8" GYP BD FINISH, PAINTED.
- (N) RECESSED NICHE WITH 5/8" GYP BD FINISH, PAINTED.
- (N) RECESSED NICHE WITH 5/8" GYP BD FINISH, PAINTED.
- CONFIRM WITH CLIENT ON TV SIZE, PROVIDE CABLE CONNECTION.
- (E) LOW PARTITION
- (E) INTERIOR STAIR
- WHEEL CHAIR LIFT
- (E) 4'-3"
- (E) 3'-0"-1"
- (E) 12'-11"
- (E) 7'-11"
- (E) 9'-2"
- (E) 34'-6"
- (E) 4'-6"
- (E) 33'-6"
- OPEN TO BELOW

E CAMPBELL AVE

EXISTING 2ND FLOOR PLAN 3/16"



# TENANT IMPROVEMENT

## REGALE

394 EAST CAMPBELL AVENUE  
CAMPBELL, CA 95008

03.24.14 ISSUED FOR HEALTH PLAN CHECK



PROJECT NO.: 13-4330

2ND FLOOR PLANS  
EXIT ANALYSIS



A2.5

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PROPOSED EXTERIOR SIGNAGE - BACK  
LIT CHANNEL LETTER, SHOP DWGS WILL  
BE SUBMITTED FOR SEPARATE SIGNAGE  
FOR REVIEW AND APPROVAL



CONDITIONAL USE PERMIT  
**REGALE**  
394 EAST CAMPBELL AVENUE  
CAMPBELL, CA 95008

01.29.14 ISSUED FOR CUP SUBMITTAL

PROJECT NO.: 13-4330

EXISTING STOREFRONT PHOTO

A3.0

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EXISTING STOREFRONT PHOTO

1