



CITY OF CAMPBELL
Community Development Department

October 16, 2015

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **October 27, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Alka Montessori for a Modification (PLN2015-243) to a previously approved Conditional Use Permit (PLN2011-316) with Site and Architectural Review to allow the construction of an 1,740 square-foot building to expand an existing commercial daycare center, located at **70 S. San Tomas Aquino Road** in the C-1 (Neighborhood Commercial) Zoning District. Staff is recommending that this project be deemed Categorical exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

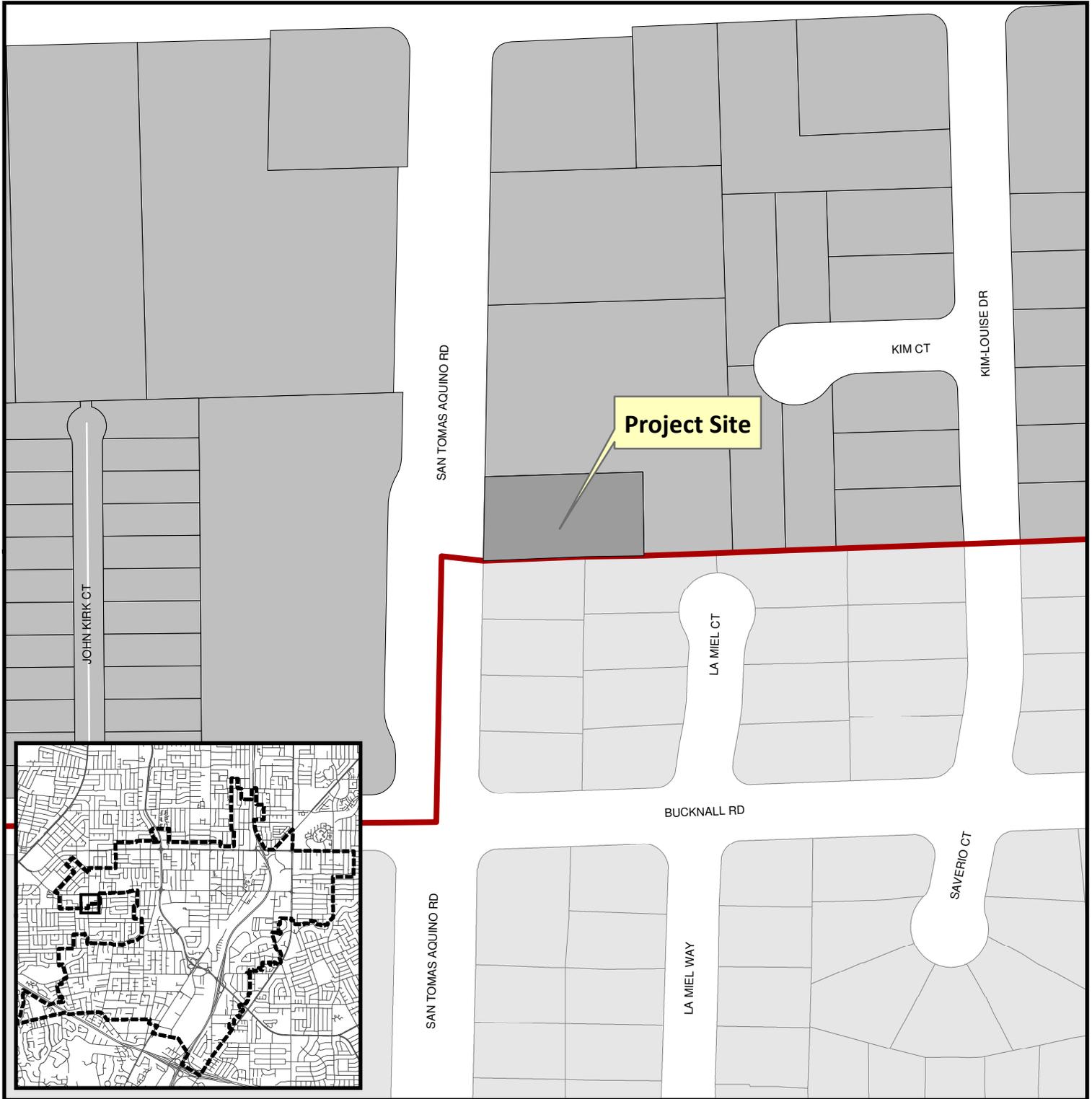
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **70 S. San Tomas Aquino Road**

Project Location Map

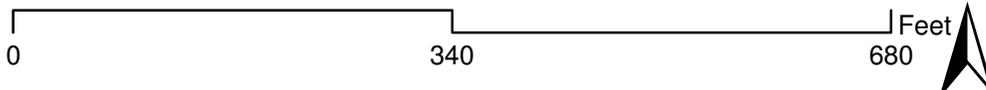


Project Location: 70 S. San Tomas Aquino Rd.

Application Type: Conditional Use Permit Modification

Planning File No.: PLN2015-243

Description: Expansion of existing daycare



Community Development Department
Planning Division

Project Description:

Project Description: We currently have a day care center (ALKA MONTESSORI) located at 70 S San Tomas Aquino Road, Campbell; this facility includes a 1560 square feet school building with approximately 3000 square feet for a play yard and 10 parking spaces. This new project proposal is for the construction of a new building to create an addition to the existing facilities of Alka Montessori. The objective is to increase the overall student capacity.

This new proposed addition will comprise of a new building for class rooms, rest rooms and the entire building structure will be connected to original building by a covered walkway. The total area of the new building will be approximately 1700 sq. feet. With this addition the total capacity will be increased from 29 students to 65 students. The total number of teachers will be 6.

Working Hours: The working hours for Alka Montessori will be from 7:00 a.m. to 6:00 P.M. (M-F).

Parking: Because of the location of the new building parking spaces will be increased to 19.

Traffic: Based on our current experience the parents will be bringing children to the school from 7:00 a.m. to 10 a.m. and will be picking up children from 4:00 P.M. to 6:15 P.M. The maximum rush will be between 8:30 A.M. to 9:30 A.M. with about 45 % and same in the evening from 5:15 to 6:15 P.M. also 45 %. Therefore the maximum number of cars entering the parking and leaving the parking will be around 30 in a one hour period.

Previously this building was used as a Taco Bell with approximately a total of 30 parking spaces; the total number of cars entering and leaving during any one hour period was much higher than we anticipate once this new structure is built. Hence, we are confident that it will not create any bottleneck in the traffic on San Tomas Aquino Road.

Play Yard: According to the California State Department of Social Service and Childcare Licensing our current yard has a capacity for 38 children. According to their rules we are allowed to schedule two separate play times; that allows us to have a total playing yard capacity for 76 kids (2 shifts of playtime for 38 children at a time).

Adjacent Uses:

1. North and East Side: World Mission Baptist Church
2. South Side; Residential Homes
3. West Side: San Tomas Aquino Road and Across the Road—Proposed new residential homes.

REVISION HISTORY	DATE

Addition
to
**Alka
Montessori**

70 S. San Tomas
Aquino rd
Campbell, CA 95008

New Site Plan

Harmony Architects
3207 BALMORAL CT
PLEASANTON, CA 94588
(510) 757-8547
vnie@harmony.com

The entire part of a set not to be used for construction shall be void. This sheet is not to be used for construction purposes separate from the entire set. The contractor shall be responsible for the interpretation of any detail not shown. All dimensions and notes shall be in accordance with the contract documents. All dimensions and notes shall be in accordance with the contract documents. All dimensions and notes shall be in accordance with the contract documents.

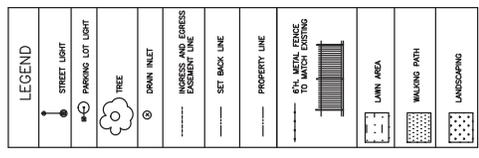
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Project No. 1504
Date: 9/2/15
Scale: As Noted
Drawing Number:

A2

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LAND COVERAGE DEFINED	EXISTING	%	PROPOSED	%
LANDSCAPING	2775 SF	15%	1785 SF	10%
PLANT AREA	2815 SF	16%	2525 SF	17%
CONCRETE/PAVEMENT AREA	1562 SF	8%	1562 SF	10%
TOTAL	16,819 SF	100%	16,819 SF	100%

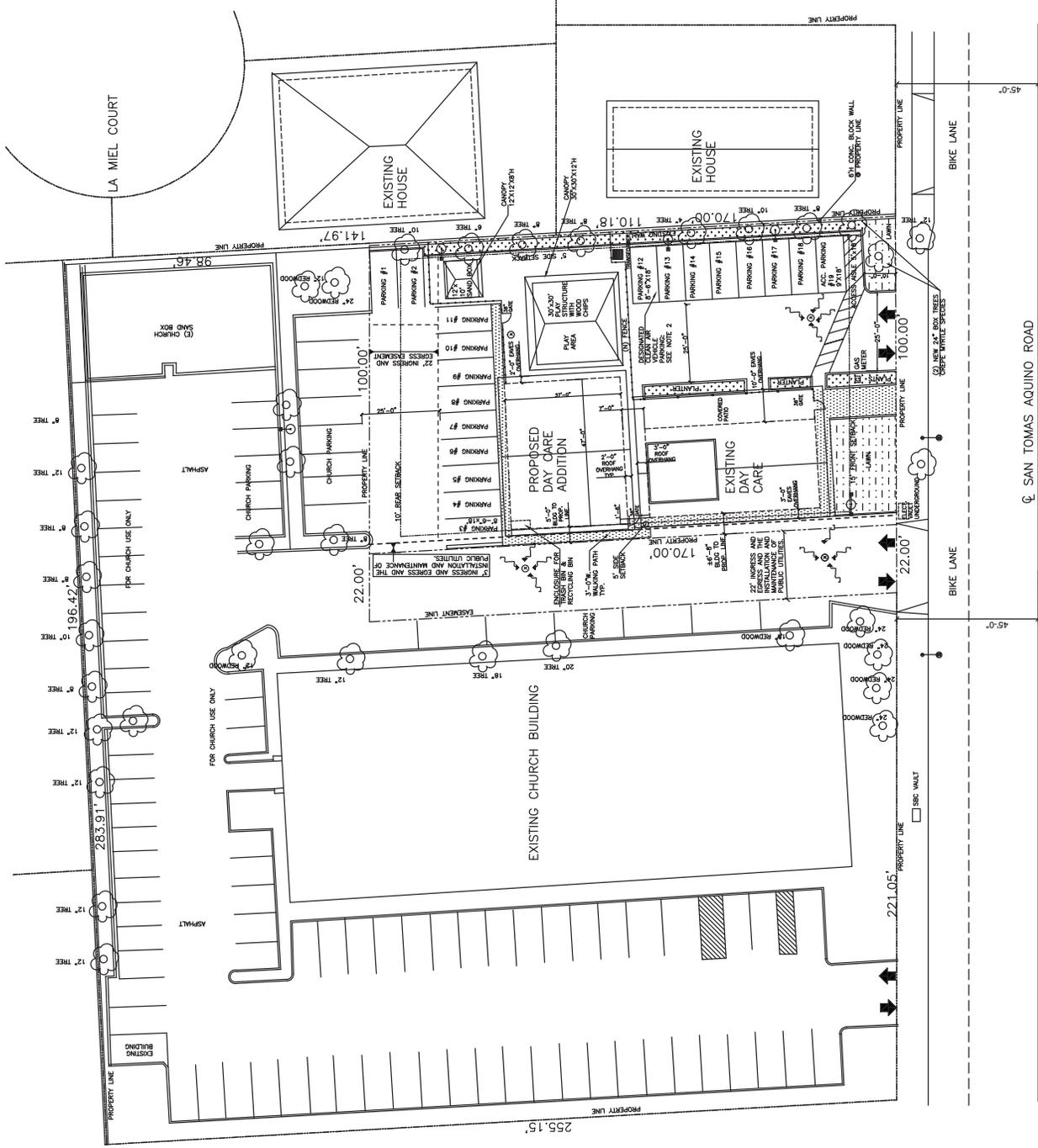


NOTE: EXISTING LOT IS 6% SLOPE. EXISTING STORM DRAIN INLETS ON SITE TO REMAIN.

NOTE: ALL VEHICLES CLEAN AND VEHICLE REPAIRS SHALL BE LIMITED TO THE "CLEAN AND VEHICLE REPAIR" ZONE. THE "CLEAN AND VEHICLE REPAIR" ZONE SHALL BE MAINTAINED AT ALL TIMES. THE "CLEAN AND VEHICLE REPAIR" ZONE SHALL BE MAINTAINED AT ALL TIMES. THE "CLEAN AND VEHICLE REPAIR" ZONE SHALL BE MAINTAINED AT ALL TIMES.

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NEW SITE PLAN N
SCALE: 1/16" = 1'-0"

REVISION	HISTORY	DATE

Addition
to

**Alka
Montessori**

70 S. San Tomas
Aquino rd
Campbell, CA 95008

Elevations
of New Building
Cross Sections



**Harmony
Architects**

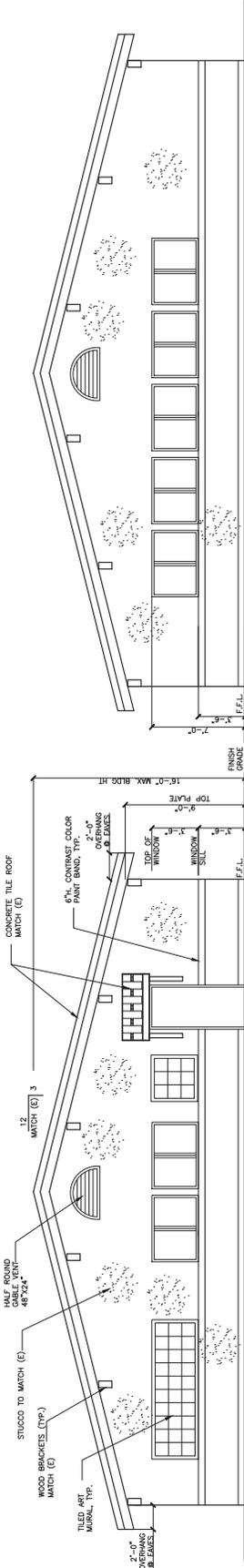
3207 BALMORAL CT
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(925) 752-5543
info@harmony.com

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It is to be used in conjunction with the architectural specifications and contract documents.
No portion of this drawing shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.
The architect shall be responsible for the accuracy of the information provided to the architect.
All dimensions and conditions shall be verified in the field by the contractor prior to proceeding with the work.

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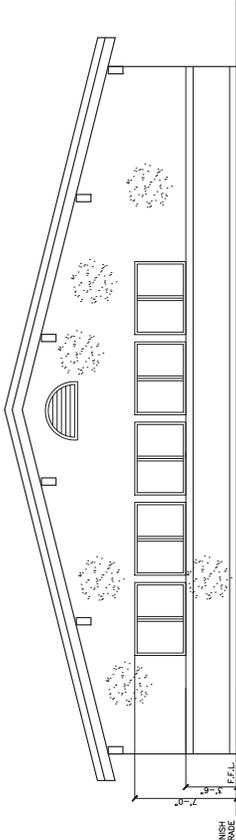
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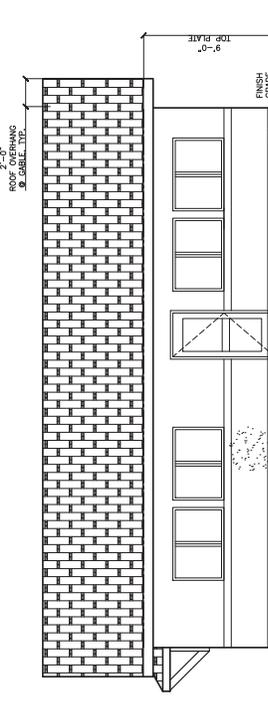
NEW FRONT/WEST ELEVATION

SCALE: 1/4"=1'-0"



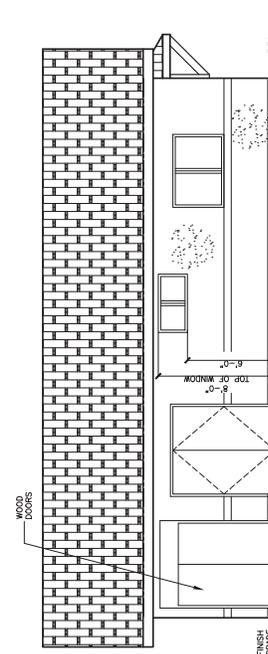
NEW REAR/EAST ELEVATION

SCALE: 1/4"=1'-0"



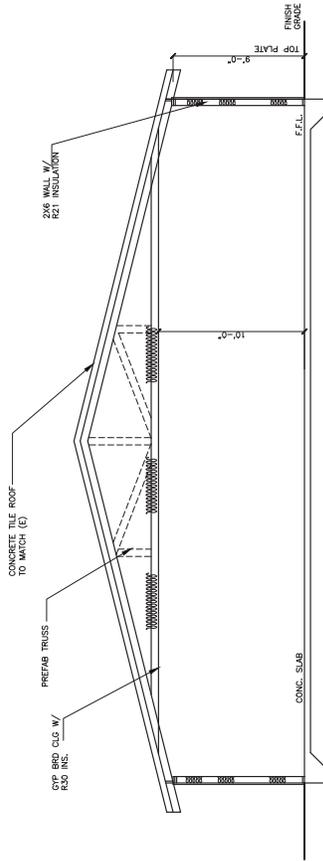
NEW SIDE/SOUTH ELEVATION

SCALE: 1/4"=1'-0"



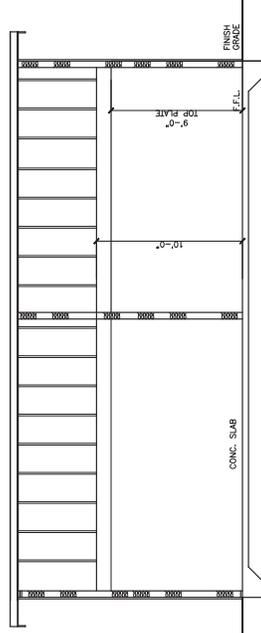
NEW SIDE/NORTH ELEVATION

SCALE: 1/4"=1'-0"



CROSS SECTION A-A

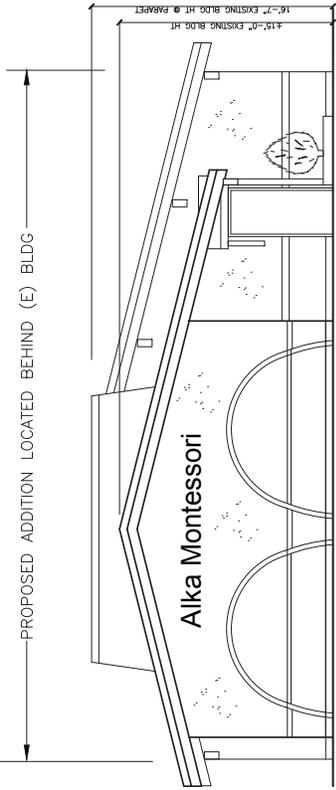
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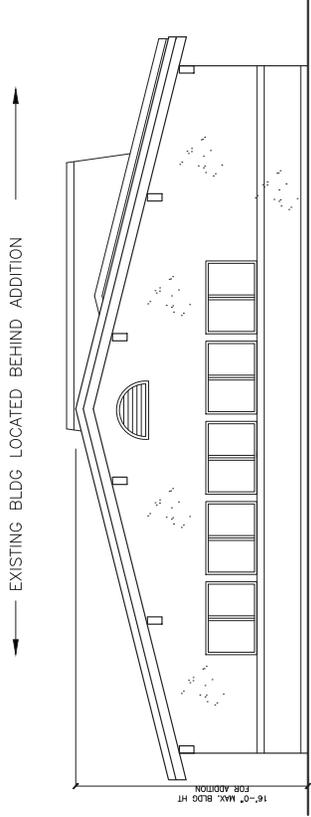
CROSS SECTION B-B

SCALE: 1/4"=1'-0"

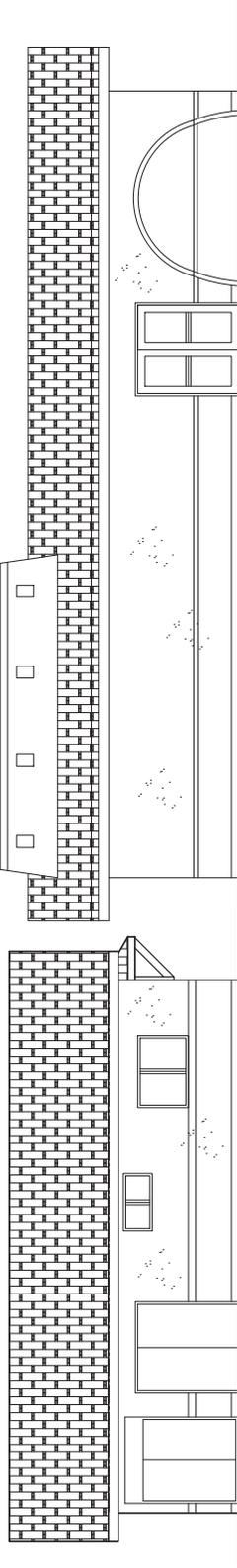
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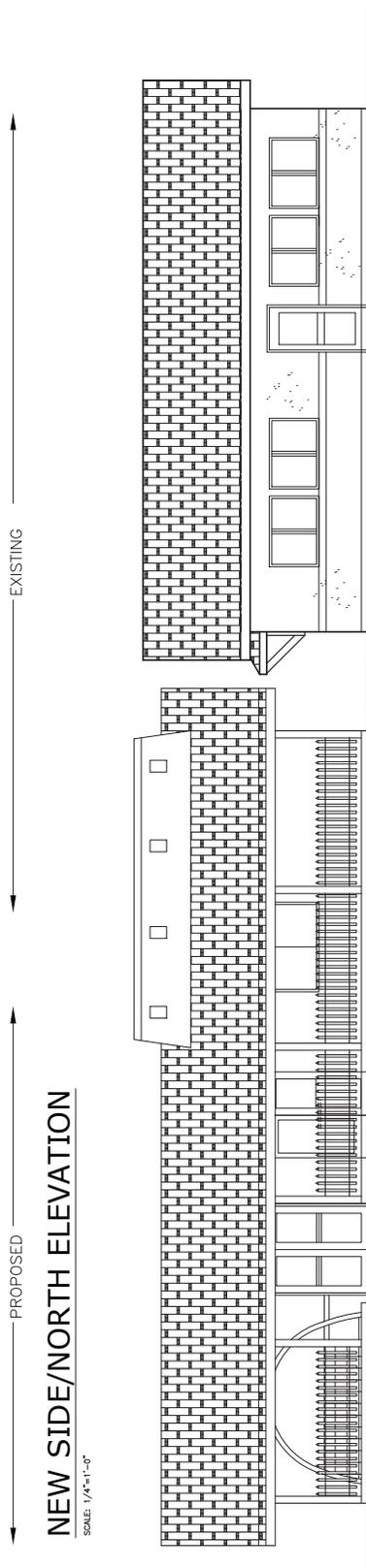
EXISTING
NEW FRONT ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED ADDITION
NEW REAR ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED
NEW SIDE/NORTH ELEVATION
 SCALE: 1/4"=1'-0"



EXISTING
NEW SIDE/SOUTH ELEVATION
 SCALE: 1/4"=1'-0"

Addition to
Alka Montessori

70 S. San Tomas
 Aquino rd
 Campbell, CA 95008

Elevations



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 The architect warrants that the information on this sheet is true and correct, and that the architect is not liable for any errors or omissions on the part of the contractor or any other party.
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