



**CITY OF CAMPBELL**  
**Community Development Department**

November 25, 2015

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **December 8, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Arash Moradi for a Site and Architectural Review Permit (PLN2015-255) with an associated Tree Removal Permit (PLN2015-316) to allow construction of a new two-story single-family residence and removal of a cedar tree on property located at **1443 Harriet Avenue**. Staff is recommending that this project be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

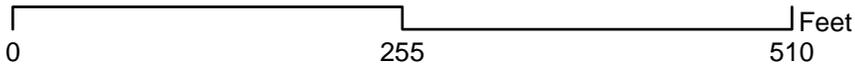
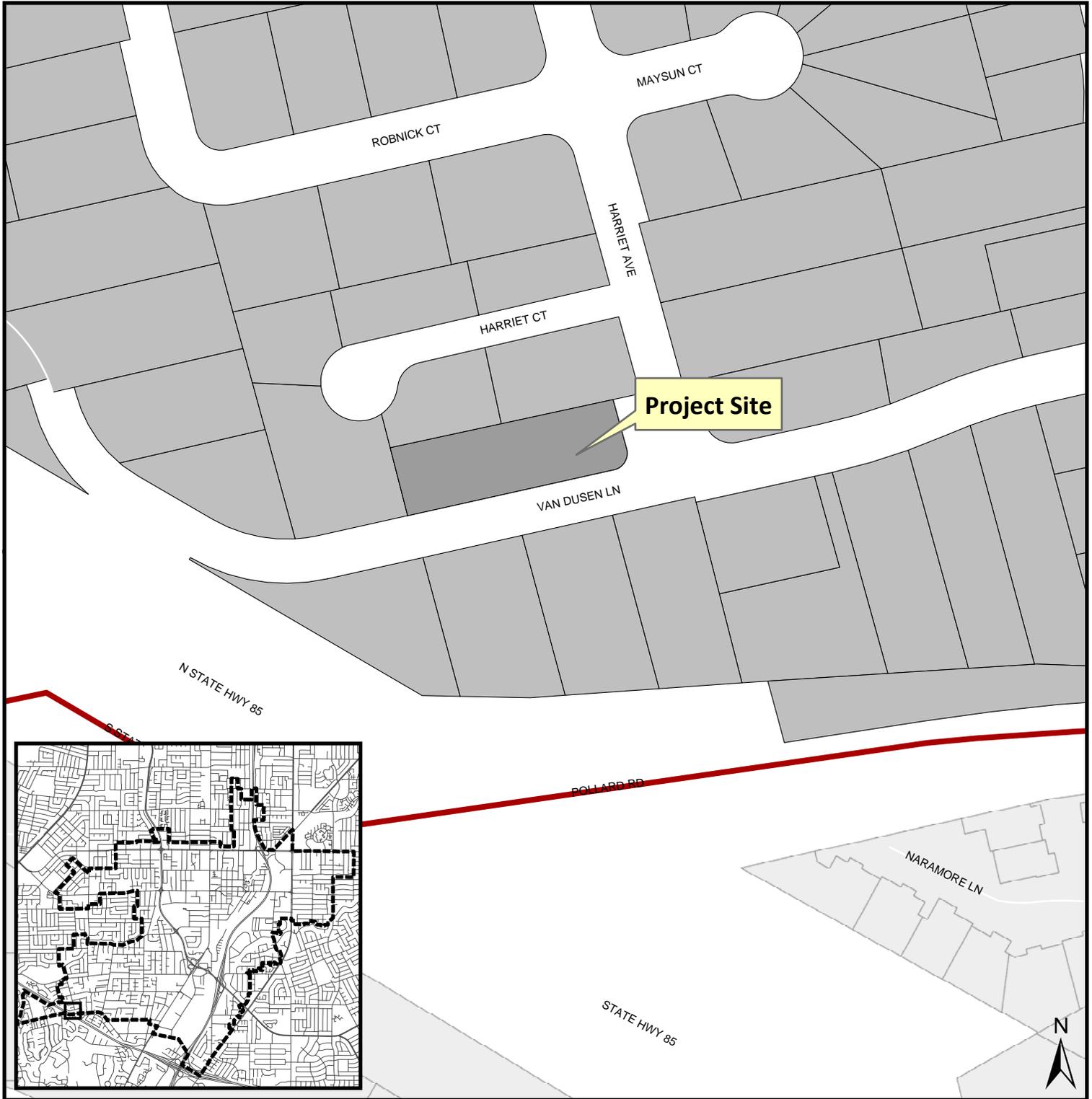
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **1443 Harriet Avenue**

# Project Location Map



**Project Location:** 1443 Harriet Avenue

**Application Type:** Site and Arch. / Tree Removal

**Planning File No.:** PLN2015-255/316

**Description:** To allow construction of a new two-story single-family residence and removal of a cedar tree.



Community Development Department  
Planning Division









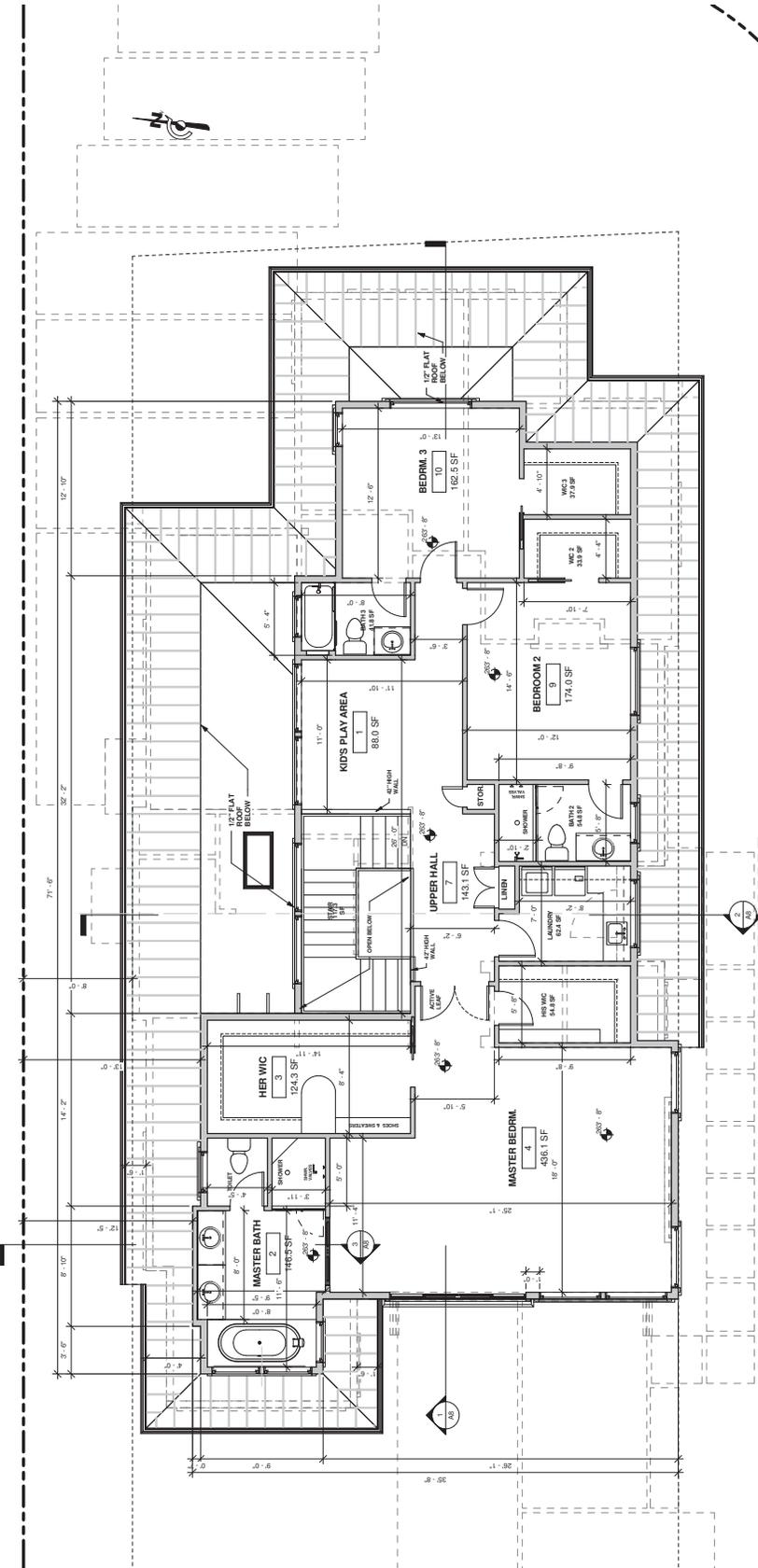
Project No: AR  
 Date: JULY 4, 2015  
 Drawn by: AUBREY  
 University: CHECKER  
**A4**  
 Scale: 1/4" = 1'-0"

OWNER: M. ARASH & MRS. DALBARR MORADI  
 CUSTOM HOUSE  
 1443 HARRIET AVE.  
 CAMPBELL, CA

SECOND FLOOR PLAN

GLUSH DESIGN ASSOCIATES INC.  
 1275781515@GMAIL.COM  
 408-248-1661  
 408-248-1662  
 408-248-1663  
 408-248-1664  
 408-248-1665  
 408-248-1666  
 408-248-1667  
 408-248-1668  
 408-248-1669  
 408-248-1670

Rev	Description	Date



1 SECOND FLOOR  
 A4 1/4" = 1'-0"

GLUSH DESIGN ASSOC.  
 8572 KORTLANDIDE DR.  
 SAN JOSE CA 95129  
 WWW.GLUSHDA.COM  
 (408)248-1661







Rev	Description	Date

GLUSH DESIGN ASSOCIATES INC.  
 800 Westlake Blvd  
 Suite 100  
 San Jose, CA 95128  
 Tel: (408) 248-1661  
 Fax: (408) 248-1662  
 www.glush.com

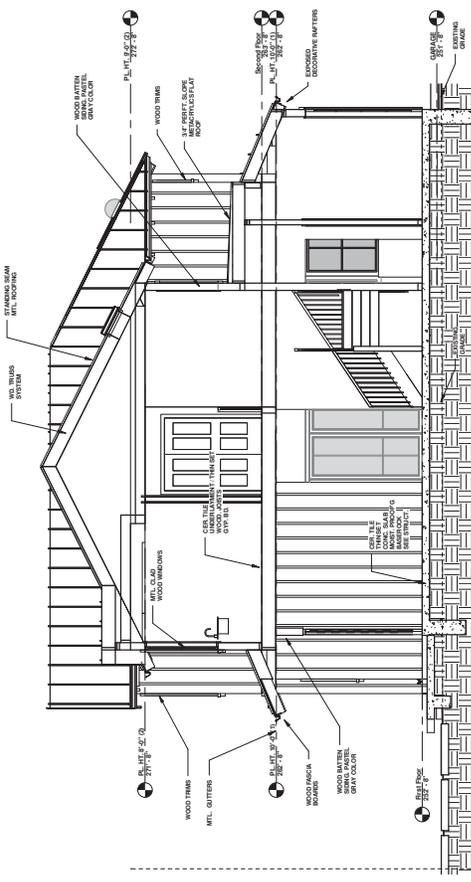


BUILDING SECTIONS

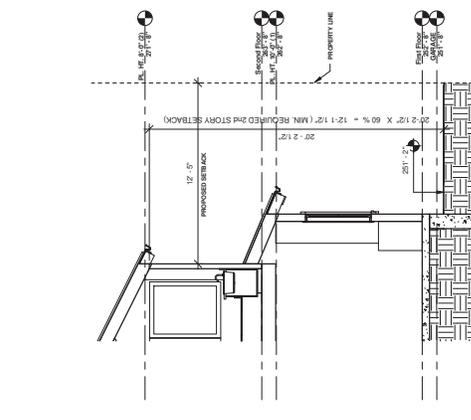
THIS DRAWING AND THE PORTION OF THE DECOR MAY BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF GLUSH DESIGN ASSOCIATES INC. ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF GLUSH DESIGN ASSOCIATES INC. IS PROHIBITED. THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED TO GLUSH DESIGN ASSOCIATES INC. AND THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED TO GLUSH DESIGN ASSOCIATES INC. AND THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED TO GLUSH DESIGN ASSOCIATES INC.

OWNER: M. ARASH & MRS. DALBARR MORADI  
 1443 HARRIET AVE.  
 CAMPBELL, CA

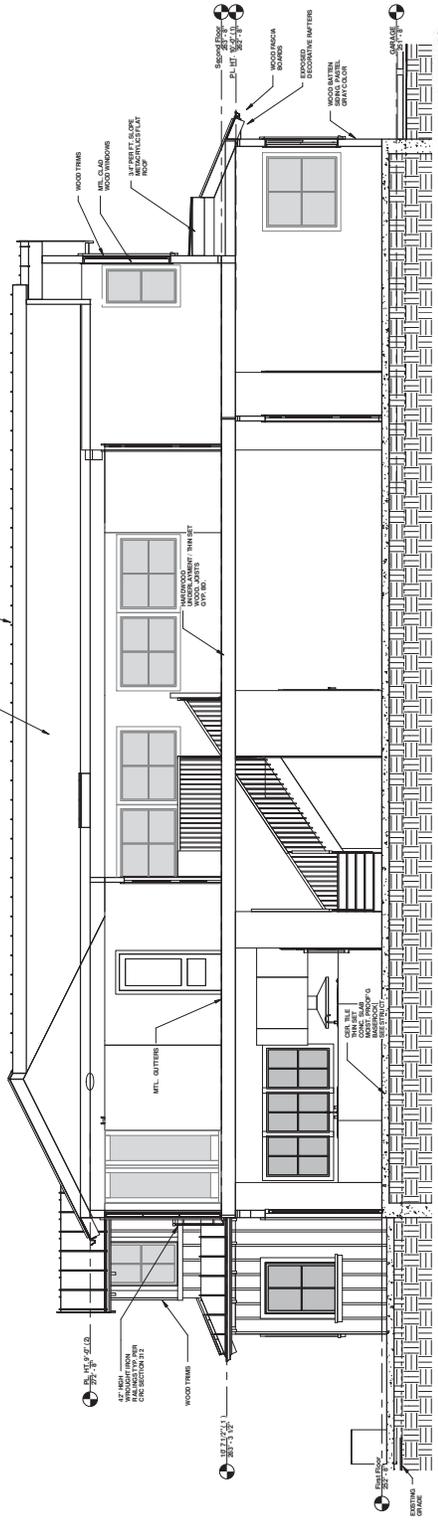
Project No: A8  
 Date: JULY 14, 2015  
 Drawn by: ANDREW  
 Checked by: CHESTER  
 Scale: 1/4" = 1'-0"



2 CROSS SECTION  
 A8 1/4" = 1'-0"



3 PARTIAL SECTION FOR SETBACK DISTANCE  
 A8 1/4" = 1'-0"



1 LONGITUDINAL SECTION  
 A8 1/4" = 1'-0"

GLUSH DESIGN ASSOC.  
 8577 WORTHING DR.  
 SAN JOSE CA 95128  
 www.glush.com  
 (408) 248-1661

Rev	Description	Date

GLUSH DESIGN ASSOCIATES INC.  
 800 West Valley Blvd. Suite 100-100  
 West Valley, CA 94591  
 Tel: (925) 248-1663  
 Email: info@glushdesign.com www.glushdesign.com

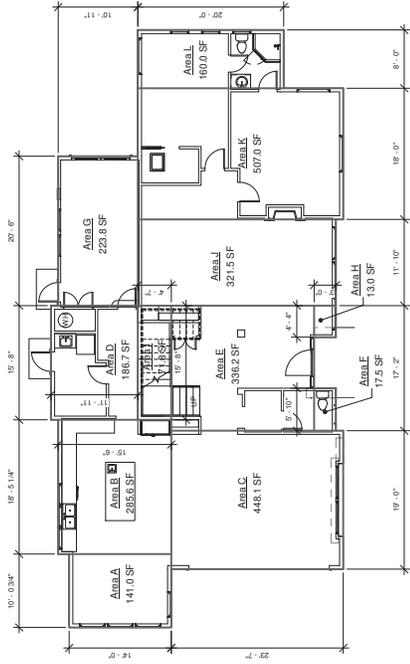
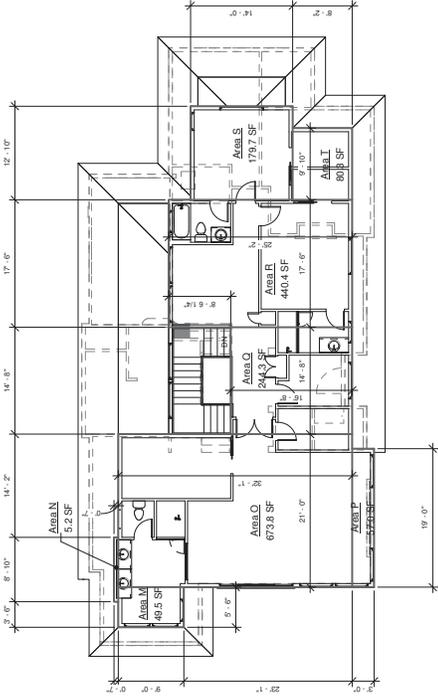


AREA SCHEMATICS

THIS DRAWING AND THE CONTENTS OF THE DECISION MADE HEREON ARE THE PROPERTY OF THE DESIGNER AND WILL BE USED FOR THE PROJECT ONLY. NO PART OF THIS DRAWING OR THE CONTENTS OF THE DECISION MADE HEREON SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

OWNER: M. ARASH & MRS. DALBARR MORADI  
 CUSTOM HOUSE  
 1443 HARRIET AVE.  
 CAMPBELL, CA

Project No: AR  
 Date: JULY 4, 2015  
 Drawn by: AutoCAD  
 Checked by: AutoCAD  
 Scale: 1/8" = 1'-0"



BUILDING AREA:

AREA SQFT

AREA	SQFT
A	141.0
B	448.1
C	483.1
D	336.2
E	321.5
F	223.8
G	223.8
H	17.5
I	17.5
J	321.5
K	507.0
L	100.0
M	485.0
N	673.8
O	21.0
P	21.0
Q	404.2
R	404.2
S	903.0

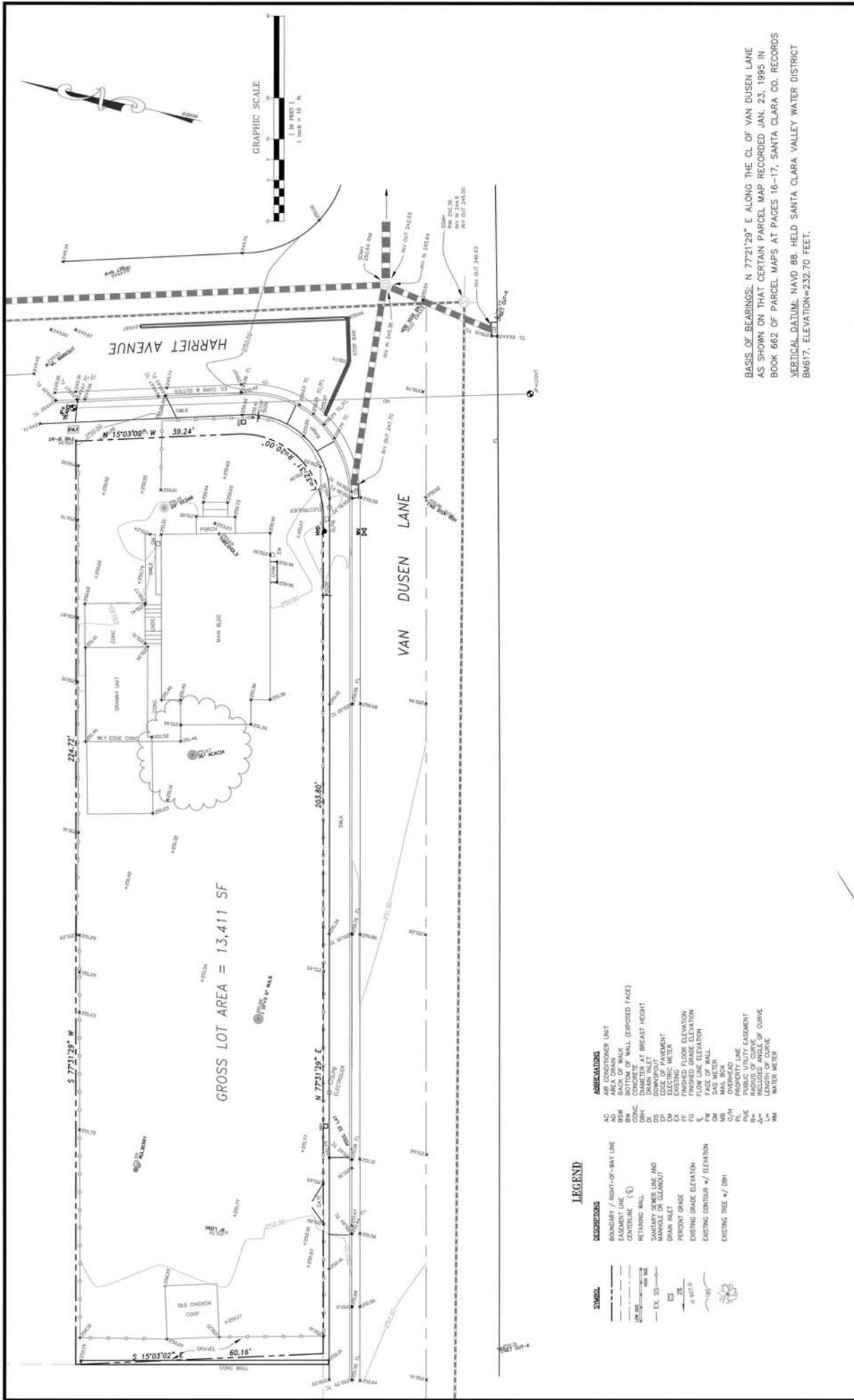
TOTAL FIRST FLOOR = 27,722 SQFT (2,888,416 LIVABLE)

AREA	SQFT
M	485.0
N	673.8
O	21.0
P	21.0
Q	404.2
R	404.2
S	903.0

TOTAL SECOND FLOOR = 1,793.3 SQFT

TOTAL BUILDING = 4,464.4 SQFT (P&H)

TOTAL FIRST & SECOND FLOOR LIVABLE = 4,218.6 SQFT  
 GARAGES = 223.8 SQFT



BASIS OF BEARINGS: N 77°21'29" E ALONG THE CL. OF VAN DUSEN LANE AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED JAN. 23, 1995 IN BOOK 662 OF PARCEL MAPS AT PAGES 16-17, SANTA CLARA CO. RECORDS  
 VERTICAL DATUM: NAVD 88, HELD SANTA CLARA VALLEY WATER DISTRICT  
 BM617: ELEVATION=232.70 FEET.

SHEET NO. **C1**  
 JOB NO. 2014-156

1443 HARRIET AVENUE  
**BOUNDARY & TOPOGRAPHIC SURVEY**  
 SANTA CLARA COUNTY  
 CITY OF CAMPBELL

APN: 403-19-103  
 PREPARED FOR:  
 ARASHI KOGASHI  
 TEL: 650-444-1933

STERLING CONSULTANTS  
 1000 UNIVERSITY AVENUE, SUITE 100  
 SAN RAMON, CA 94583  
 PHONE: 925-756-5433  
 FAX: 925-756-5434  
 sterlingconsultants@gmail.com



DATE	BY	DATE	REVISIONS	CITY APPR.
JULY 14, 2015	DKK			
SCALE AS NOTED				
DRAWN: DSK				
DESIGNED: DSK				
ENGINEER: DSK				
MANAGER: DSK				

- LEGEND**
- DESCRIPTIONS**
- BOUNDARY / RIGHT-OF-WAY LINE
  - EASEMENT LINE
  - CONTIGUOUS (C)
  - RETAINING WALL
  - MAIL BOX
  - EXISTING TREE w/ DBH
- ABBREVIATIONS**
  - AD - ADJACENT UNIT
  - AREA DRAIN
  - BACK OF WALK
  - BSW - BACK OF SIDEWALK
  - CONC. - CONCRETE
  - DIM - DIMENSION AT BREAK HEIGHT
  - DS - DOWNSPOUT
  - DS - DOWNSPOUT ASSEMBLY
  - DI - DRAIN INLET
  - EX - EXISTING
  - EX - EXISTING FLOOR ELEVATION
  - EX - EXISTING GRADE ELEVATION
  - FL - FINISHED GRADE ELEVATION
  - FL - FLOW LINE ELEVATION
  - GA - GAS METER
  - GA - GAS METER
  - MAIL BOX
  - MB - MAIL BOX
  - MR - MAIL ROOM
  - PL - PROPERTY LINE
  - PVE - PUBLIC UTILITY EASEMENT
  - PAVE - PAVED
  - INC - INCLUDED
  - LEN - LENGTH OF CURVE
  - INC - INCLUDED ANGLE OF CURVE
  - WM - WATER METER



**PLANTING NOTES**

THE PLANTING PLAN DIAGRAMATIC ONLY. THE EXACT LOCATION OF PLANT MATERIAL SHALL BE DETERMINED IN THE FIELD. THE CONTRACTOR SHALL VERIFY THAT THE SOIL TO BE PLANTED IS NATIVE AND FREE FROM ANY FOREIGN MATERIALS OR SUBSTANCES. ALL NEW PLANTING AREAS TO A DEPTH OF 8" AND REMOVE ALL WEEDS, STICKS, STONES OVER 1/2" DIAMETER, AND ANY OTHER MATERIAL WHICH WOULD BE HARMFUL TO PLANT GROWTH. ALL NEW PLANTING AREAS SHALL RECEIVE A 2" LAYER OF NITROGEN FORTIFIED WOOD CHIP MULCH. 1" IN TO A DEPTH OF 6" AND THE 1/2" DEPTH OF THE FOOTING. TABLE DIMENSIONS AND SPACING SHALL BE AS SHOWN IN THE PLANTING DETAILS. FINAL APPROVAL AFTER THE GRASSING AND PLANTING. A 2" LAYER OF NITROGEN FORTIFIED WOOD CHIP MULCH SHALL BE SPREAD IN ALL PLANTING AREAS FOR ADDITIONAL WEED CONTROL AND WATER RETENTION. SUBMIT A SAMPLE FOR APPROVAL.

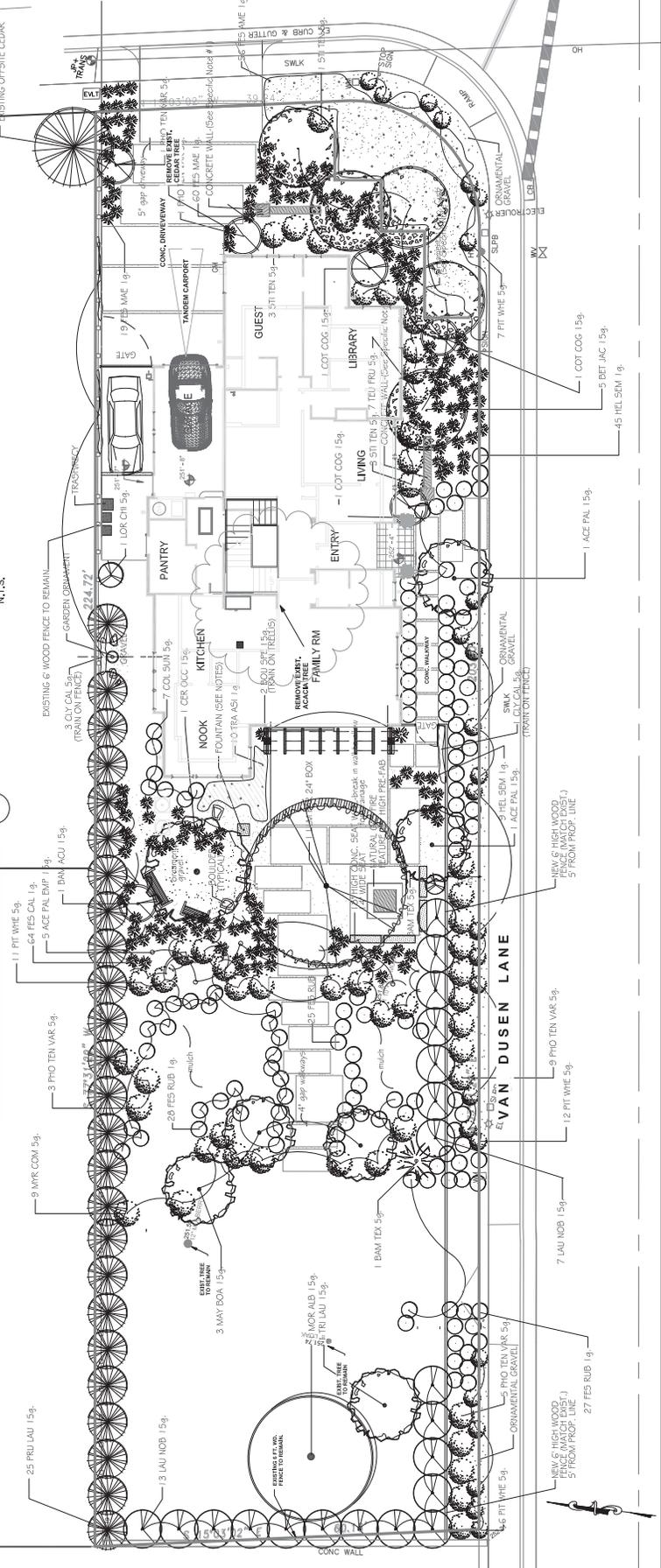
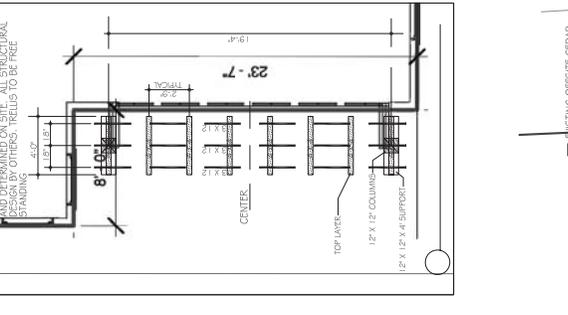
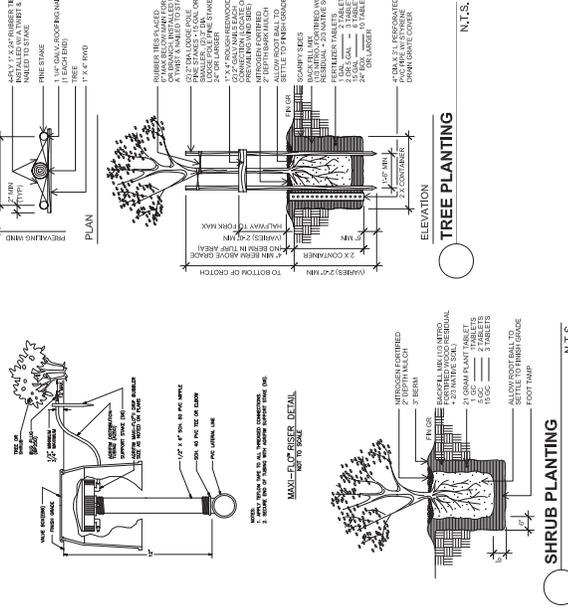
ALL PLANT MATERIAL SUBMITTED SHALL BE APPROVED BY THE OWNER OR THE LANDSCAPE ARCHITECT. ALL PLANTING DETAILS SHALL BE CLOSELY FOLLOWED, AND ALL LOCAL GOVERNING ORDINANCES SHALL BE MET. ALL PLANTING DETAILS SHALL BE "DOUBLE DWAFFY CHAMPION" BY THE GRASS FARM IN MORGAN HILL, OR APPROVED EQUAL. ALL PLANT MATERIALS SHALL BE IN HEALTHY, MATURE, AND DISEASE FREE CONDITION. THE PLANT SIZE SHALL BE PROPORTIONAL TO THE CONTAINER SIZE SPECIFIED. PLANTS NOT MEETING THESE REQUIREMENTS WILL BE REFUSED, EVEN IF PLANTED.

BOULDER SHALL BE SET WITH 1/3 OF THE BOULDER BURIED. NO TREES SHALL BE PLANTED WITHIN 10' OF ANY SANITARY SEWER LATERAL. TO BE FIELD VERIFIED BY THE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE OWNER TO SUBMIT LANDSCAPE PLANS TO THE GOVERNING CITY AND HOMEOWNERS ASSOCIATION FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HOMEOWNERS ASSOCIATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HOMEOWNERS ASSOCIATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HOMEOWNERS ASSOCIATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND HOMEOWNERS ASSOCIATION.

**SPECIFIC NOTES**

- CONCRETE WALLS IN THE TERRACE ARE FREE STANDING ORNAMENTAL. 10" HIGH AND 14" WIDE. THE SQUARE END IS 7' 2" AND 24" HIGH (IF ABOVE WALL HEIGHT). MATCH COLOR AND FINISH FROM FACTURE PROVIDED BY OWNER.
- ORNAMENTAL CONC. CURB SHALL BE 6" ABOVE FINISH GRADE AND 8" IN WIDTH. THE CURB SHALL HAVE A 3" GAP EVERY 6' FOR DRAINAGE AND COORDINATED WITH THE CURB PLAN.

KEY	TREES
ACE PAL	Acer palmatum multi
ACE PAL EMP	Acer palmatum 'Empress 1' (M41)
BET JAC	Betula japonica
CEB OCC	Cercis occidentalis
LAU NOB	Laurus nobilis 'Sumaga' Tree Form
MOR ALB	Myrica aspera 'Green Shower'
MOR ALB	Myrica aspera
TRILAU	Thuja occidentalis
ULM PAR	Ulmus parviflorus 'True Green'
KEY	SHRUBS
BAM ADZJ	Bambusa arundinacea
BAM TEK	Bambusa tulsi
COL SEN	Coffea arabica 'Sliced Gold'
COG COG	Cotoneaster horizontalis 'Royal Purple'
FES CAL	Festuca californica
FES CAL	Festuca californica 'Serpentine Blue'
FES CAL	Festuca tenuis
FES MAE	Festuca macrostachya
FES RUB	Festuca rubra
HEL SEM	Helianthus scaberrimus
LOR CH	Lonicera chrysantha 'Touchstone'
MOR COM	Myrica communis var. 'Compta'
PHO TEN	Photinia lancea 'Vanguard'
PIT WHE	Photinia whiteana 'Dwarf'
PRO LAU	Prostrata laurifolia
STI TEN	Stipa tenuifolia
TEU FRU	Teucrium fruticosum 'Compass'
TRA ASI	Tradescantia asiatica
BOU SAN	Bougainvillea 'San Diego Red'
GLY CAL	Glycyrrhiza californica



**RESIDENCE**  
1443 HARRIET AVE.  
CAMPBELL, CA

**HARDSCAPE / PLANTING LAYOUT**

REVISION	REVISION DATE
1	10-12-15
2	10-12-15

JOB NUMBER	
DATE	8-17-15
DRAWN BY	RKS
SCALE	1/8" = 1'-0"
SHEET	L-1

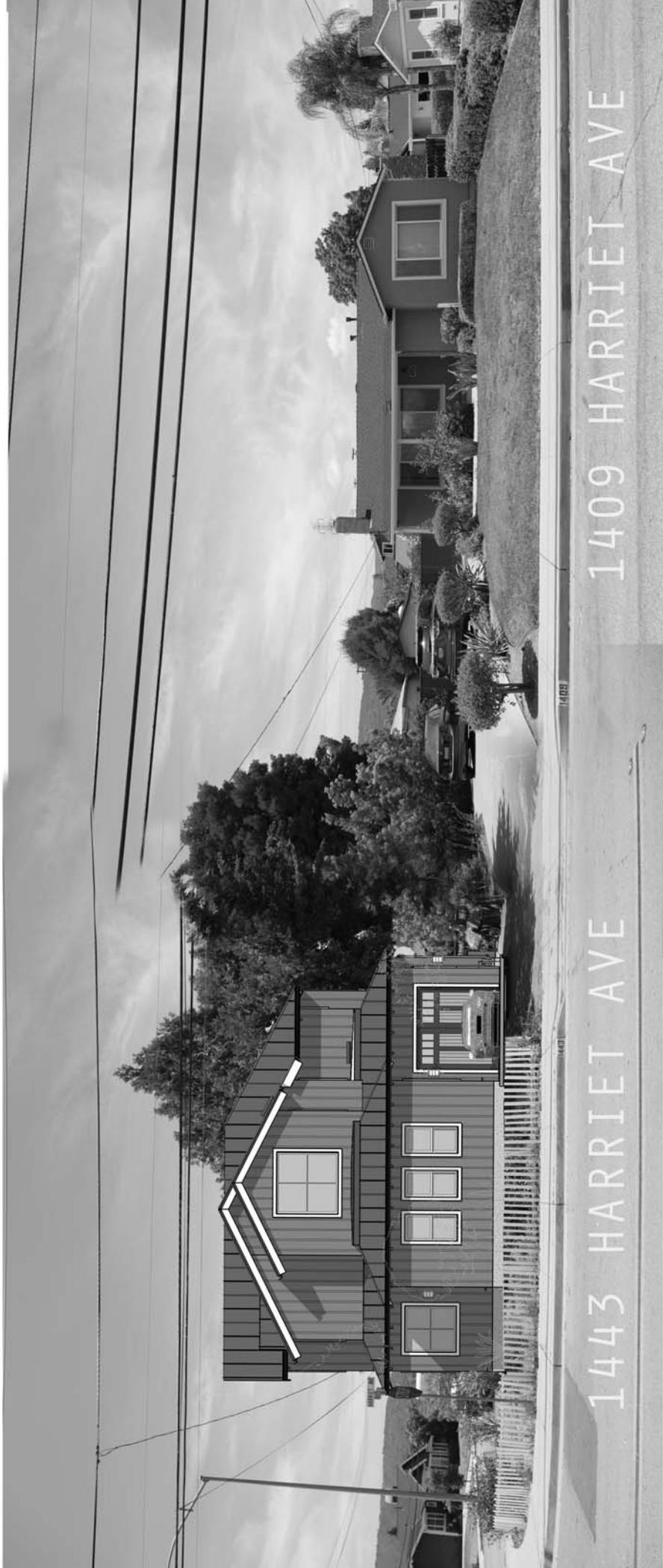
**StringhamDesign**  
landscape architecture

RUSSELL STRINGHAM  
1796 GUNSTON WAY SAN JOSE, CA 95124  
PHONE 408-988-0989  
LIC. # 3091

stringhamdesign@gmail.com  
www.stringhamdesign.com



# HARRIET AVENUE - STREETSCAPE



1443 HARRIET AVE

1409 HARRIET AVE