



CITY OF CAMPBELL
Community Development Department

November 25, 2015

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **December 8, 2015**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of ARC TEC Inc., for a Site and Architectural Review Permit (PLN2015-270) allow exterior improvements to existing commercial buildings within the Vasona Technology Park, restriping of the parking lot increasing the number of stalls, and creation of new courtyards, and a Tree Removal Permit (PLN2015-322) to allow for the removal of 21 on-site trees, for properties located at **1315 Dell Avenue, 1353 Dell Avenue, 210 E. Hacienda Avenue, and 200 E. Hacienda Avenue**. Staff is recommending that this project be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

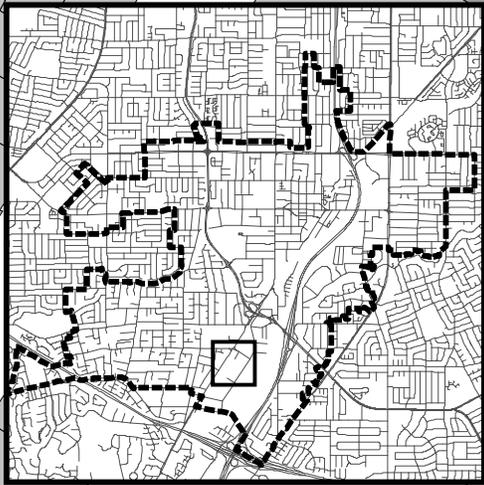
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to address: **Vasona Tech Park**

Project Location Map



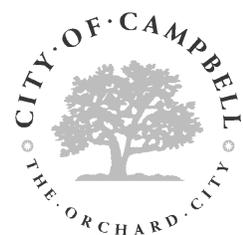
Project Location: Vasona Technology Park

Application Type: S/A Review Permit and Tree Removal Permit

Planning File No.: PLN2015-270,322

Description: Exterior remodel, parking lot improvements, and tree removal

0 550 1,100 Feet



Community Development Department
Planning Division

GENERAL NOTES

- A. ALL LAND, HILLS AND PAVING ARE EXISTING, UNLESS OTHERWISE NOTED. REPAIR AND COORDINATION TO THE ARCHITECT.
- B. ALL UTILITIES AND SERVICES ARE TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
- C. ALL UTILITIES AND SERVICES ARE TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.

KEYNOTES

- KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
1. KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
 2. KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
 3. KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
 4. KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
 5. KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
 6. KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
 7. KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
 8. KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
 9. KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.
 10. KEYNOTES TO BE MAINTAINED AND PROTECTED. ANY NECESSARY DEVIATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND THE UTILITY PROVIDER.

PROJECT DATA

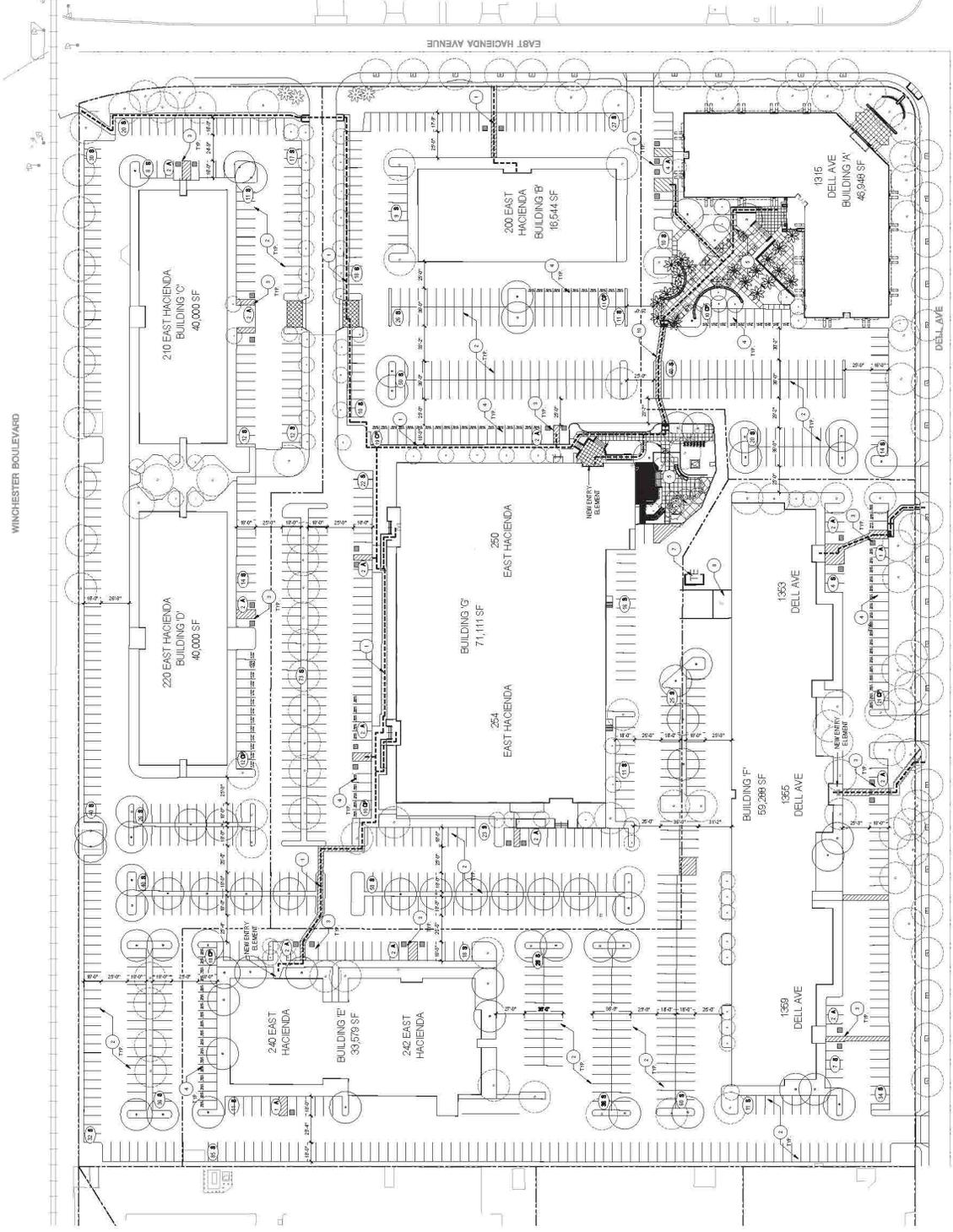
PROJECT NAME: VASONA TECH PARK
SITE AREA: 180,000 SF (APPROX.)
PROJECT PRINICIPAL DESIGNATION: OFFICE BUILDING

ARCHITECT: ARC TEC ARCHITECTURAL TECHNOLOGIES
DATE: 08/15/11
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
APPROVED BY: J. HARRIS

PARKING ANALYSIS

THE FOLLOWING TABLE IS BASED ON THE TOTAL DEVELOPMENTAL USE AREA AND THE TOTAL DEVELOPMENTAL USE AREA. THE TOTAL DEVELOPMENTAL USE AREA IS THE TOTAL DEVELOPMENTAL USE AREA. THE TOTAL DEVELOPMENTAL USE AREA IS THE TOTAL DEVELOPMENTAL USE AREA.

BUILDING	USE	GROUP	REQUIRED	STANDARD
A	OFFICE	1	1.0	1.0
B	OFFICE	1	1.0	1.0
C	OFFICE	1	1.0	1.0
D	OFFICE	1	1.0	1.0
E	OFFICE	1	1.0	1.0
F	OFFICE	1	1.0	1.0
G	OFFICE	1	1.0	1.0
H	OFFICE	1	1.0	1.0
I	OFFICE	1	1.0	1.0
J	OFFICE	1	1.0	1.0
K	OFFICE	1	1.0	1.0
L	OFFICE	1	1.0	1.0
M	OFFICE	1	1.0	1.0
N	OFFICE	1	1.0	1.0
O	OFFICE	1	1.0	1.0
P	OFFICE	1	1.0	1.0
Q	OFFICE	1	1.0	1.0
R	OFFICE	1	1.0	1.0
S	OFFICE	1	1.0	1.0
T	OFFICE	1	1.0	1.0
U	OFFICE	1	1.0	1.0
V	OFFICE	1	1.0	1.0
W	OFFICE	1	1.0	1.0
X	OFFICE	1	1.0	1.0
Y	OFFICE	1	1.0	1.0
Z	OFFICE	1	1.0	1.0
TOTAL			180,000	180,000



1 PROPOSED IMPROVEMENT SITE PLAN
SCALE: 1/8" = 1'-0"



NORTH



PROPOSED IMPROVEMENT
SITE PLAN

ARC TFC
 ARCHITECTURAL TECHNOLOGIES
 www.arctfc.com
 1980 Las Merced Street, Suite 200
 San Jose, CA 95131
 P: 408.255.1234 F: 408.255.2888

California
 Professional Seal No. 10000
 Architecture
 1980 Las Merced Street, Suite 200
 San Jose, CA 95131
 P: 408.255.1234 F: 408.255.2888

KIA
 KANSAS ARCHITECTURE
 ARCHITECTURE
 PLANNING
 www.kiaarch.com
 1000 West 10th Street, Suite 100
 Lawrence, KS 66044
 P: 785.843.1234 F: 785.843.1235

THE CARLEILE GROUP
 ARCHITECTURAL TECHNOLOGIES
 www.carleile.com
 1000 West 10th Street, Suite 100
 Lawrence, KS 66044
 P: 785.843.1234 F: 785.843.1235

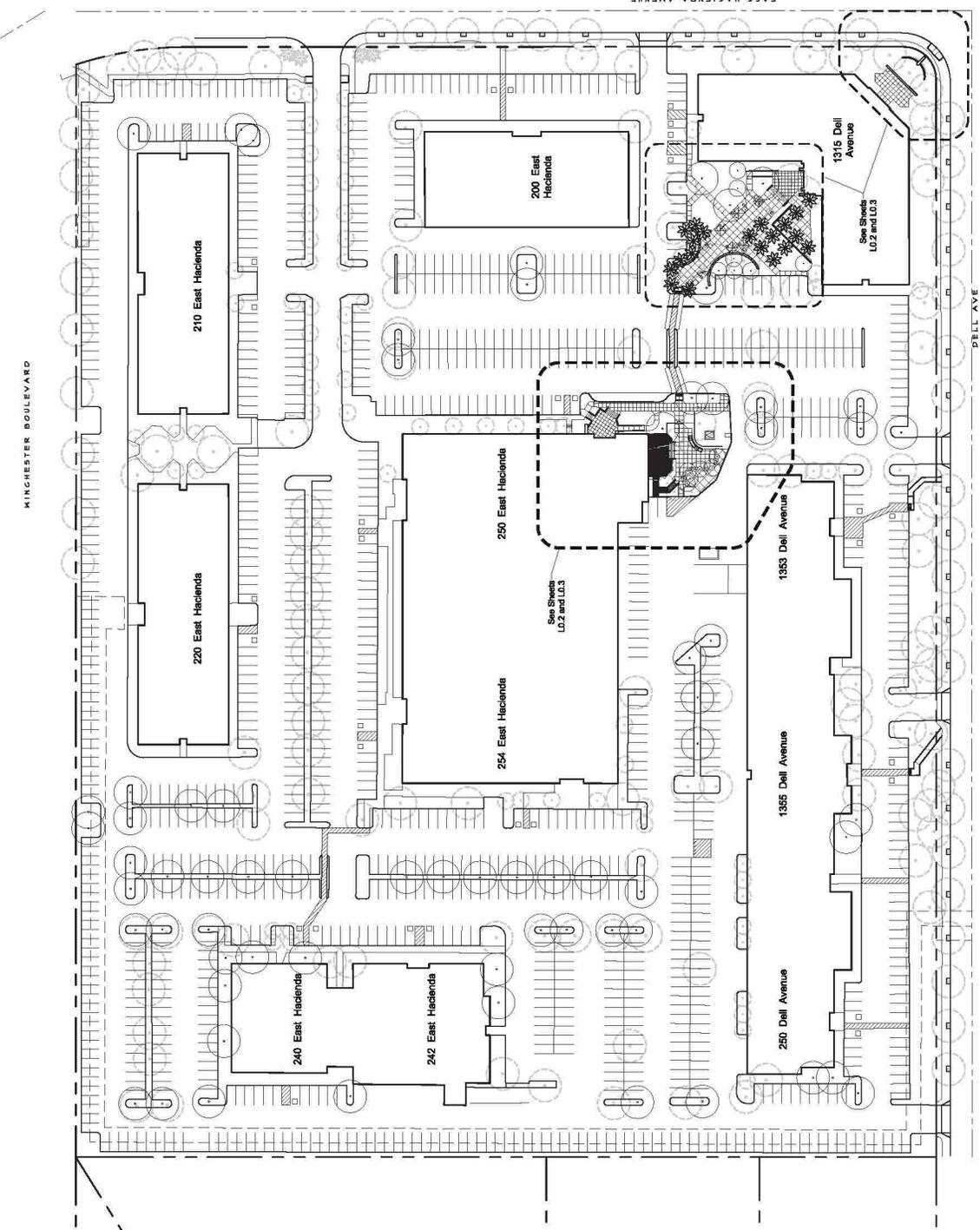
THE CARLEILE GROUP
 ARCHITECTURAL TECHNOLOGIES
 www.carleile.com
 1000 West 10th Street, Suite 100
 Lawrence, KS 66044
 P: 785.843.1234 F: 785.843.1235

Exterior Improvements for
VASONA TECH PARK
 SITE AND ARCHITECTURAL REVIEW PERMIT
 Campbell, CA 95008

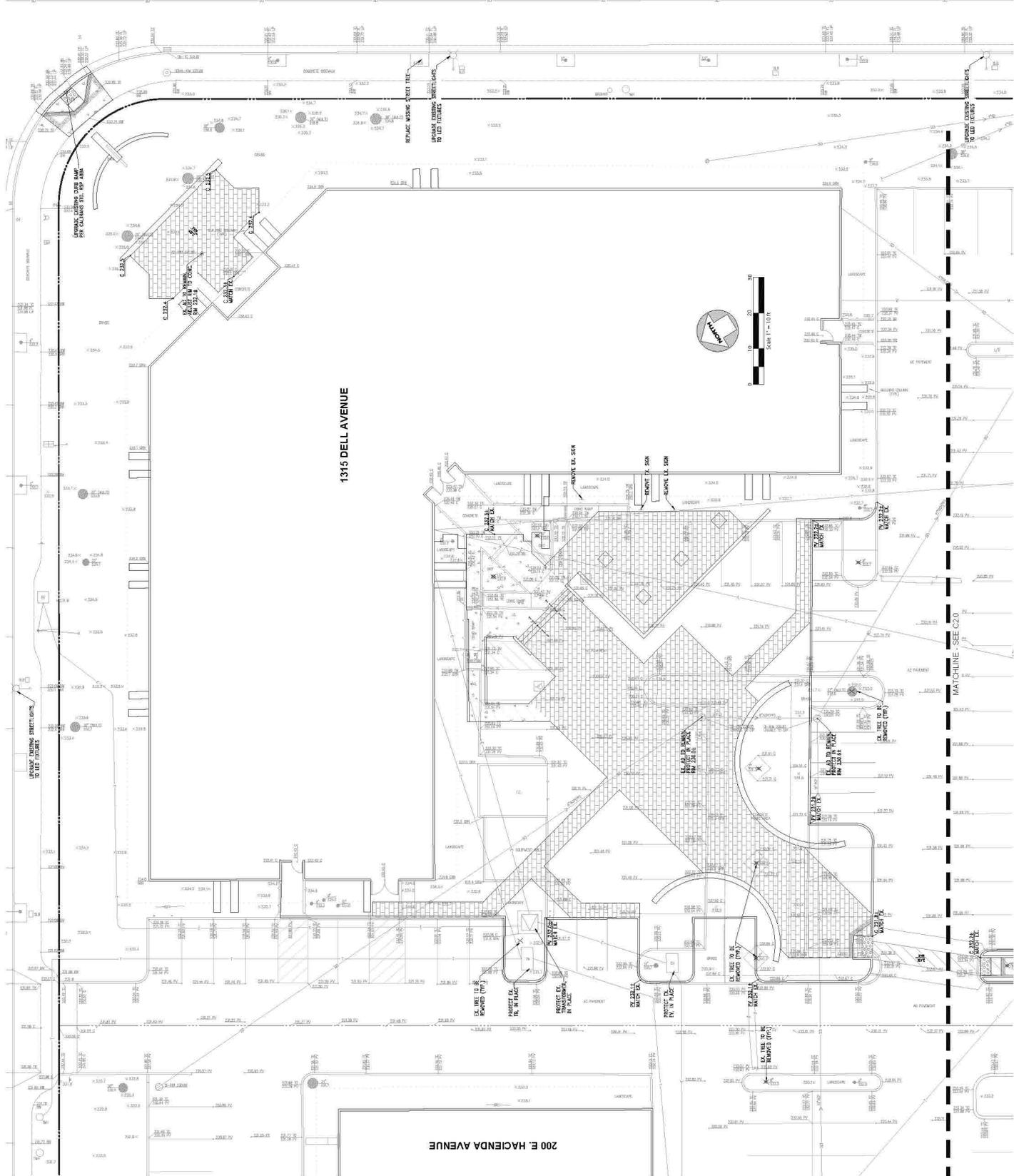
THE CARLEILE GROUP
 ARCHITECTURAL TECHNOLOGIES
 www.carleile.com
 1000 West 10th Street, Suite 100
 Lawrence, KS 66044
 P: 785.843.1234 F: 785.843.1235

DATE: 08/18/11
 DESCRIPTION: EXTERIOR IMPROVEMENTS
 PROJECT NO.: 10829 KLA 15-1108

L0.1
 CONCEPTUAL LANDSCAPE PLAN
 NOT TO SCALE



811
 Call before you dig
 1-800-487-2277



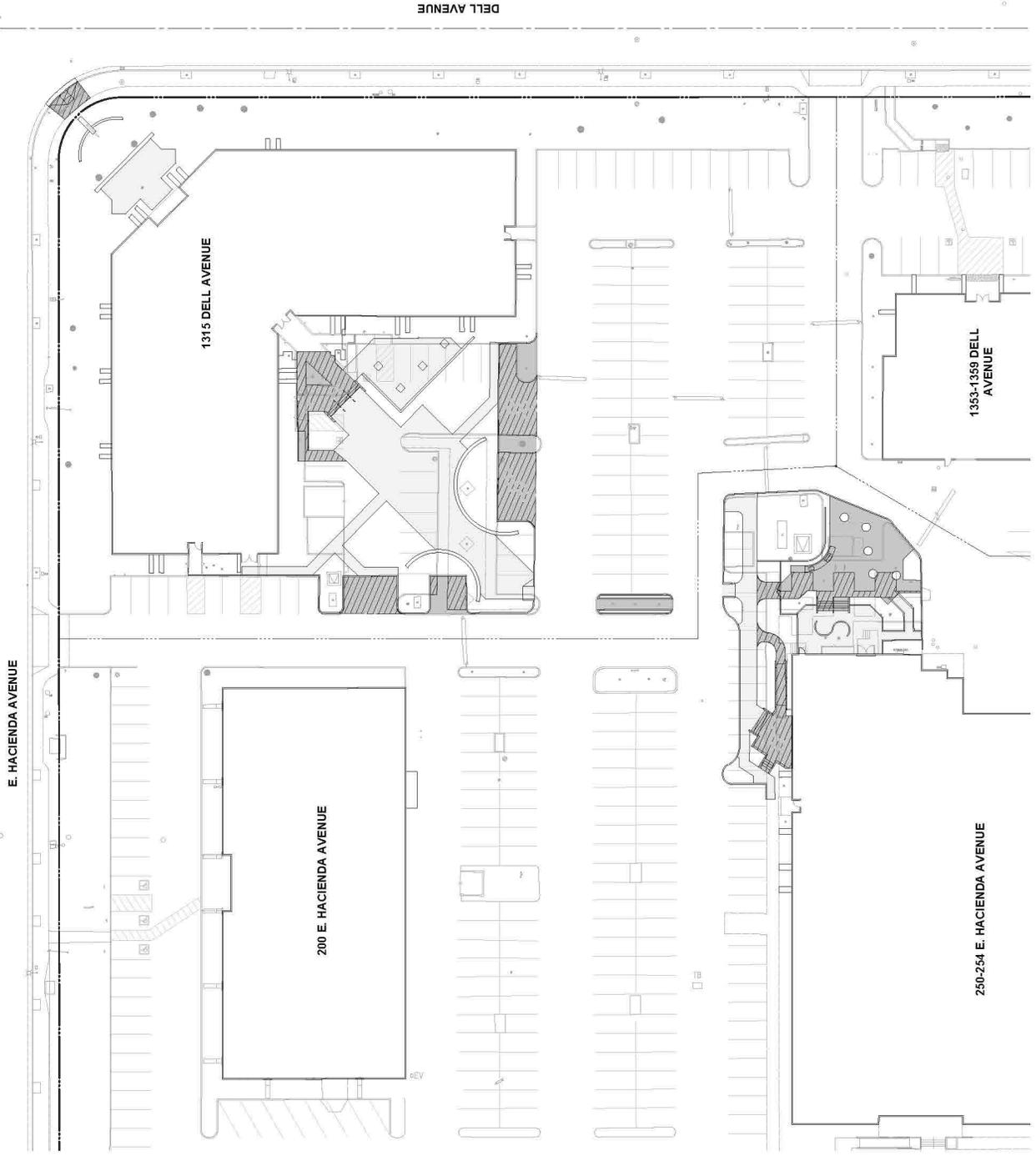


Exterior Improvements for
VASONA TECH PARK
SITE AND ARCHITECTURAL REVIEW PERMIT
Campbell, CA 95008



IMPERVIOUS CALCULATIONS

C3.0
PROJECT NO. A441053



IMPERVIOUS CALCULATION SUMMARY TABLE

PERVIOUS AND IMPERVIOUS SURFACE COMPARISON TABLE	
TYPE OF SURFACE	IMPERVIOUS PERCENTAGE (%)
ASPHALT DRIVEWAYS	100
ASPHALT PARKING LOTS	100
CONCRETE DRIVEWAYS	100
CONCRETE PARKING LOTS	100
GRAVEL DRIVEWAYS	50
GRAVEL PARKING LOTS	50
PAVED DRIVEWAYS	100
PAVED PARKING LOTS	100
PAVED DRIVEWAYS WITH PERVIOUS PAVEMENT	100
PAVED PARKING LOTS WITH PERVIOUS PAVEMENT	100
PERVIOUS DRIVEWAYS	0
PERVIOUS PARKING LOTS	0
PERVIOUS DRIVEWAYS WITH PERVIOUS PAVEMENT	0
PERVIOUS PARKING LOTS WITH PERVIOUS PAVEMENT	0
TOTAL IMPERVIOUS SURFACE AREA (SQ. FT.)	10,000
TOTAL PERVIOUS SURFACE AREA (SQ. FT.)	0
TOTAL IMPERVIOUS SURFACE AREA (SQ. FT.)	10,000

LEGEND

- REPLACED IMPERVIOUS AREA
- NEW IMPERVIOUS AREA
- NEW PERVIOUS PAVEMENT

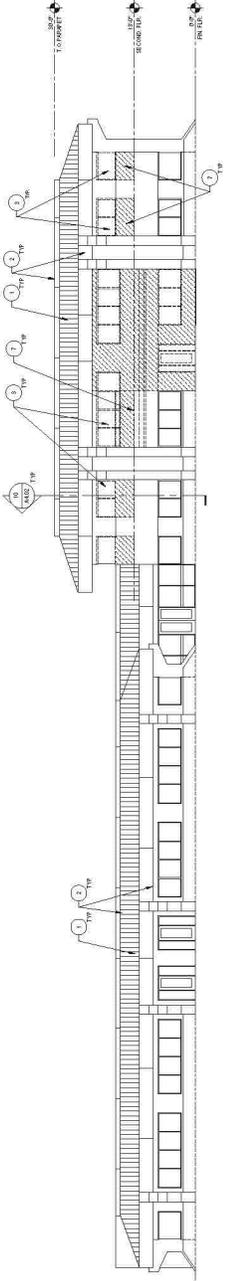
GENERAL NOTES

- A. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A NEARLY TIGHT CONDITION.
- B. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT EXISTING STRUCTURE.
- C. DUST PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROTECTION AND EGRESS REQUIREMENTS.
- D. STRUCTURAL AND FINISHING SHALL BE PROVIDED IN ACCORDANCE WITH THE PROTECTION AND EGRESS REQUIREMENTS.
- E. REPAIRS OF STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SHALL BE PROVIDED FOR ADDITIONAL WORK.
- F. REPAIRS AND PATCHES SHALL BE PROVIDED FOR ALL DAMAGE TO EXISTING WALLS, CEILING, AND FLOORING.
- G. REPAIRS AND PATCHES SHALL BE PROVIDED FOR ALL DAMAGE TO EXISTING WALLS, CEILING, AND FLOORING.
- H. ALL REPAIRS SHALL BE PROVIDED IN ACCORDANCE WITH THE PROTECTION AND EGRESS REQUIREMENTS.
- I. ALL REPAIRS SHALL BE PROVIDED IN ACCORDANCE WITH THE PROTECTION AND EGRESS REQUIREMENTS.
- J. ALL REPAIRS SHALL BE PROVIDED IN ACCORDANCE WITH THE PROTECTION AND EGRESS REQUIREMENTS.
- K. ALL REPAIRS SHALL BE PROVIDED IN ACCORDANCE WITH THE PROTECTION AND EGRESS REQUIREMENTS.
- L. ALL REPAIRS SHALL BE PROVIDED IN ACCORDANCE WITH THE PROTECTION AND EGRESS REQUIREMENTS.
- M. ALL REPAIRS SHALL BE PROVIDED IN ACCORDANCE WITH THE PROTECTION AND EGRESS REQUIREMENTS.

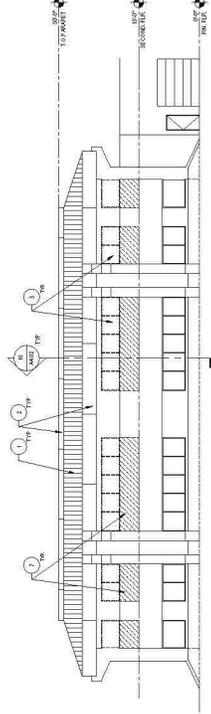
KEYNOTES-DEMOLITION

- NOTE: NOT ALL KEYNOTES LISTED BY LEVEL TO THIS DRAWING.
- 1. EXISTING CEILING TO REMAIN
 - 2. EXISTING FLOOR TO REMAIN
 - 3. EXISTING WALL TO REMAIN
 - 4. EXISTING ROOF TO REMAIN
 - 5. EXISTING WINDOW TO REMAIN
 - 6. EXISTING DOOR TO REMAIN
 - 7. EXISTING STAIR TO REMAIN
 - 8. EXISTING ELEVATOR TO REMAIN
 - 9. EXISTING MECHANICAL TO REMAIN
 - 10. EXISTING ELECTRICAL TO REMAIN
 - 11. EXISTING PLUMBING TO REMAIN
 - 12. EXISTING STRUCTURE TO REMAIN
 - 13. EXISTING CONCRETE TO REMAIN
 - 14. EXISTING STEEL TO REMAIN
 - 15. EXISTING ALUMINUM TO REMAIN
 - 16. EXISTING GLASS TO REMAIN
 - 17. EXISTING MASONRY TO REMAIN
 - 18. EXISTING BRICK TO REMAIN
 - 19. EXISTING TILE TO REMAIN
 - 20. EXISTING CARPET TO REMAIN
 - 21. EXISTING PAINT TO REMAIN
 - 22. EXISTING FINISH TO REMAIN
 - 23. EXISTING TRIM TO REMAIN
 - 24. EXISTING LIGHTING TO REMAIN
 - 25. EXISTING VENTILATION TO REMAIN
 - 26. EXISTING INSULATION TO REMAIN
 - 27. EXISTING ROOFING TO REMAIN
 - 28. EXISTING FOUNDATION TO REMAIN
 - 29. EXISTING RETAINING WALL TO REMAIN
 - 30. EXISTING FENCE TO REMAIN
 - 31. EXISTING LANDSCAPE TO REMAIN
 - 32. EXISTING UTILITIES TO REMAIN
 - 33. EXISTING SIGNAGE TO REMAIN
 - 34. EXISTING SITEWORK TO REMAIN
 - 35. EXISTING PAVING TO REMAIN
 - 36. EXISTING CURBS TO REMAIN
 - 37. EXISTING DRIVEWAYS TO REMAIN
 - 38. EXISTING SIDEWALKS TO REMAIN
 - 39. EXISTING BIKEWAYS TO REMAIN
 - 40. EXISTING TREES TO REMAIN
 - 41. EXISTING SHRUBS TO REMAIN
 - 42. EXISTING GRASS TO REMAIN
 - 43. EXISTING SOIL TO REMAIN
 - 44. EXISTING ROCKS TO REMAIN
 - 45. EXISTING UTILITIES TO REMAIN
 - 46. EXISTING STRUCTURE TO REMAIN
 - 47. EXISTING CONCRETE TO REMAIN
 - 48. EXISTING STEEL TO REMAIN
 - 49. EXISTING ALUMINUM TO REMAIN
 - 50. EXISTING GLASS TO REMAIN
 - 51. EXISTING MASONRY TO REMAIN
 - 52. EXISTING BRICK TO REMAIN
 - 53. EXISTING TILE TO REMAIN
 - 54. EXISTING CARPET TO REMAIN
 - 55. EXISTING PAINT TO REMAIN
 - 56. EXISTING FINISH TO REMAIN
 - 57. EXISTING TRIM TO REMAIN
 - 58. EXISTING LIGHTING TO REMAIN
 - 59. EXISTING VENTILATION TO REMAIN
 - 60. EXISTING INSULATION TO REMAIN
 - 61. EXISTING ROOFING TO REMAIN
 - 62. EXISTING FOUNDATION TO REMAIN
 - 63. EXISTING RETAINING WALL TO REMAIN
 - 64. EXISTING FENCE TO REMAIN
 - 65. EXISTING LANDSCAPE TO REMAIN
 - 66. EXISTING UTILITIES TO REMAIN
 - 67. EXISTING SIGNAGE TO REMAIN
 - 68. EXISTING SITEWORK TO REMAIN
 - 69. EXISTING PAVING TO REMAIN
 - 70. EXISTING CURBS TO REMAIN
 - 71. EXISTING DRIVEWAYS TO REMAIN
 - 72. EXISTING SIDEWALKS TO REMAIN
 - 73. EXISTING BIKEWAYS TO REMAIN
 - 74. EXISTING TREES TO REMAIN
 - 75. EXISTING SHRUBS TO REMAIN
 - 76. EXISTING GRASS TO REMAIN
 - 77. EXISTING SOIL TO REMAIN
 - 78. EXISTING ROCKS TO REMAIN
 - 79. EXISTING UTILITIES TO REMAIN
 - 80. EXISTING STRUCTURE TO REMAIN
 - 81. EXISTING CONCRETE TO REMAIN
 - 82. EXISTING STEEL TO REMAIN
 - 83. EXISTING ALUMINUM TO REMAIN
 - 84. EXISTING GLASS TO REMAIN
 - 85. EXISTING MASONRY TO REMAIN
 - 86. EXISTING BRICK TO REMAIN
 - 87. EXISTING TILE TO REMAIN
 - 88. EXISTING CARPET TO REMAIN
 - 89. EXISTING PAINT TO REMAIN
 - 90. EXISTING FINISH TO REMAIN
 - 91. EXISTING TRIM TO REMAIN
 - 92. EXISTING LIGHTING TO REMAIN
 - 93. EXISTING VENTILATION TO REMAIN
 - 94. EXISTING INSULATION TO REMAIN
 - 95. EXISTING ROOFING TO REMAIN
 - 96. EXISTING FOUNDATION TO REMAIN
 - 97. EXISTING RETAINING WALL TO REMAIN
 - 98. EXISTING FENCE TO REMAIN
 - 99. EXISTING LANDSCAPE TO REMAIN
 - 100. EXISTING UTILITIES TO REMAIN

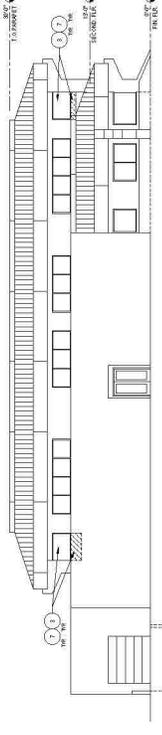
17 EXISTING NORTH ELEVATION - 240 HACIENDA AVENUE
 SCALE: 1/8"=1'-0"



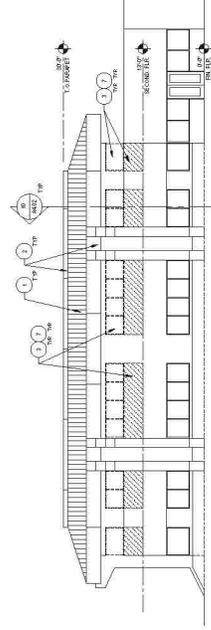
18 EXISTING WEST ELEVATION - 240 HACIENDA AVENUE
 SCALE: 1/8"=1'-0"



10 EXISTING EAST ELEVATION - 240 HACIENDA AVENUE
 SCALE: 1/8"=1'-0"

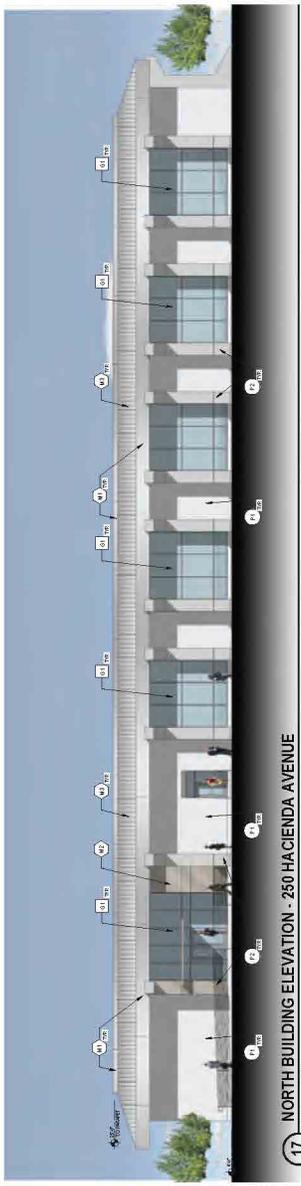


19 EXISTING SOUTH ELEVATION - 240 HACIENDA AVENUE
 SCALE: 1/8"=1'-0"

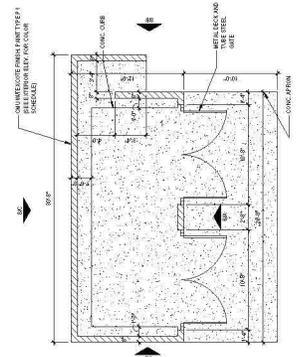


MATERIALS AND FINISHES

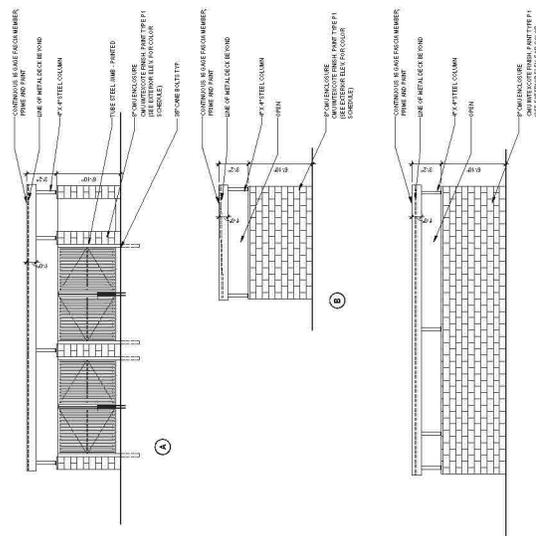
- 11 NEW: GLASS
 MANUFACTURER: CLEAR GLASS
 FINISH: CLEAR
- 12 NEW: GLASS (PANELS)
 MANUFACTURER: CLEAR GLASS
 FINISH: CLEAR
- 13 NEW: WALL PANELS
 MANUFACTURER: CLEAR GLASS
 FINISH: CLEAR
- 14 EXISTING: PAINT
 COLOR: WHITE
- 15 EXISTING: PAINT
 COLOR: WHITE
- 16 EXISTING: PAINT
 COLOR: WHITE
- 17 EXISTING: PAINT
 COLOR: WHITE
- 18 EXISTING: PAINT
 COLOR: WHITE
- 19 EXISTING: PAINT
 COLOR: WHITE
- 20 EXISTING: PAINT
 COLOR: WHITE
- 21 EXISTING: PAINT
 COLOR: WHITE
- 22 EXISTING: PAINT
 COLOR: WHITE
- 23 EXISTING: PAINT
 COLOR: WHITE
- 24 EXISTING: PAINT
 COLOR: WHITE
- 25 EXISTING: PAINT
 COLOR: WHITE
- 26 EXISTING: PAINT
 COLOR: WHITE
- 27 EXISTING: PAINT
 COLOR: WHITE
- 28 EXISTING: PAINT
 COLOR: WHITE
- 29 EXISTING: PAINT
 COLOR: WHITE
- 30 EXISTING: PAINT
 COLOR: WHITE
- 31 EXISTING: PAINT
 COLOR: WHITE
- 32 EXISTING: PAINT
 COLOR: WHITE
- 33 EXISTING: PAINT
 COLOR: WHITE
- 34 EXISTING: PAINT
 COLOR: WHITE
- 35 EXISTING: PAINT
 COLOR: WHITE
- 36 EXISTING: PAINT
 COLOR: WHITE
- 37 EXISTING: PAINT
 COLOR: WHITE
- 38 EXISTING: PAINT
 COLOR: WHITE
- 39 EXISTING: PAINT
 COLOR: WHITE
- 40 EXISTING: PAINT
 COLOR: WHITE
- 41 EXISTING: PAINT
 COLOR: WHITE
- 42 EXISTING: PAINT
 COLOR: WHITE
- 43 EXISTING: PAINT
 COLOR: WHITE
- 44 EXISTING: PAINT
 COLOR: WHITE
- 45 EXISTING: PAINT
 COLOR: WHITE
- 46 EXISTING: PAINT
 COLOR: WHITE
- 47 EXISTING: PAINT
 COLOR: WHITE
- 48 EXISTING: PAINT
 COLOR: WHITE
- 49 EXISTING: PAINT
 COLOR: WHITE
- 50 EXISTING: PAINT
 COLOR: WHITE
- 51 EXISTING: PAINT
 COLOR: WHITE
- 52 EXISTING: PAINT
 COLOR: WHITE
- 53 EXISTING: PAINT
 COLOR: WHITE
- 54 EXISTING: PAINT
 COLOR: WHITE
- 55 EXISTING: PAINT
 COLOR: WHITE
- 56 EXISTING: PAINT
 COLOR: WHITE
- 57 EXISTING: PAINT
 COLOR: WHITE
- 58 EXISTING: PAINT
 COLOR: WHITE
- 59 EXISTING: PAINT
 COLOR: WHITE
- 60 EXISTING: PAINT
 COLOR: WHITE
- 61 EXISTING: PAINT
 COLOR: WHITE
- 62 EXISTING: PAINT
 COLOR: WHITE
- 63 EXISTING: PAINT
 COLOR: WHITE
- 64 EXISTING: PAINT
 COLOR: WHITE
- 65 EXISTING: PAINT
 COLOR: WHITE
- 66 EXISTING: PAINT
 COLOR: WHITE
- 67 EXISTING: PAINT
 COLOR: WHITE
- 68 EXISTING: PAINT
 COLOR: WHITE
- 69 EXISTING: PAINT
 COLOR: WHITE
- 70 EXISTING: PAINT
 COLOR: WHITE
- 71 EXISTING: PAINT
 COLOR: WHITE
- 72 EXISTING: PAINT
 COLOR: WHITE
- 73 EXISTING: PAINT
 COLOR: WHITE
- 74 EXISTING: PAINT
 COLOR: WHITE
- 75 EXISTING: PAINT
 COLOR: WHITE
- 76 EXISTING: PAINT
 COLOR: WHITE
- 77 EXISTING: PAINT
 COLOR: WHITE
- 78 EXISTING: PAINT
 COLOR: WHITE
- 79 EXISTING: PAINT
 COLOR: WHITE
- 80 EXISTING: PAINT
 COLOR: WHITE
- 81 EXISTING: PAINT
 COLOR: WHITE
- 82 EXISTING: PAINT
 COLOR: WHITE
- 83 EXISTING: PAINT
 COLOR: WHITE
- 84 EXISTING: PAINT
 COLOR: WHITE
- 85 EXISTING: PAINT
 COLOR: WHITE
- 86 EXISTING: PAINT
 COLOR: WHITE
- 87 EXISTING: PAINT
 COLOR: WHITE
- 88 EXISTING: PAINT
 COLOR: WHITE
- 89 EXISTING: PAINT
 COLOR: WHITE
- 90 EXISTING: PAINT
 COLOR: WHITE
- 91 EXISTING: PAINT
 COLOR: WHITE
- 92 EXISTING: PAINT
 COLOR: WHITE
- 93 EXISTING: PAINT
 COLOR: WHITE
- 94 EXISTING: PAINT
 COLOR: WHITE
- 95 EXISTING: PAINT
 COLOR: WHITE
- 96 EXISTING: PAINT
 COLOR: WHITE
- 97 EXISTING: PAINT
 COLOR: WHITE
- 98 EXISTING: PAINT
 COLOR: WHITE
- 99 EXISTING: PAINT
 COLOR: WHITE
- 100 EXISTING: PAINT
 COLOR: WHITE



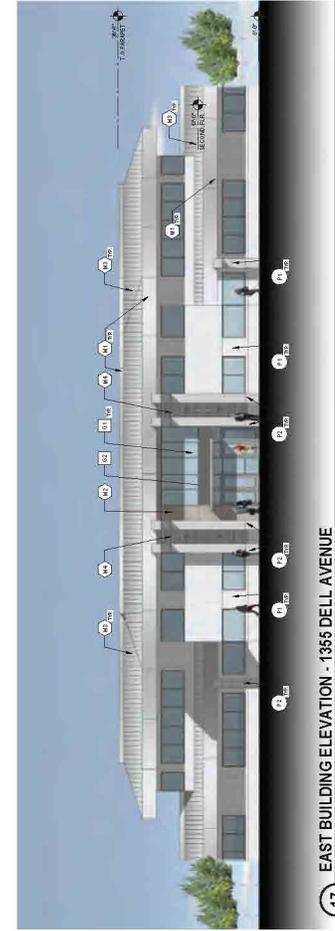
17 NORTH BUILDING ELEVATION - 250 HACIENDA AVENUE
 SCALE: 3/8" = 1'-0"



12 TRASH ENCLOSURE - PLAN
 SCALE: 3/8" = 1'-0"



8 TRASH ENCLOSURE - ELEVATIONS
 SCALE: 3/8" = 1'-0"



17 EAST BUILDING ELEVATION - 1355 DELL AVENUE

SCALE: 1/8" = 1'-0"

MATERIALS AND FINISHES

- 11 NEW: GLASS CURTAIN WALL MANUFACTURER: CLEAR ANODIZED ALUMINUM COLOR
- 12 NEW: GLASS (SPANDREL) MANUFACTURER: CLEAR ANODIZED ALUMINUM COLOR
- 13 NEW: GLASS (SPANDREL) MANUFACTURER: CLEAR ANODIZED ALUMINUM COLOR
- 14 EXISTING: PAINT MANUFACTURER: FORDS EMB. BEETS COLOR
- 15 EXISTING: DOWN DOWNS MANUFACTURER: FORDS EMB. BEETS COLOR
- 16 EXISTING: SIGNAGE MANUFACTURER: FORDS EMB. BEETS COLOR
- 17 NEW: CHROME/ALUMINUM PANELS COLOR: TLEIGHORN

ARC TEC
ARCHITECTURAL TECHNOLOGIES
 2850 DELAWARE AVENUE, SUITE 200
 FARMERSVILLE, CALIFORNIA 95829
 WWW.ARCTEC.COM

PROJECT: VASONA TECH PARK
 1355 DELL AVENUE, CAMPBELL, CA 95008
 DATE: 08/14/2015
 DRAWING NO.: 150820

ARCHITECT: THE CARLISLE GROUP
 1355 DELL AVENUE, CAMPBELL, CA 95008
 DATE: 08/14/2015
 DRAWING NO.: 150820

Exterior Improvements for
VASONA TECH PARK
 SITE AND ARCHITECTURAL REVIEW PERMIT
 Campbell, CA 95008

THE CARLISLE GROUP
 1355 DELL AVENUE, CAMPBELL, CA 95008

DATE: 08/14/2015
 DESCRIPTION: EXTERIOR IMPROVEMENTS PERMIT
 PROJECT NO.: 150820



RENDERED EXTERIOR ELEVATIONS
 - 1355 DELL AVENUE

A2.40
 PROJECT NO.: 150820

GENERAL NOTES

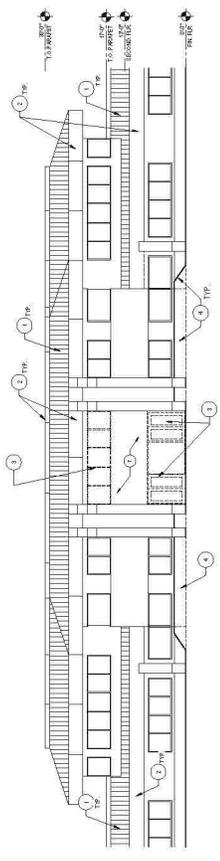
- A. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A SAFE CONDITION THROUGHOUT CONSTRUCTION.
- B. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
- C. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROTECTION AND EROSION PREVENTION PLAN.
- D. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROTECTION AND EROSION PREVENTION PLAN.
- E. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- F. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROTECTION AND EROSION PREVENTION PLAN.
- G. PREPARE DETAILER'S AREA PLAN INDICATING THE LOCATION OF ALL WORK.
- H. ALL AREAS TO BE DEMOLISHED SHALL BE IDENTIFIED AND MARKED WITH RED X'S AND A KEY TO THE DEMOLITION PLAN.
- I. CONSULT THE EXISTING FLOOR PLANS WITH THE ARCHITECT FOR ANY CHANGES TO THE EXISTING CONSTRUCTION.

KEYNOTES-DEMOLITION

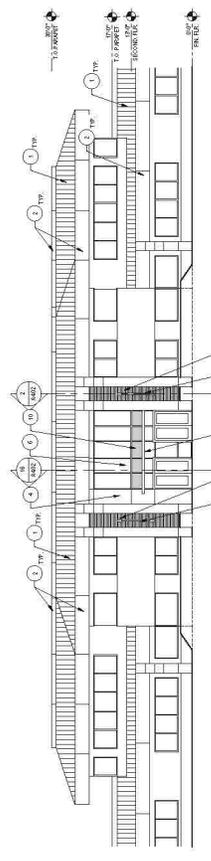
- WITH THE FOLLOWING DEMOLITION SPECIFICATIONS TO REMAIN:
1. DEMOLITION SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 2. DEMOLITION SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 3. DEMOLITION SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 4. DEMOLITION SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 5. DEMOLITION SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 6. DEMOLITION SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 7. DEMOLITION SHALL BE ACCORDING TO THE DEMOLITION PLAN.

KEYNOTES-NEW CONSTRUCTION

- NOTE: NOT ALL NOTES LISTED MAY APPLY TO THIS DRAWING.
1. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 2. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 3. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 4. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 5. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 6. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 7. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 8. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 9. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 10. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 11. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 12. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 13. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 14. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 15. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 16. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 17. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 18. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 19. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.
 20. ALL WORK SHALL BE ACCORDING TO THE DEMOLITION PLAN.



17 EXISTING PARTIAL BUILDING ELEVATION AT EAST ENTRY - 1355 DELL AVE
 SCALE: 1/8"=1'-0"



18 PROPOSED PARTIAL BUILDING ELEVATION AT EAST ENTRY - 1355 DELL AVE
 SCALE: 1/8"=1'-0"



FLOOR PLAN SYMBOLS LEGEND

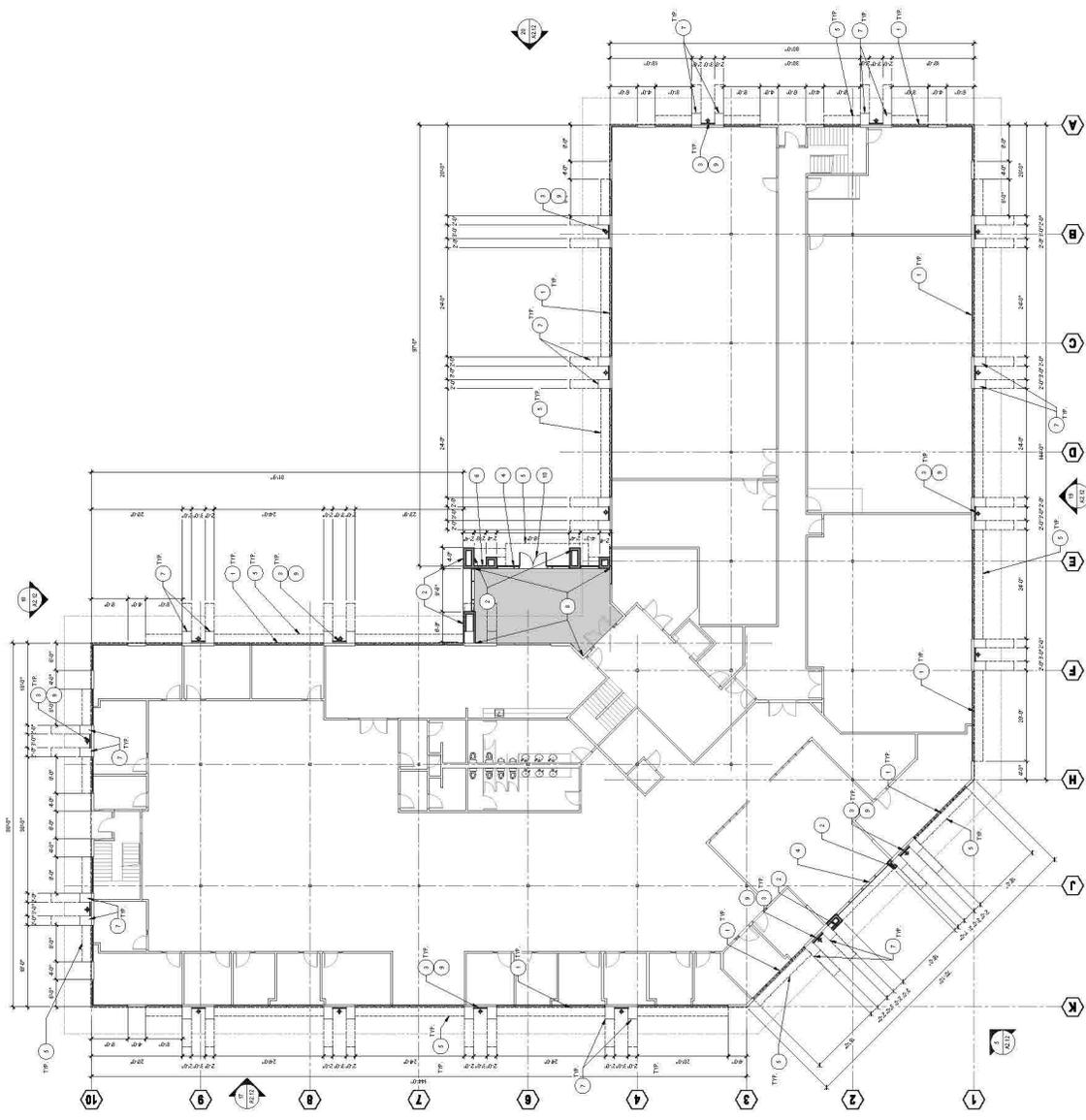
- NOTE: NOT ALL SYMBOLS APPLY TO THIS DRAWING
- EXISTING WALL OR PARTITION TO REMAIN
 - EXISTING DOOR AND FRAME TO REMAIN
 - EXISTING DOOR AND FRAME TO BE RELOCATED
 - EXISTING DOOR AND FRAME TO BE RELOCATED AND REFINISHED
 - EXISTING DOOR AND FRAME TO BE RELOCATED AND REFINISHED (INDUSTRIAL)
 - PARTITION OR WALL NEW
 - DOOR AND SILL NEW
 - DOOR AND SILL TO FOLLOW

GENERAL NOTES - FLOOR PLAN

1. CONDITIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE REGULATIONS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE REGULATIONS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE CODE AND ALL APPLICABLE REGULATIONS.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SAFETY CODE AND ALL APPLICABLE REGULATIONS.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL CODE AND ALL APPLICABLE REGULATIONS.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LAND USE CODE AND ALL APPLICABLE REGULATIONS.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HEALTH CARE CODE AND ALL APPLICABLE REGULATIONS.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EDUCATION CODE AND ALL APPLICABLE REGULATIONS.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE AND ALL APPLICABLE REGULATIONS.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LABOR CODE AND ALL APPLICABLE REGULATIONS.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FINANCIAL CODE AND ALL APPLICABLE REGULATIONS.
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA GOVERNMENT CODE AND ALL APPLICABLE REGULATIONS.
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA JUDICIAL BRANCH CODE AND ALL APPLICABLE REGULATIONS.
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LEGISLATIVE BRANCH CODE AND ALL APPLICABLE REGULATIONS.
18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EXECUTIVE BRANCH CODE AND ALL APPLICABLE REGULATIONS.
19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA JUDICIAL BRANCH CODE AND ALL APPLICABLE REGULATIONS.
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LEGISLATIVE BRANCH CODE AND ALL APPLICABLE REGULATIONS.

KEYNOTES-NEW CONSTRUCTION

- NOTE: NOT ALL KEYNOTES APPLY TO THIS DRAWING
1. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 2. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE REGULATIONS.
 3. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE REGULATIONS.
 4. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
 5. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE CODE AND ALL APPLICABLE REGULATIONS.
 6. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SAFETY CODE AND ALL APPLICABLE REGULATIONS.
 7. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL CODE AND ALL APPLICABLE REGULATIONS.
 8. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LAND USE CODE AND ALL APPLICABLE REGULATIONS.
 9. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HEALTH CARE CODE AND ALL APPLICABLE REGULATIONS.
 10. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EDUCATION CODE AND ALL APPLICABLE REGULATIONS.
 11. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE AND ALL APPLICABLE REGULATIONS.
 12. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LABOR CODE AND ALL APPLICABLE REGULATIONS.
 13. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FINANCIAL CODE AND ALL APPLICABLE REGULATIONS.
 14. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA GOVERNMENT CODE AND ALL APPLICABLE REGULATIONS.
 15. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA JUDICIAL BRANCH CODE AND ALL APPLICABLE REGULATIONS.
 16. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LEGISLATIVE BRANCH CODE AND ALL APPLICABLE REGULATIONS.
 17. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EXECUTIVE BRANCH CODE AND ALL APPLICABLE REGULATIONS.
 18. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA JUDICIAL BRANCH CODE AND ALL APPLICABLE REGULATIONS.
 19. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LEGISLATIVE BRANCH CODE AND ALL APPLICABLE REGULATIONS.
 20. METALLIC WINDOW FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EXECUTIVE BRANCH CODE AND ALL APPLICABLE REGULATIONS.



ARC TEC
ARCHITECTURAL TECHNOLOGIES
ARCHITECTS

3850 SAN JUAN AVENUE, SUITE 200
SAN JUAN, CALIFORNIA 94088
TEL: (415) 435-1234
WWW.ARCTEC.COM

PROJECT NO. A3.12
DATE: 08/15/17
DRAWN BY: J. SMITH
CHECKED BY: M. JONES
APPROVED BY: K. BROWN

Exterior Improvements for
VASONA TECH PARK
SITE AND ARCHITECTURAL REVIEW PERMIT
Campbell, CA 95008

THE CARLISLE GROUP
ARCHITECTS

DATE: 08/15/17
DESCRIPTION: FLOOR PLAN
PROJECT NO: A3.12



IMPROVEMENT FLOOR PLAN
1315 DELL AVENUE

A3.12
PROJECT NO.

18320



FLOOR PLAN SYMBOLS LEGEND



GENERAL NOTES - FLOOR PLAN

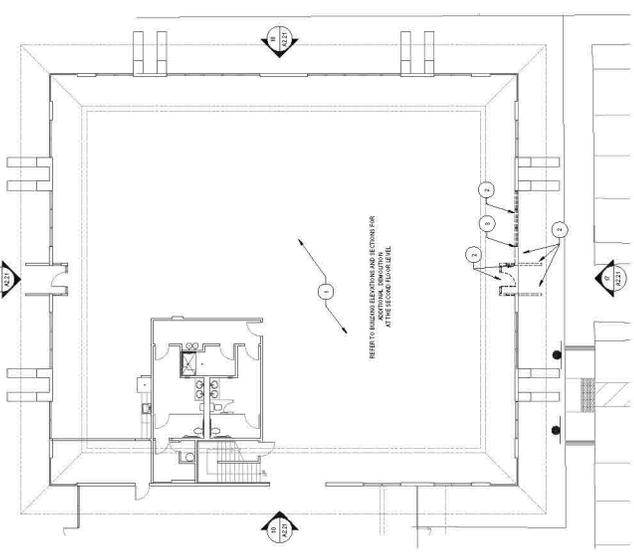
1. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN INFORMATION CONTAINED ON THIS DRAWING.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE REGULATIONS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE REGULATIONS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE CODE AND ALL APPLICABLE REGULATIONS.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SAFETY CODE AND ALL APPLICABLE REGULATIONS.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL CODE AND ALL APPLICABLE REGULATIONS.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HEALTH CARE CODE AND ALL APPLICABLE REGULATIONS.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EDUCATION CODE AND ALL APPLICABLE REGULATIONS.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LABOR CODE AND ALL APPLICABLE REGULATIONS.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PENAL CODE AND ALL APPLICABLE REGULATIONS.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL CODE AND ALL APPLICABLE REGULATIONS.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PROBATE CODE AND ALL APPLICABLE REGULATIONS.
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EVIDENCE CODE AND ALL APPLICABLE REGULATIONS.
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA GOVERNMENT CODE AND ALL APPLICABLE REGULATIONS.
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FINANCIAL CODE AND ALL APPLICABLE REGULATIONS.
18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE AND ALL APPLICABLE REGULATIONS.
19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA VEHICLE CODE AND ALL APPLICABLE REGULATIONS.
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA VEHICLES AND TRAILERS CODE AND ALL APPLICABLE REGULATIONS.
21. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
22. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
23. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
24. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
25. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.

KEYNOTES-DEMOLITION

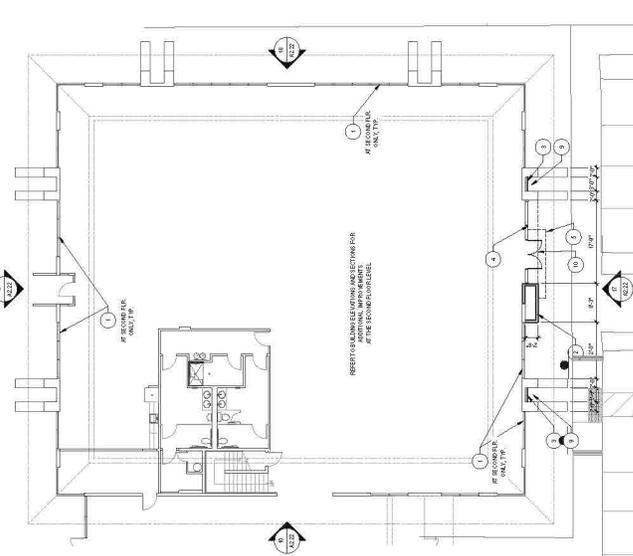
- NOTE: NOT ALL KEYNOTES LISTED APPLY TO THIS DRAWING.
1. NO CONSTRUCTION OR IMPROVEMENTS SHALL BE MADE IN THE DEMOLITION AREA UNLESS SPECIFICALLY NOTED OTHERWISE.
 2. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 3. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 4. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 5. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 6. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 7. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 8. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 9. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 10. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 11. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 12. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 13. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 14. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 15. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 16. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 17. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 18. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 19. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 20. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 21. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 22. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 23. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 24. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.
 25. REMOVE EXISTING CONCRETE FLOOR SLAB AND FINISHES. PREP FOR RECONSTRUCTION.

KEYNOTES-NEW CONSTRUCTION

- NOTE: NOT ALL KEYNOTES LISTED APPLY TO THIS DRAWING.
1. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 2. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE REGULATIONS.
 3. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE REGULATIONS.
 4. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
 5. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE CODE AND ALL APPLICABLE REGULATIONS.
 6. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SAFETY CODE AND ALL APPLICABLE REGULATIONS.
 7. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL CODE AND ALL APPLICABLE REGULATIONS.
 8. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HEALTH CARE CODE AND ALL APPLICABLE REGULATIONS.
 9. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LABOR CODE AND ALL APPLICABLE REGULATIONS.
 10. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EDUCATION CODE AND ALL APPLICABLE REGULATIONS.
 11. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PROBATE CODE AND ALL APPLICABLE REGULATIONS.
 12. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EVIDENCE CODE AND ALL APPLICABLE REGULATIONS.
 13. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA GOVERNMENT CODE AND ALL APPLICABLE REGULATIONS.
 14. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FINANCIAL CODE AND ALL APPLICABLE REGULATIONS.
 15. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE AND ALL APPLICABLE REGULATIONS.
 16. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA VEHICLE CODE AND ALL APPLICABLE REGULATIONS.
 17. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA VEHICLES AND TRAILERS CODE AND ALL APPLICABLE REGULATIONS.
 18. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
 19. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
 20. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
 21. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
 22. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
 23. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
 24. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.
 25. NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA AGRICULTURE AND RELATED INDUSTRIES CODE AND ALL APPLICABLE REGULATIONS.



10 PARTIAL DEMOLITION PLAN AT NORTH ENTRY - 240 HACIENDA AVE
SCALE: 1/8"=1'-0"



12 PARTIAL IMPROVEMENT PLAN AT NORTH ENTRY - 240 HACIENDA AVE
SCALE: 1/8"=1'-0"

ARC TEC ARCHITECTURAL TECHNOLOGIES
 2580 San Ramon Avenue, Suite 200
 San Ramon, CA 94583
 Phone: (925) 391-1111
 Fax: (925) 391-1112
 www.arctec.com

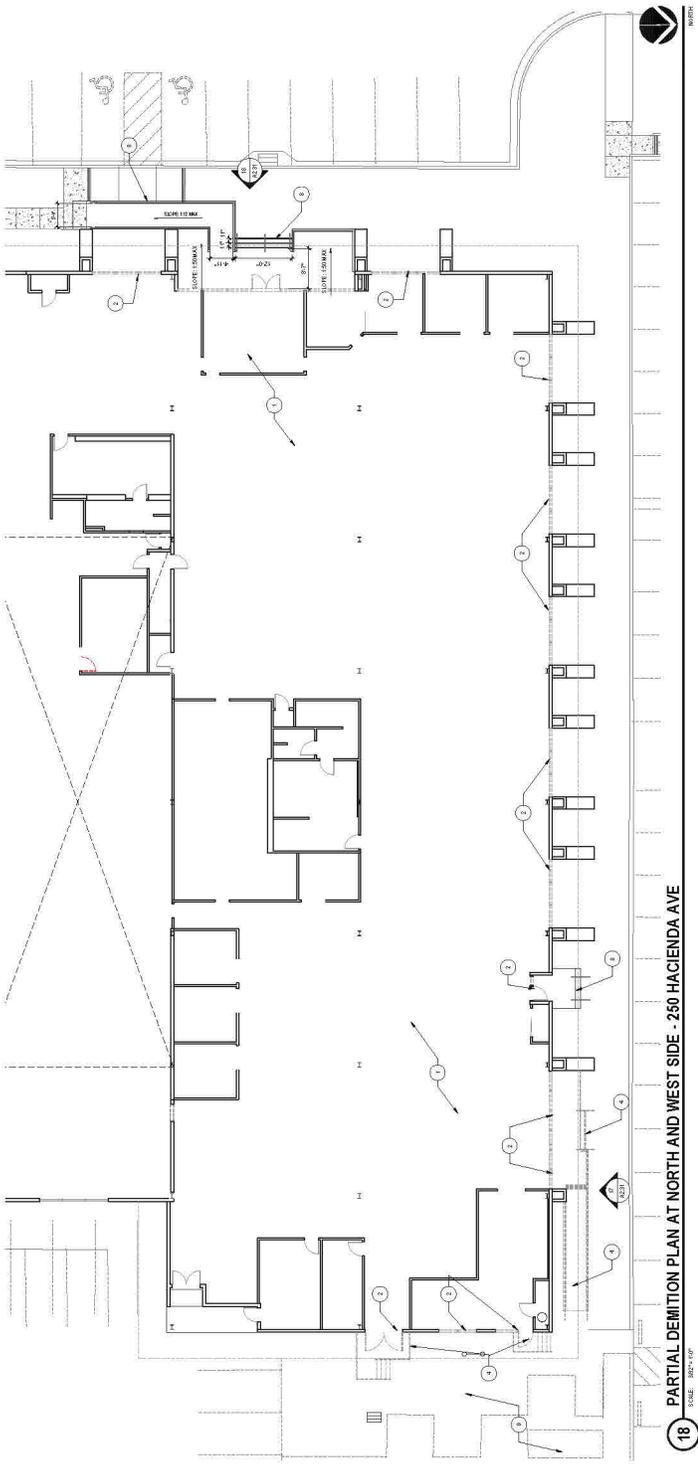
VASONA TECH PARK
 Exterior Improvements for
 SITE AND ARCHITECTURAL REVIEW PERMIT
 Campell, CA 95008

THE CARLISLE GROUP
 10000 Wilshire Blvd., Suite 1000
 Beverly Hills, CA 90210
 Phone: (310) 276-1000
 Fax: (310) 276-1001
 www.carlisle.com

SEAL OF THE CITY OF SAN RAMON
 OFFICE OF THE CITY ENGINEER
 10000 Wilshire Blvd., Suite 1000
 Beverly Hills, CA 90210
 Phone: (310) 276-1000
 Fax: (310) 276-1001
 www.carlisle.com

A3.13
 PROJECT NO. 14320

DEMOLITION AND IMPROVEMENT
 FLOOR PLANS - 240 HACIENDA



18 PARTIAL DEMITION PLAN AT NORTH AND WEST SIDE - 250 HACIENDA AVE
 SCALE: 3/8"=1'-0"

- ### FLOOR PLAN SYMBOLS LEGEND
- NOTE: METALLIC FINISHES APPLY TO THE DRAWING
 - EXTERIOR WALL (AS APPLICABLE) - EXTERIOR WALL (UNNOTED)
 - EXTERIOR DOOR FRAME TO BE DEMOLISHED - EXTERIOR DOOR FRAME TO BE DEMOLISHED
 - EXTERIOR DOOR FRAME TO BE DEMOLISHED - EXTERIOR DOOR FRAME TO BE DEMOLISHED
 - EXTERIOR DOOR FRAME TO BE DEMOLISHED - EXTERIOR DOOR FRAME TO BE DEMOLISHED

- ### GENERAL NOTES - FLOOR PLAN
- CONTRACTOR SHALL VERIFY THE EXISTING AS SHOWN ON THIS CONSTRUCTION.
 - NO DEMOLITION OR IMPROVEMENT SCOPE IS TO BE PERFORMED IN THIS AREA.
 - EXISTING WALLS SHALL BE DEMOLISHED IN ACCORDANCE WITH THE PROTECTION AND SAFETY REQUIREMENTS.
 - EXISTING WALLS SHALL BE DEMOLISHED IN ACCORDANCE WITH THE PROTECTION AND SAFETY REQUIREMENTS.
 - EXISTING WALLS SHALL BE DEMOLISHED IN ACCORDANCE WITH THE PROTECTION AND SAFETY REQUIREMENTS.
 - EXISTING WALLS SHALL BE DEMOLISHED IN ACCORDANCE WITH THE PROTECTION AND SAFETY REQUIREMENTS.
 - EXISTING WALLS SHALL BE DEMOLISHED IN ACCORDANCE WITH THE PROTECTION AND SAFETY REQUIREMENTS.
 - EXISTING WALLS SHALL BE DEMOLISHED IN ACCORDANCE WITH THE PROTECTION AND SAFETY REQUIREMENTS.
 - EXISTING WALLS SHALL BE DEMOLISHED IN ACCORDANCE WITH THE PROTECTION AND SAFETY REQUIREMENTS.
 - EXISTING WALLS SHALL BE DEMOLISHED IN ACCORDANCE WITH THE PROTECTION AND SAFETY REQUIREMENTS.

- ### KEYNOTES-DEMOLITION
- NOTE: METALLIC FINISHES APPLY TO THE DRAWING.
- NO DEMOLITION OR IMPROVEMENT SCOPE IS TO BE PERFORMED IN THIS AREA.
 - REMOVE EXISTING WALLS AND FRAMING. PREP FOR RE-INSTALLATION OF NEW WALLS.
 - REMOVE EXISTING WALLS AND FRAMING. PREP FOR RE-INSTALLATION OF NEW WALLS.
 - REMOVE EXISTING WALLS AND FRAMING. PREP FOR RE-INSTALLATION OF NEW WALLS.
 - REMOVE EXISTING WALLS AND FRAMING. PREP FOR RE-INSTALLATION OF NEW WALLS.
 - REMOVE EXISTING WALLS AND FRAMING. PREP FOR RE-INSTALLATION OF NEW WALLS.
 - REMOVE EXISTING WALLS AND FRAMING. PREP FOR RE-INSTALLATION OF NEW WALLS.
 - REMOVE EXISTING WALLS AND FRAMING. PREP FOR RE-INSTALLATION OF NEW WALLS.
 - REMOVE EXISTING WALLS AND FRAMING. PREP FOR RE-INSTALLATION OF NEW WALLS.
 - REMOVE EXISTING WALLS AND FRAMING. PREP FOR RE-INSTALLATION OF NEW WALLS.

Exterior Improvements for
VASONA TECH PARK
 SITE AND ARCHITECTURAL REVIEW PERMIT
 Campbell, CA 95008

THE CARLYLE GROUP
 PLANNING AND ARCHITECTURE
 DATE: 08/15/13
 DESCRIPTION: PLANNING SUBMITTAL
 PLANNO: 13-0001-01

PARTIAL DEMITION FLOOR PLAN
 250 E HACIENDA
 PROJECT NO: **A3.14**
 1-0320

