



CITY OF CAMPBELL
Community Development Department

June 3, 2016

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 14, 2016**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Paul Fick for a Site and Architectural Review Permit (PLN2016-91) to allow a single-story rear addition to an existing single-family residence on property located at **363 Curtner Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

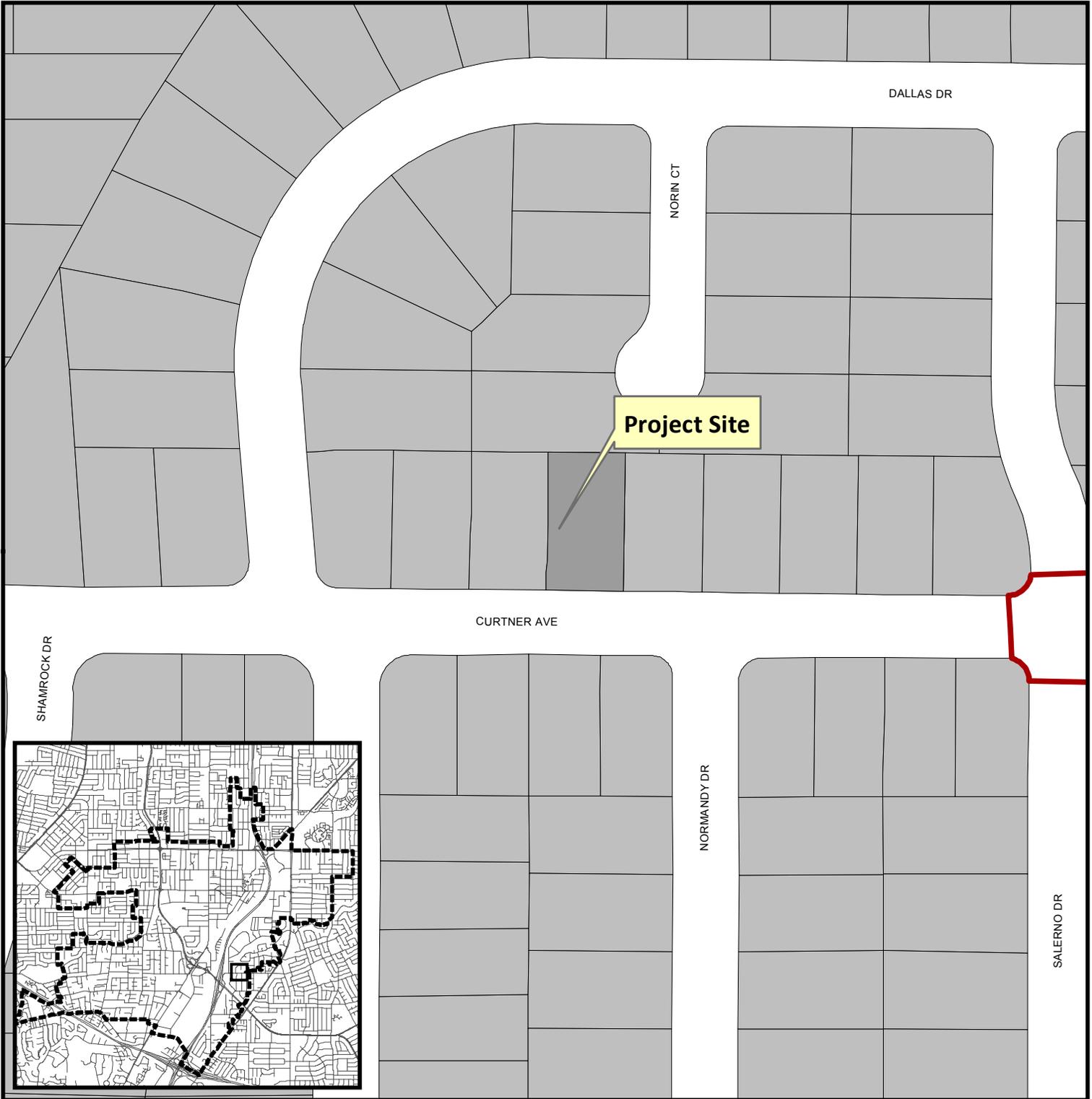
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

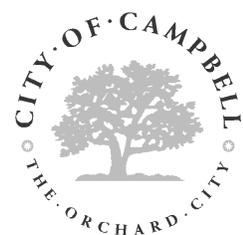
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **363 Curtner Avenue**

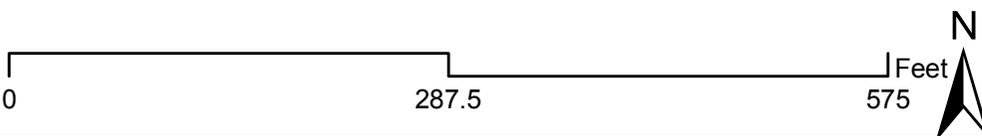
Project Location Map



Project Location: 363 Curtner Ave.
Application Type: Admin. Site and Arch. Review Permit
Planning File No.: PLN2016-91



Community Development Department
Planning Division



Residential Addition for Shane and Liane Pinder 363 Curtner Ave. Campbell CA 95008

All new and existing utilities shall be placed underground with no exception.

General Notes

Cover Sheet

--- Add. to Review Committee	4-22-15
--- Architectural Review Committee	3-9-15
--- City Submittal	2-11-15
No.	Revision/Issue
	Date

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Other drawings in this project shall be reviewed and approved by the City of Campbell, California, and the County of Santa Clara, California, and the State of California, Department of Industrial Relations, and the State of California, Department of Industrial Relations, and the State of California, Department of Industrial Relations.

(408) 281-4400

Paul H. Fick
ARCHITECT

PLANNING
ARCHITECTURE
INTERIOR DESIGN

550 CALERO AVE., SAN JOSE, CA. 95123

Pinder Residence
363 Curtner Ave
Campbell, CA 95008 - 5603

Date: _____ Date: April 28, 2016

A0

PROJECT DATA

ASSESSOR'S PARCEL NUMBER: 412-30-049
 ZONING DISTRICT: -
 SITE AREA: -
 EXISTING AREA (EXCL. GARAGE): 1,016 SF
 ADDITION: 1,016 SF
 GARAGE: 418 SF
 NEW AREA (EXCL. GARAGE): 2,034 SF
 NEW SITE RATIO: -
 CONSTRUCTION TYPE: VN
 APPLICABLE CODES: 2013 California Building Code (CBC), 2013 California Plumbing Code (CPC), 2013 California Mechanical Code (CMC), 2013 California Electrical Code (CEC), 2013 California Code for Building Conservation, 2013 California Energy Code
 Owner: Shane and Liane Pinder, 363 Curtner Ave., Campbell, CA. 95008
 Architect: Paul Fick, 550 Calero Ave., San Jose, CA. 95123, Phone: (408) 281-4400, License # C-18029
 Contractor: Provenzano Builders, 1999 S. Bascom Ave., Suite #700, Campbell, CA. 95008, Phone: 408-378-2020, License No. B-448052

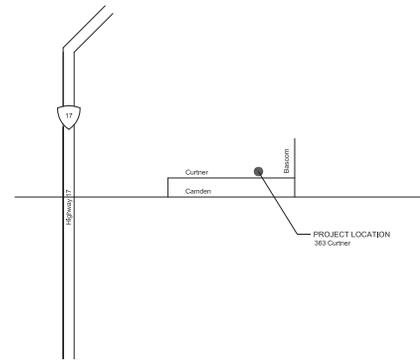
SHEET INDEX

ARCHITECTURAL DRAWINGS: A0 COVER SHEET, A1 FLOOR AREA DIAGRAM, A2 SITE PLAN, ROOF PLAN, A3 EXISTING FLOOR PLAN & DEMOLITION PLAN (Bigg Submittal), A4 FOUNDATION PLAN (Bigg Submittal), A5 FLOOR FRAMING PLAN (Bigg Submittal), A6 FLOOR PLAN, A7 ROOF FRAMING PLAN (Bigg Submittal), A8 EXTERIOR ELEVATIONS - NORTH & SOUTH, A9 EXTERIOR ELEVATIONS - WEST & EAST, A10 BUILDING SECTIONS
 STRUCTURAL DRAWINGS: S1 FOUNDATION AND FRAMING DETAILS (Bigg Submittal)
 ELECTRICAL DRAWINGS: E1 ELECTRICAL PLAN (Bigg Submittal)
 ENERGY COMPLIANCE: T26-1 ENERGY COMPLIANCE FORMS (Bigg Submittal), T26-2 ENERGY COMPLIANCE FORMS (Bigg Submittal)

PROJECT TABLE

Description	Existing Area	Proposed Area
Gross Lot Size	10, 850 SF	10, 850 SF
Net Lot Size	8, 750 SF	8, 750 SF
Building Area	1, 016 SF	2, 034 SF
Lot Coverage	11.6%	23.2%
Floor Area Ratio	11.6%	23.2%

VICINITY MAP



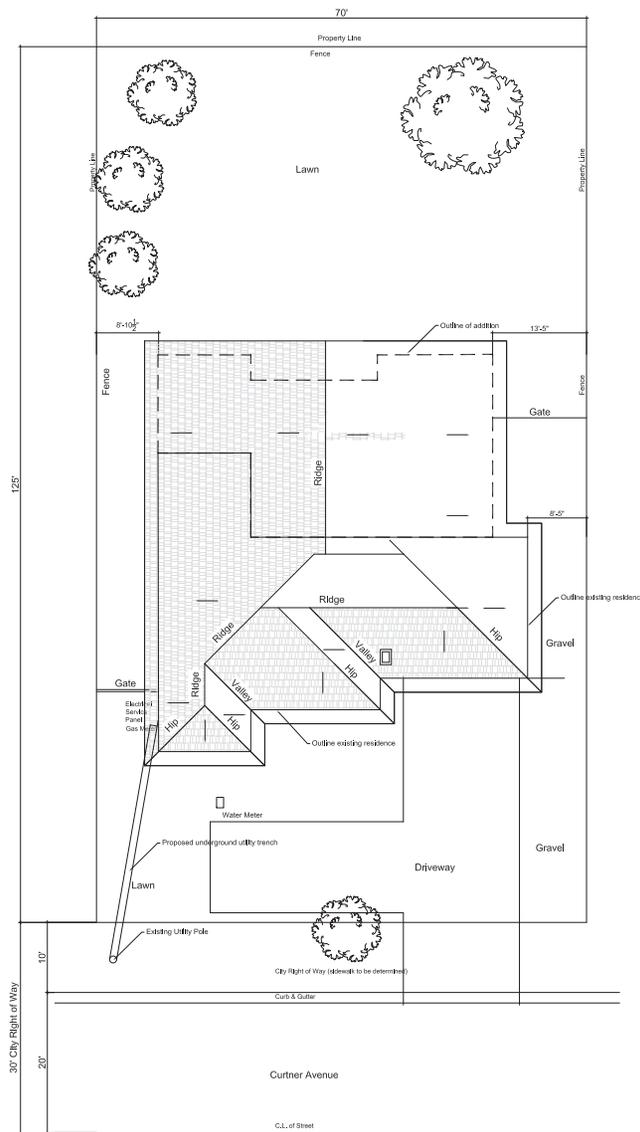
PROJECT SCOPE

Build two bedrooms, two bathrooms and one family room on the rear side of the existing residence.



PROJECT NORTH

363 Curtner I Cover I Planning.dwg
FNAME
1/15/2014
REVDATE
R



General Notes

Site Plan

•	Add to Review Committee	4-22-16
•	Architectural Review Committee	3-9-16
•	City Council	2-18-16
No.	Revision/Issue	Date

Scale: 1/8" = 1'-0"

North Arrow

(408) 281-4400

Paul H. Fick
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INTERIOR DESIGN

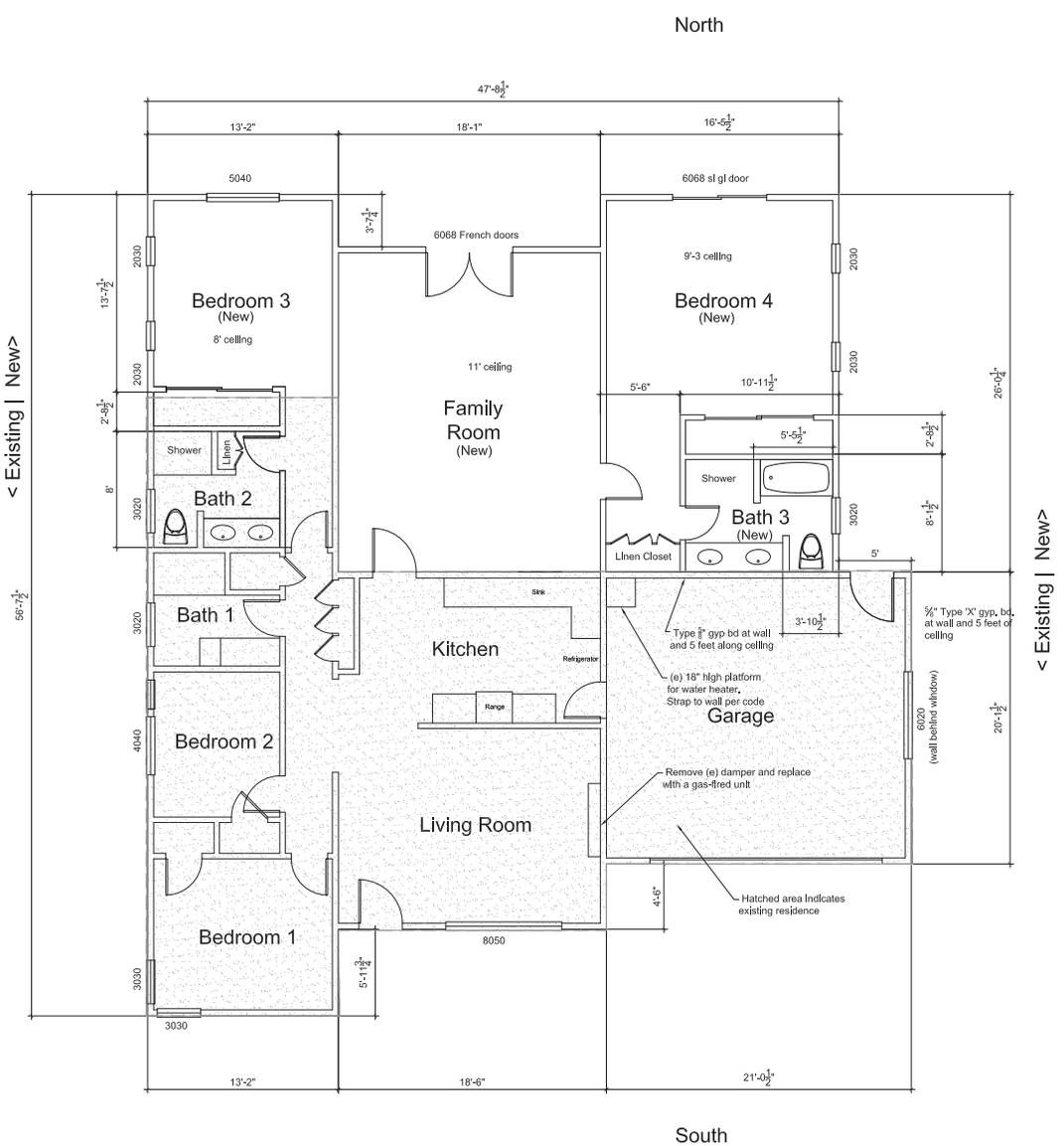
550 CALERO AVE. SAN JOSE, CA. 95123

Pinder Residence
363 Curtner Ave
Campbell, CA 95008 - 5603

Scale: 1/8" = 1'-0" Date: April 28, 2016

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General Notes

Floor Plan

•	Add to Review Committee	4-22-16
•	Architectural Review Committee	3-9-16
•	City/Submitted	2-8-16
No.	Revision/Issue	Date
<p>1. All work shall be in accordance with the City of San Jose Building Code and the California Building Code. All work shall be in accordance with the City of San Jose Building Code and the California Building Code. All work shall be in accordance with the City of San Jose Building Code and the California Building Code.</p>		

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550 CALERO AVE. SAN JOSE, CA. 95123

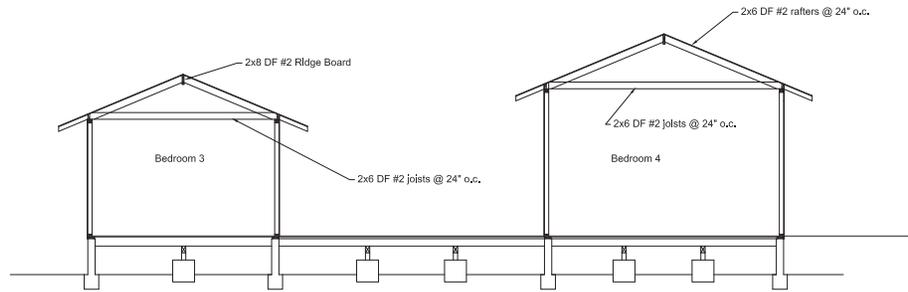
Pinder Residence
363 Curtner Ave
Campbell, CA 95008 - 5603

Scale: 1/4" = 1'-0" Date: April 28, 2016

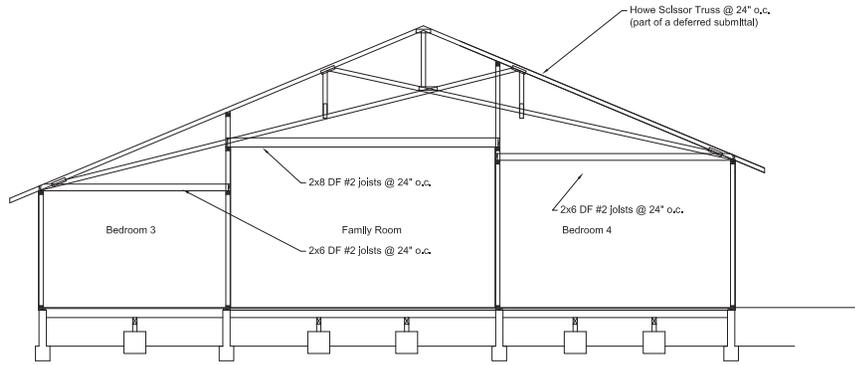
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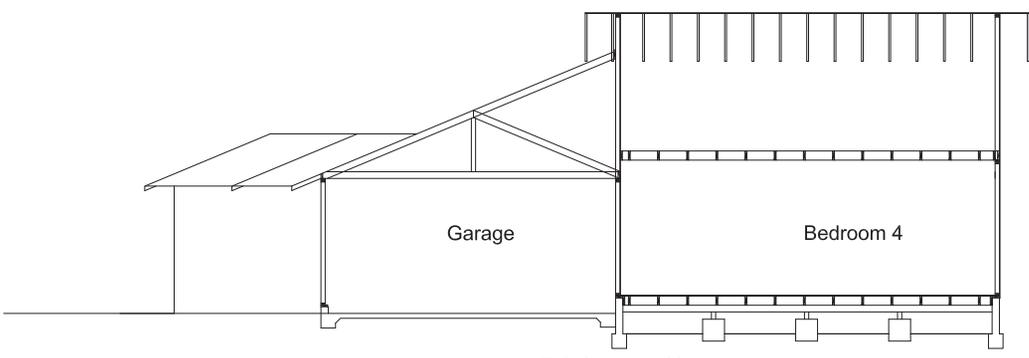
1/15/2004 REVD/DATE
 FNAME
 363 Curtner 03-04-16.dwg



Section A



Section B



Section C

General Notes

Sections

Professional Review Committee	3-4-10	
City/State/Local	3-4-10	
No.	Revision/Issue	Date

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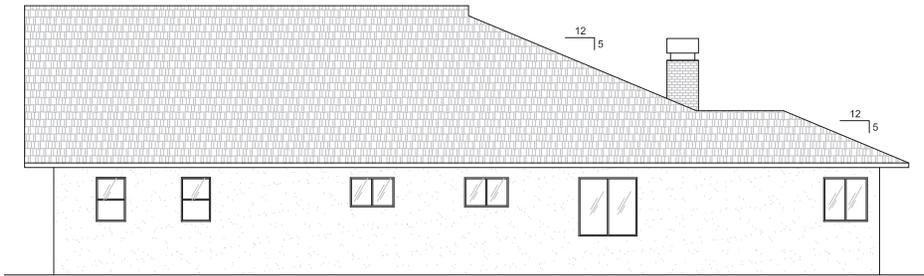
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Pinder Residence
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 Campbell, CA 95008 - 5603
 Date: 1/15/04 P-H
 Date: March 4, 2010

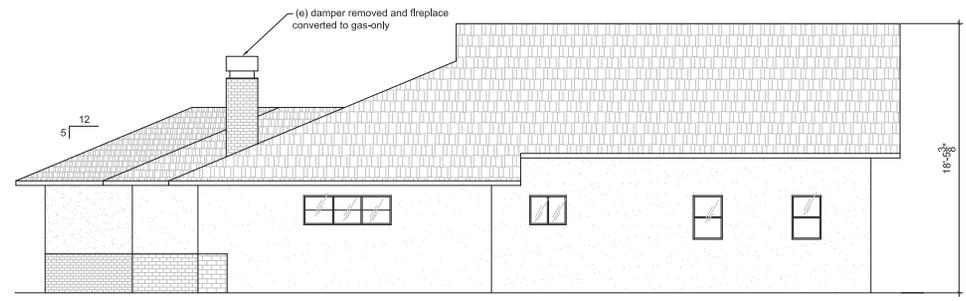
A10



1/15/2004 REVD/DATE
 363 Curtner 03-04-16.dwg FNAME
 R



West Elevation



East Elevation

General Notes

East & West Elevations

Architectural Review Committee	3-4-10	
City Submitted	2-18-10	
No.	Revision/Issue	Date

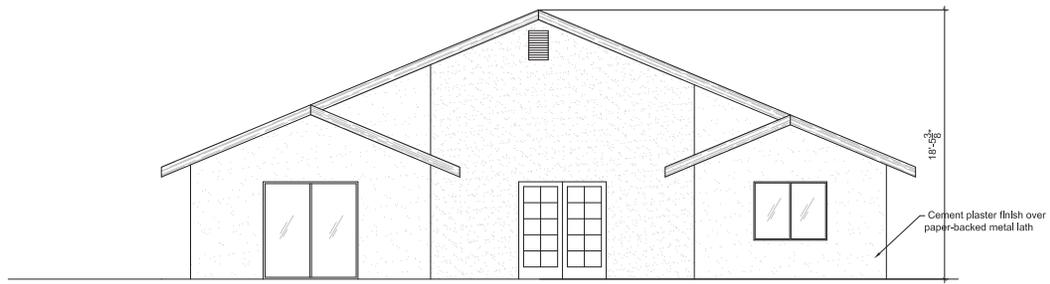
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Pinder Residence
 363 Curtner Ave
 Campbell, CA 95008 - 5603
 Scale: 1/4" = 1'-0"
 Date: March 4, 2010



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North Elevation



South (Front) Elevation

General Notes

North & South Elevations

Architectural Review Committee	3-4-10	
City Submitted	3-11-10	
No.	Revision/Issue	Date

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A8



1/15/2004 REYDATE
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