



**CITY OF CAMPBELL**  
**Community Development Department**

June 17, 2016

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 28, 2016**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Terry Martin, AIA for a Site and Architectural Review Permit (PLN2016-123) to allow the construction of a new single-family residence reusing portions of the existing dwelling on property located at **1149 'A' S. San Tomas Aquino Road**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **1149 'A' S. San Tomas Aquino Road**

# Project Location Map

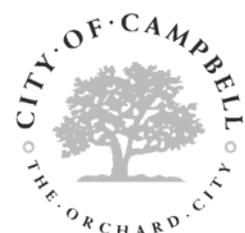


**Project Location:** 1149 'A' S. San Tomas Aquino Rd.

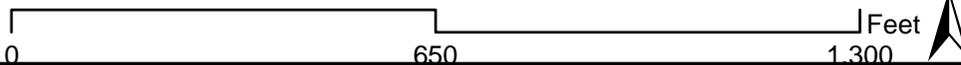
**Application Type:** Site and Arch.

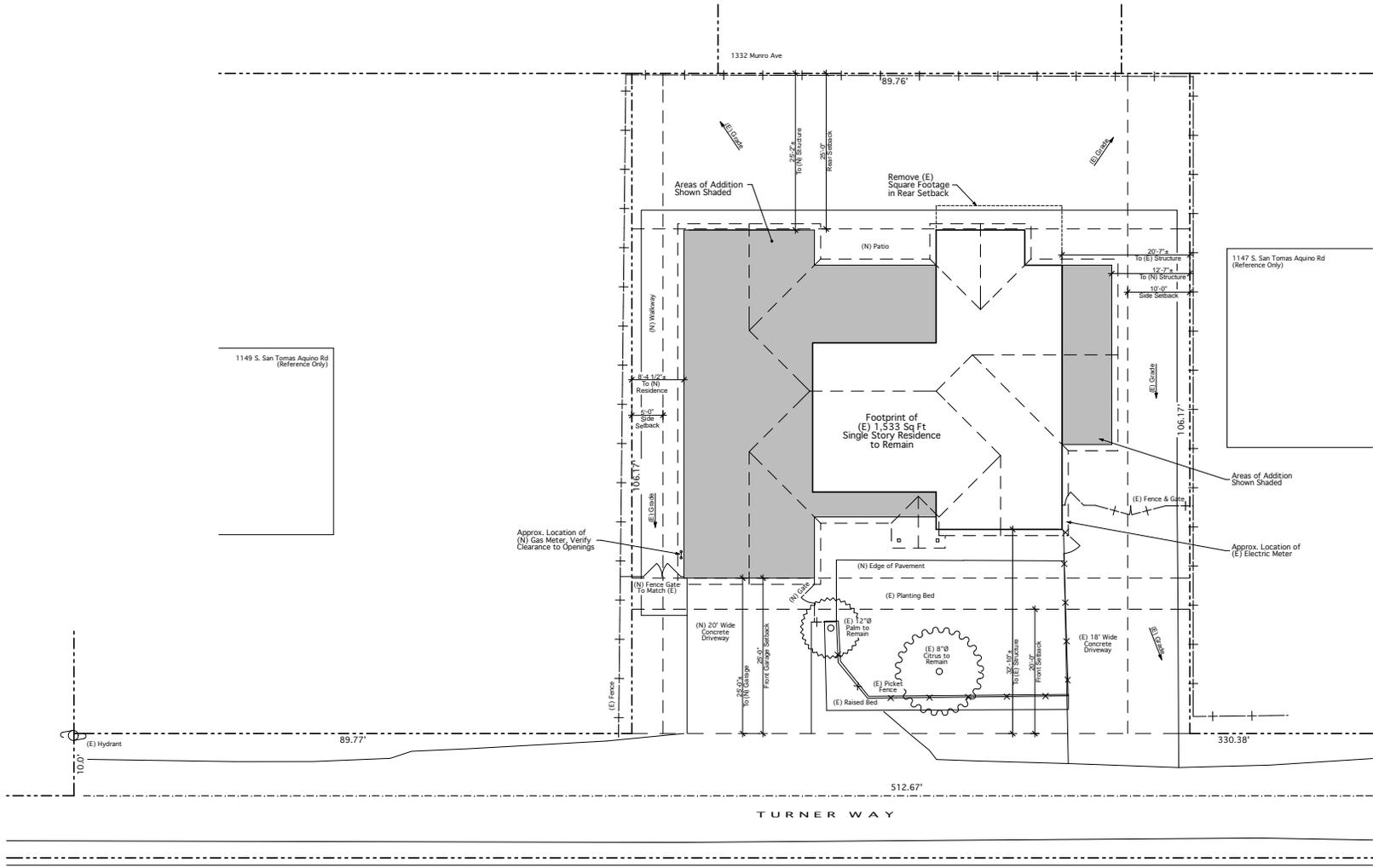
**Planning File No.:** PLN2016-123

**Description:** New single-family residence reusing portions of existing building.



Community Development Department  
Planning Division





1149 S. San Tomas Aquino Rd  
(Reference Only)

1147 S. San Tomas Aquino Rd  
(Reference Only)

DEVELOPMENTAL DATA	SQUARE FEET		% OF SITE	
	Existing	Proposed	Existing	Proposed
Building Coverage	1,853 sf	3,142 sf	16.3%	33.0%
Landscape Coverage	2,824 sf	3,431 sf	29.6%	36.0%
Paving Coverage	5,173 sf	2,937 sf	59.3%	31.0%
Floor Area Ratio (FAR)	1,533 sf	3,142 sf	16.3%	33.0%

**SCHEMATIC SITE PLAN**

PREP SITE FOR NEW CONSTRUCTION. VERIFY ALL DIMENSIONS & SITE CONDITIONS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY IN WRITING.

APN: 403-15-021  
 LOT SIZE: 15,246 Sq Ft ± (Assumed 9,530 Sq Ft for Calcs)  
 ZONING: R-1-9  
 EXISTING SINGLE STORY RESIDENCE 1,533 Sq Ft  
 ALLOWABLE FAR: 4,289 Sq Ft @ 45%  
 ALLOWABLE LOT COVERAGE: 3,336 Sq Ft @ 35%

61 East Main Street, Suite D  
 Los Gatos, CA 95030  
 Phone: 408-356-9416  
 Fax: 408-356-9416  
 Email: info@tjmartin.com  
 Website: www.tjmartin.com

**TERRY J. MARTIN ASSOCIATES, A.L.A.**  
 Licensed Professional Architect

Print Date: 6/14/16

Rev	Description	Date
1	Building Permit Application	04/04/2016
2	Site & Arch Review Permit Application	

Project

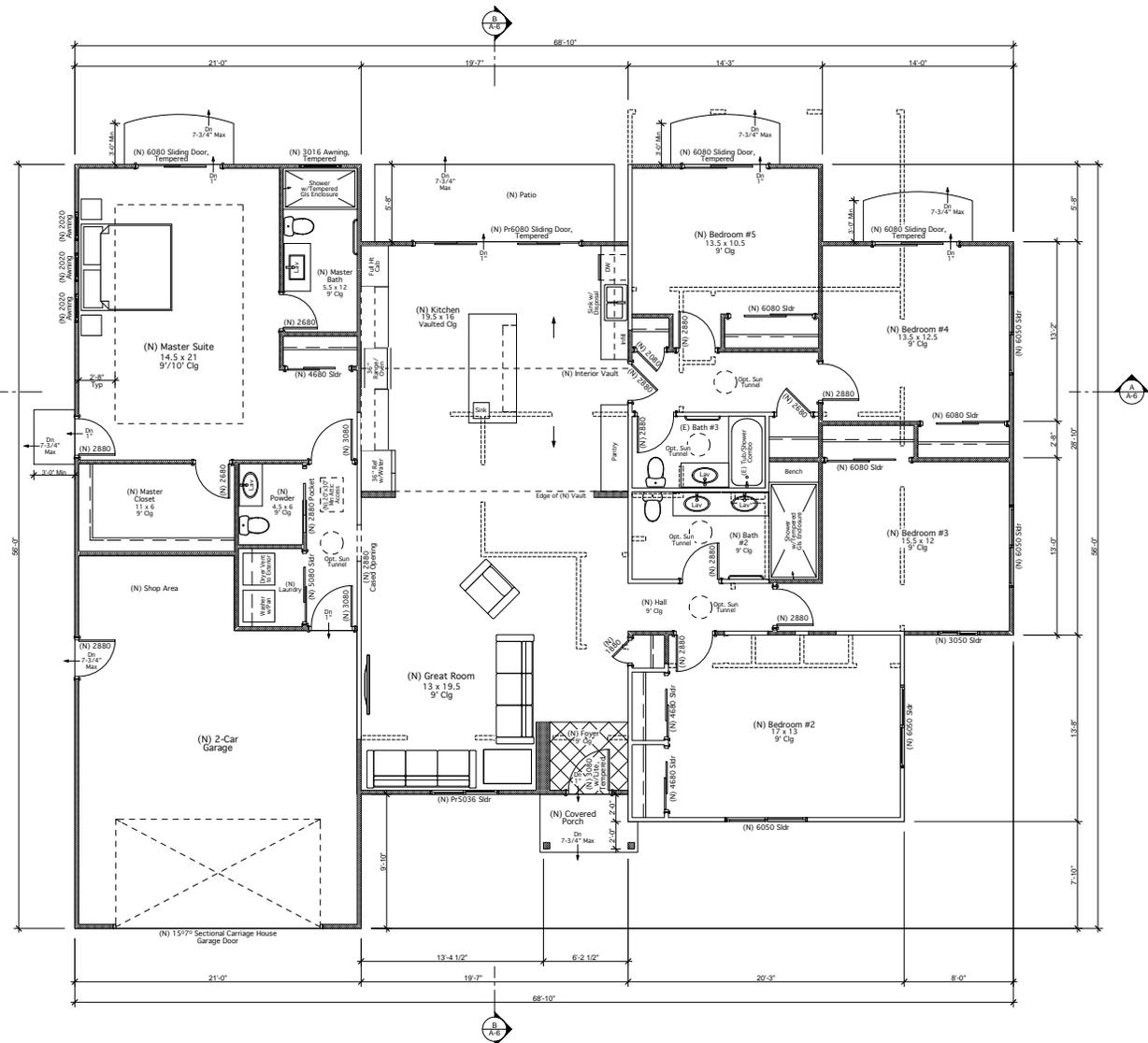
**WANDYCZ RESIDENCE**  
 Custom Home Addition & Remodel  
 1149 A. S. San Tomas Aquino Road  
 Campbell, CA 95008

Date: JAN 2016  
 Project: #16001  
 Scale: 1/8" = 1'  
 Drawn by: TJ

Sheet Title:

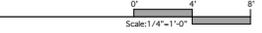
**SCHEMATIC SITE PLAN**

**A-2**



**FLOOR PLAN**  
 SEE DEMO NOTES & GENERAL NOTES, SHEET A-1, S-1 FOR ADDITIONAL REQMTS  
 Note: Confirm Extent of Demolition, Removal, and Salvage with Owners prior to commencing work.  
 Field Verify all Dimensions prior to commencing work.  
 Architectural Drawing override structural drawings for design intent. All dimensions are to Face of Stud UNO

(E) Main Level	1,533 Sq Ft
+ (N) Additions	1,204 Sq Ft
+ (E) S.F. in Rear Setback	(11.5 Sq Ft)
<b>Total Living</b>	<b>2,622 Sq Ft</b>
+ (N) Attached Garage	520 Sq Ft
<b>TOTAL FLOOR AREA</b>	<b>3,142 Sq Ft</b>



WALL LEGEND	
	(N) Wood Stud Wall Min 2x4 @ 16"OC Max
	(E) Wall to be Removed
	Existing Wall to Remain

61 East Main Street, Suite D  
 Los Gatos, CA 95030  
 Phone: (415) 355-9416  
 Fax: (415) 355-9417  
 www.tjmartinassociates.com

**TERRY J. MARTIN ASSOCIATES, A.L.A.**  
 Licensed Professional Architect

Print Date: 6/14/16
Building Permit Application
Site & Arch Review Permit Application
Rev. Description
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 Custom Home Addition & Remodel  
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 Campbell, CA 95008

Date:	JAN 2016
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Scale:	1/4" = 1'
Drawn by:	TJ

Sheet Title:

**FLOOR PLAN**

**A-3**

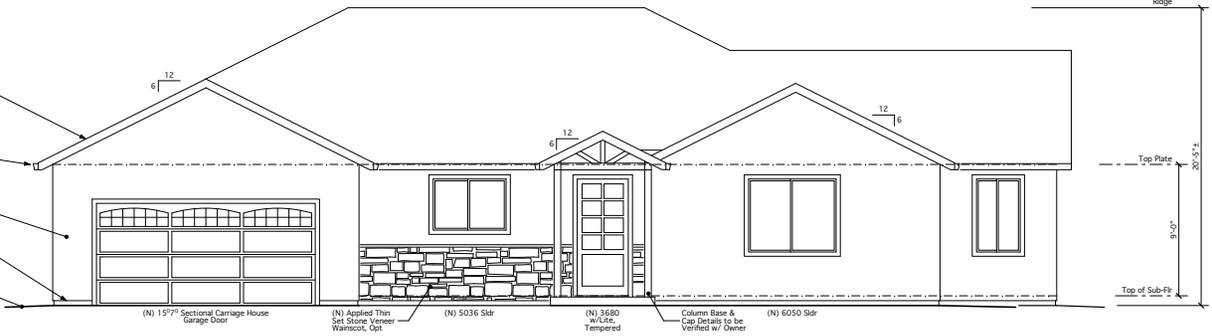
Comp. Asphalt Roofing, Blended Color Class 'A' Roofing System. Owner to Approve Prior to Installation, Install per Mfr. Specs.

4" Fascia Gutter w/ 2x6 Fancia All Storm Water to be Retained On Site via Rain Water Leaders to Concrete Splash Blocks at Grade. Slope away from building. Field Verify Locations of Rain Water Leaders with Owner prior to installation, Type.

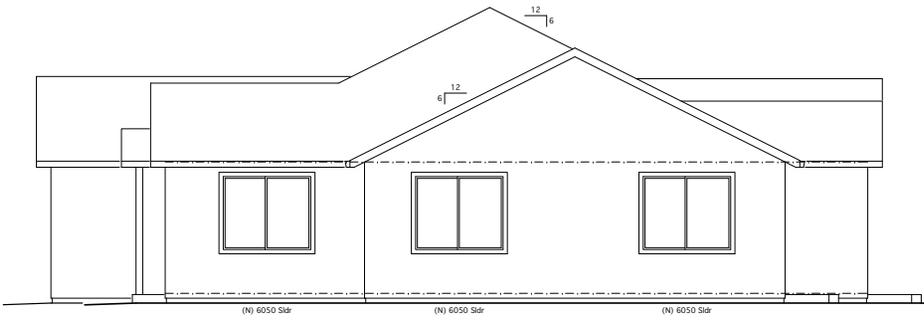
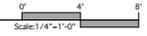
Painted Cement Plaster Stucco To Match (E)

Galvanized 26 ga Weep Scream 4" min above grade @ softscape 2" min above grade @ hardscape

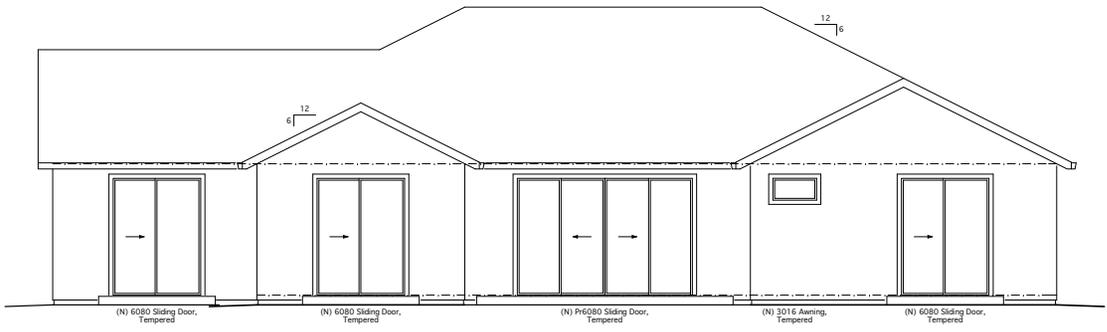
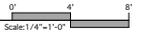
Slope grade away from bldg 2% min at hardscape 5% min at softscape



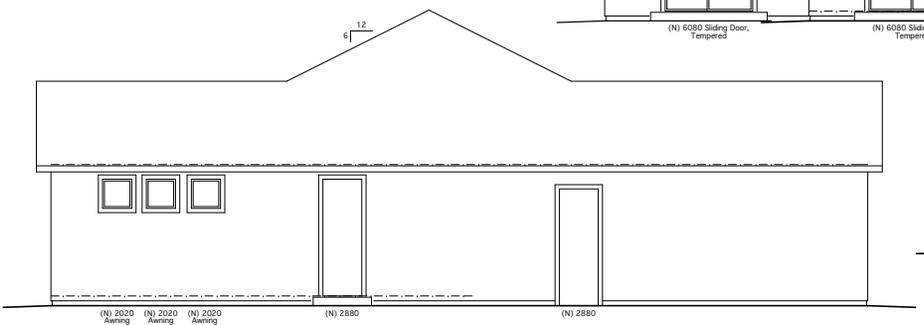
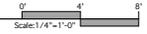
FRONT (SOUTH) ELEVATION



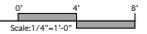
RIGHT SIDE (EAST) ELEVATION



REAR (NORTH) ELEVATION



LEFT SIDE (WEST) ELEVATION



SCHEMATIC STREETScape



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ARCHITECTS

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**EXTERIOR ELEVATIONS & SCHEMATIC STREETScape**