



**CITY OF CAMPBELL**  
Community Development Department

**August 2, 2016**

**NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT**

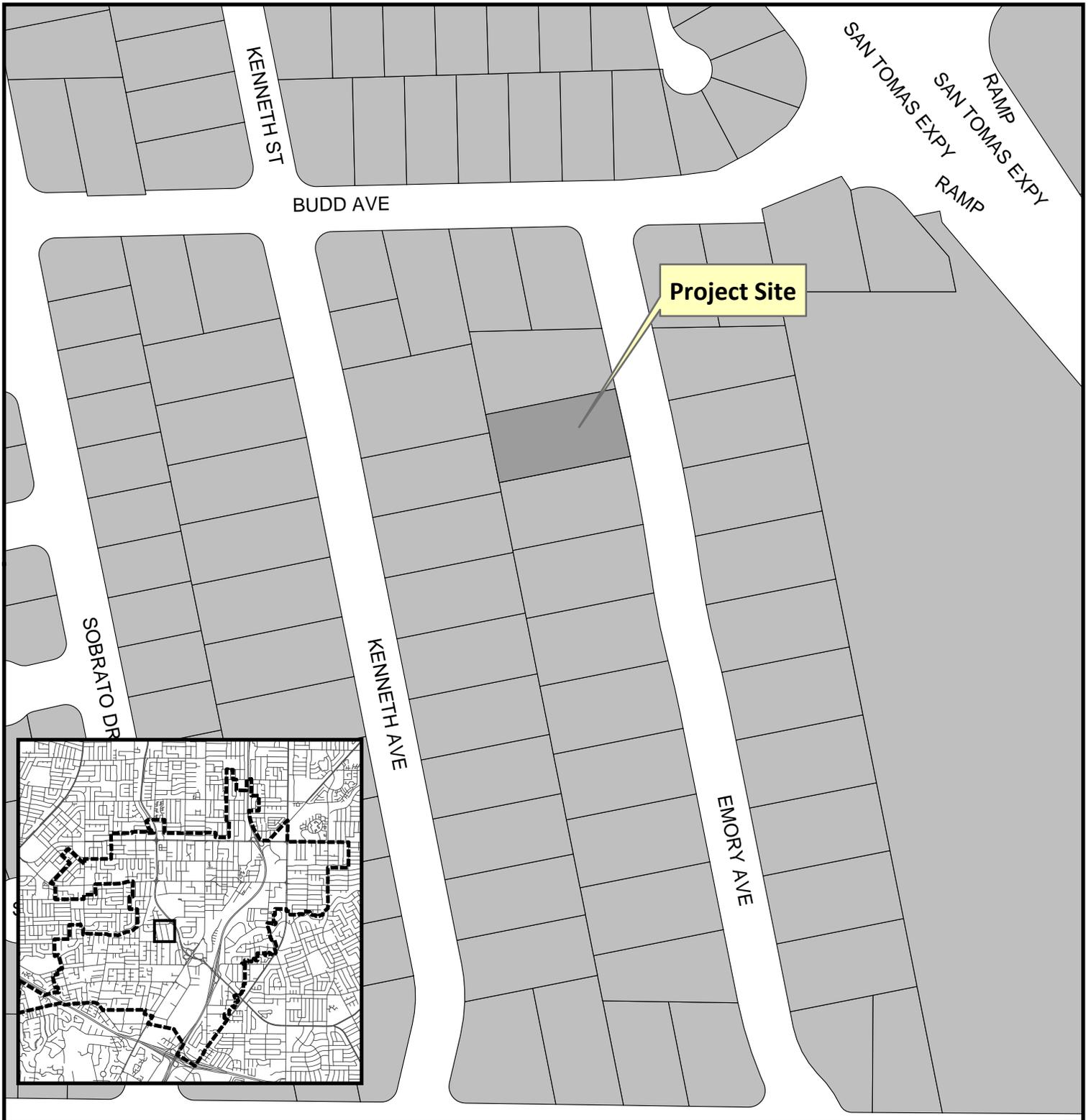
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

<b>File No.:</b>	<b>PLN2016-93</b>
<b>Applicant:</b>	<b>Kathy Ljubojevic &amp; Darko Dekovic</b>
<b>Project Address:</b>	<b>569 Emory Avenue</b>
<b>Property Owner:</b>	<b>Agim &amp; Lujeta Kraja</b>
<b>Zoning District:</b>	<b>R-1-10 (Single-Family Residential)</b>
<b>General Plan:</b>	<b>Low Density Residential &lt;3.5 Units/Gr. Acre</b>
<b>Project Description:</b>	<b>To allow a major remodel with additions to the front and rear of an existing single-story, single-family residence.</b>

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on August 4, 2016 and ends on August 15, 2016. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 15, 2016**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Stephen Rose, Associate Planner, in the Community Development Department, at (408) 866-2142 or by email [stephenr@cityofcampbell.com](mailto:stephenr@cityofcampbell.com).

# Project Location Map

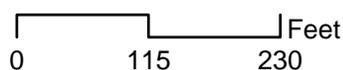


**Project Location:** 569 Emory Avenue

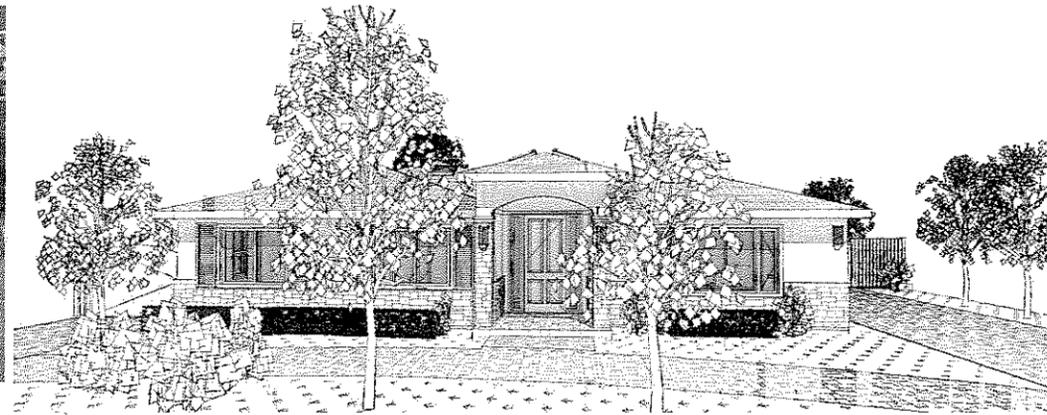
**Application Type:** Admin Site and Arch Review

**Planning File No.:** PLN2016-93

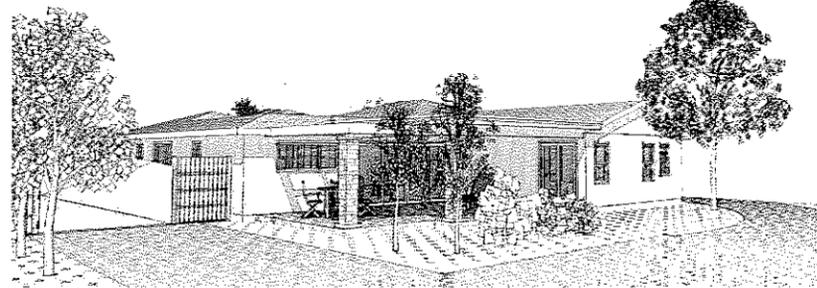
**Description:** Major remodel with additions to the front and rear of an existing single-story, single-family residence.



Community Development Department  
Planning Division



Front Sketch



Rear Sketch



SITE INFORMATION			
LOT AREA	13,364 SF		
	EXISTING-	CHANGE-	TOTAL PROPOSED
HABITABLE LIVING AREA	2,109 SF	441 SF	2,550 SF
OTHER NEW HABITABLE		-SF	- SF
NON HABITABLE			
GARAGE	702 SF	- SF	702 SF
FRONT PORCH	126 SF	-56 SF	70 SF
REAR PORCH	- SF	345 SF	345 SF
	EXISTING	PROPOSED	MAX. ALLOWED
LOT COVERAGE	2,937 SF	3,667 SF	4,677 SF
FLOOR AREA (FAR) (INCLUDING GARAGE)	2,811 SF	3,252 SF	6,013 SF
		24%	45%
	EXISTING-	PROPOSED-	ALLOWED
SETBACKS			
FRONT	27'-3 1/2"	-	25'
REAR	5'-6"	-	25'
RIGHT SIDE	21'-10 1/2"	-	10'
LEFT SIDE	12"	-	8'
HEIGHTS			

PROJECT INFORMATION	
APN No.	404-26-038
ADDRESS	569 EMORY AVE.
STORIES	1
USE	SINGLE FAMILY RESIDENCE
OCCUPANCY	R3,U-1
ZONING	R-1-10
TYPE OF CONST.	TYPE V-B
FIRE SPRINKLERS	NO

**SCOPE OF WORK**

ADDITION OF APPROXIMATE 441 SQ FT. RETROFIT WINDOWS. REMODEL KITCHEN, FAMILY, LIVING ROOMS, BATHROOM, BEDROOMS. "NEW DWELLING USING PORTIONS OF THE ORIGINAL STRUCTURE" NEW FURNACE IN ATTIC. NEW TANKLESS WATER HEATER.

**APPLICABLE CODES**

2013 CRC, CBC, CGBC (CALGREEN), CPC, CMC AND CEC as Amended by the state California and local Jurisdictions.  
2013 BUILDING ENERGY EFFICIENCY STANDARD

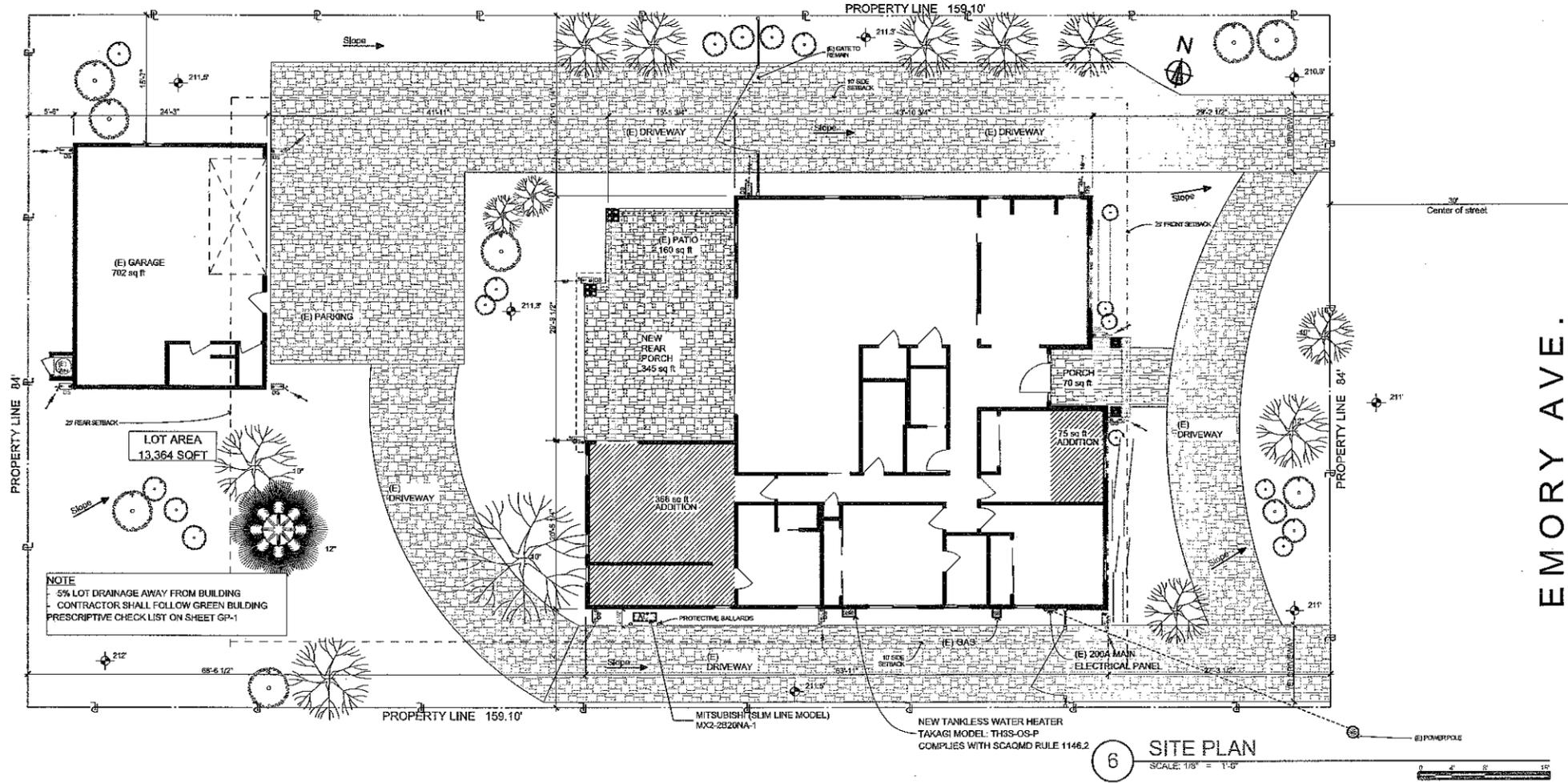
**DESIGNER**

DARKO DEKOVIC  
905 RUSSELL AVE.  
LOS ALTOS, 94024  
650-464-2520  
email: darkod@mac.com

**OWNER**

Agim & Lujeta Kraja  
569 Emory Ave.  
CAMPBELL, CA 95008  
408-402-1341  
email: akraja@netflix.com

- 1-24 ENERGY COMPLIANCE NOTES**
- AT LEAST 60% OF INSTALLED WATTAGE AT KITCHEN MUST BE HIGH EFFICACY.
  - HIGH EFFICACY LIGHTING MUST BE SWITCHED SEPARATELY FROM LOW EFFICACY LIGHTING.
  - ALL RECESSED LUMINARIES IN INSULATED CEILINGS, SHALL BE IC RATED, ELECTRONIC BALLAST AND AIR-TIGHT (AT).



**SHEET INDEX**

A1	COVER SHEET AND SITE PLAN
A2	EXISTING PLAN AND PROPOSED ROOF ...
A3	PROPOSED FLOOR PLAN
A4	ELEVATIONS AND SECTIONS
A5	EXISTING SITE PLAN & ELEVATIONS

RECEIVED  
MAY 31 2016  
CITY OF CAMPBELL  
PLANNING DEPT.



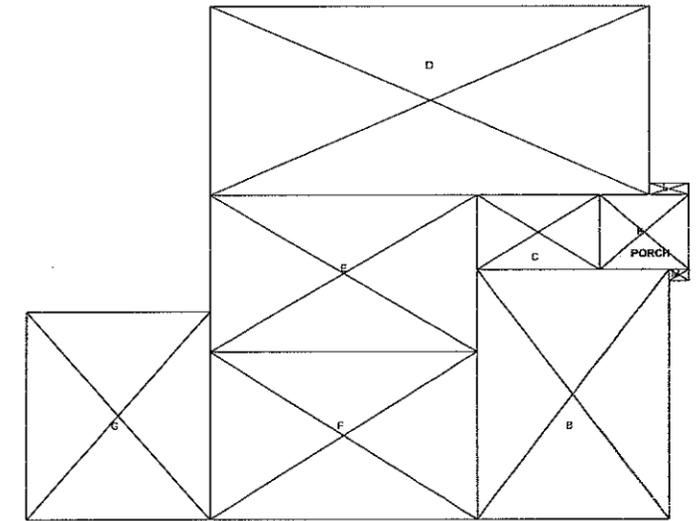
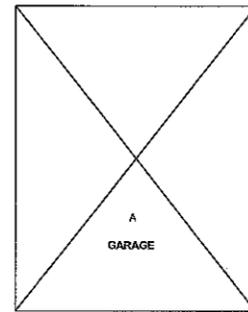
**569 EMORY**  
CAMPBELL, CA

**COVER SHEET AND SITE PLAN**

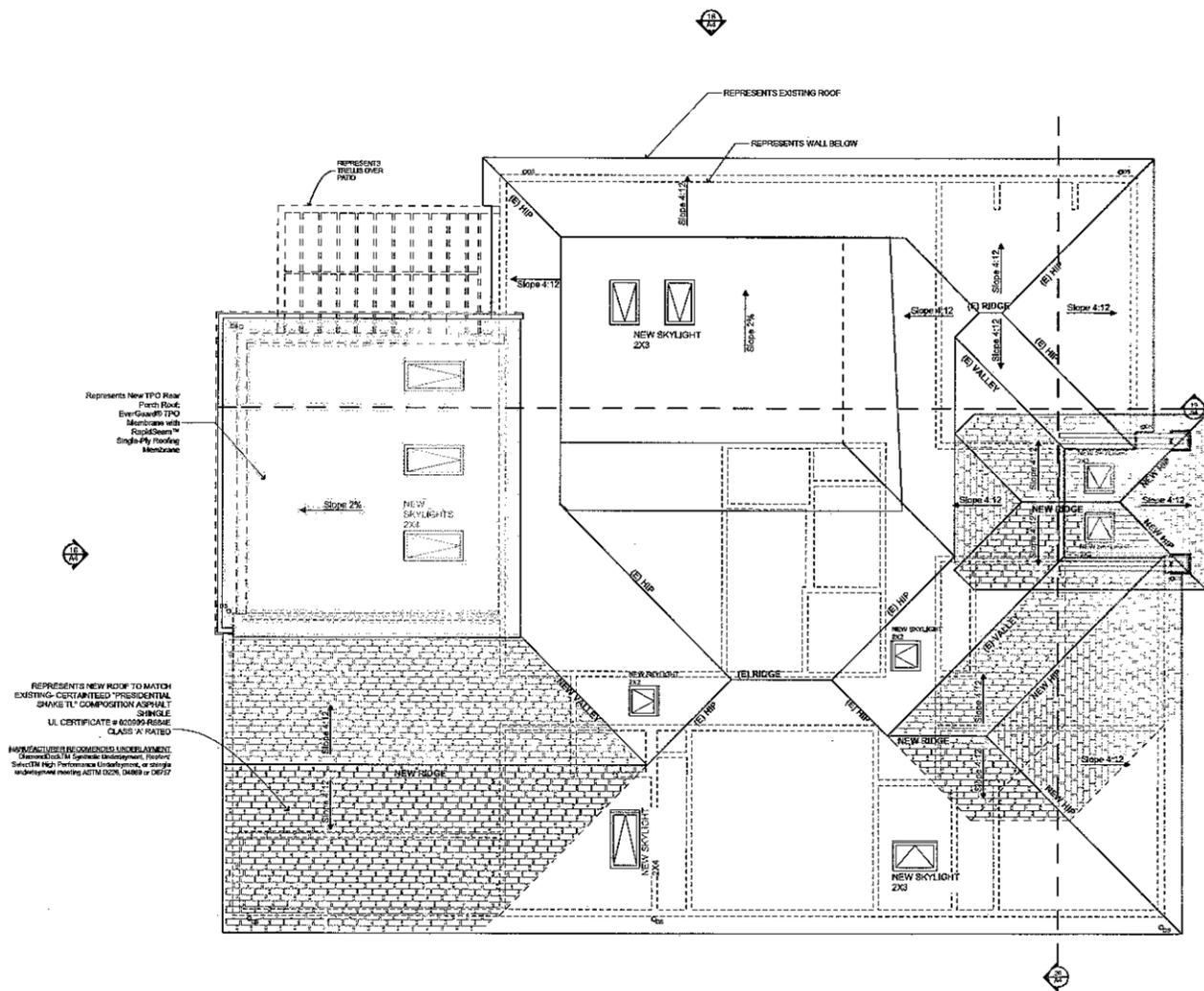
**A1**

25 AREA CALCULATION			
SECTION	LENGTH	WIDTH	AREA
A	28'-0"	29'-0"	702.00
B	19'-1"	24'-3 1/2"	463.32
C	12'-2 3/4"	7'-3 1/4"	88.76
D	43'-0"	15'-4 1/2"	799.31
E	26'-4 1/2"	15'-2 3/4"	401.60
F	28'-0"	15'-3 3/4"	431.01
G	18'-1 1/2"	23'-2 1/4"	398.00
K	6'-0"	7'-0"	63.56
L	3'-10 1/4"	1'-4 1/2"	4.35
M	1'-10 3/4"	1'-4 1/4"	2.09
			3,322.00 sq ft

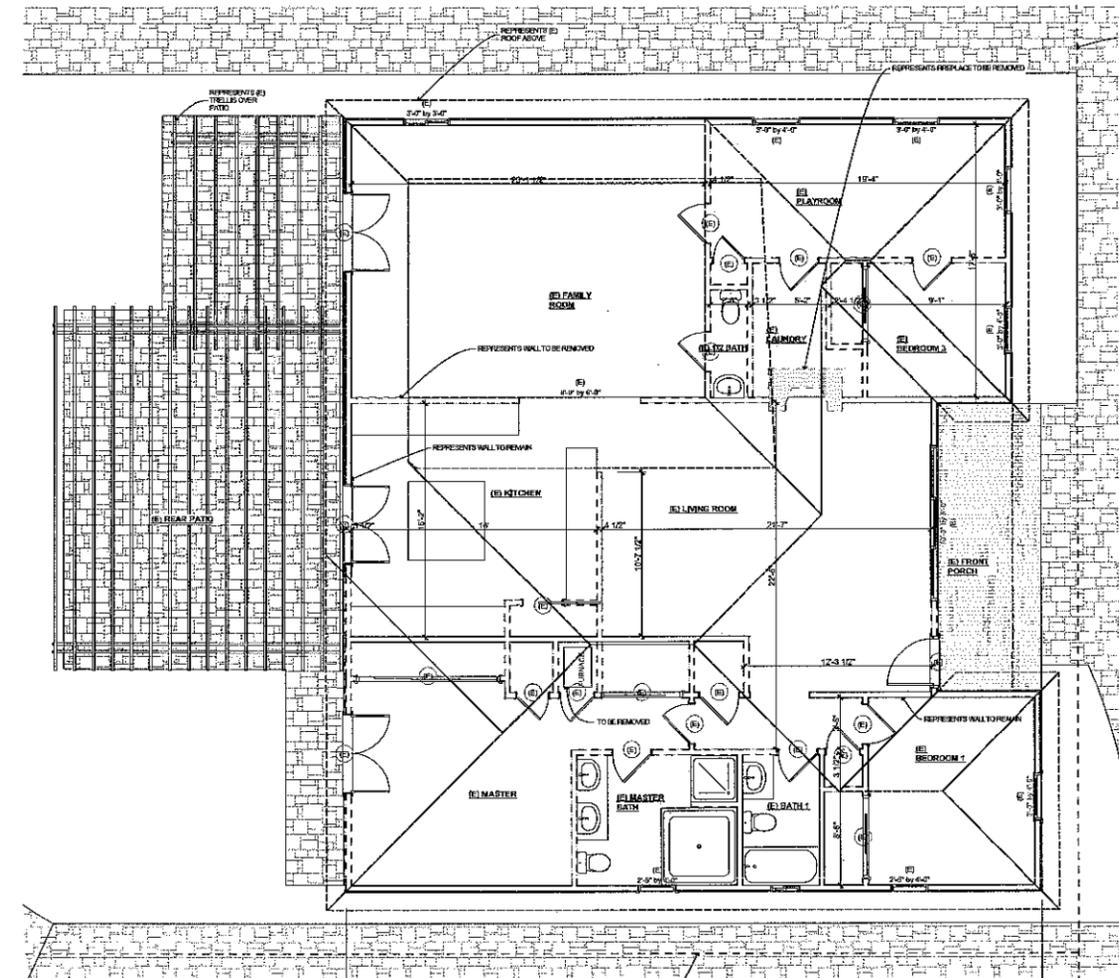
FLOOR AREA PROPOSED HOUSE TOTAL 2,550 SF



10 AREA CALCULATION DIAGRAM  
SCALE: 1/8" = 1'-0"



5 ROOF PLAN  
SCALE: 3/16" = 1'-0"



1 EXISTING ROOF AND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

# 569 EMORY

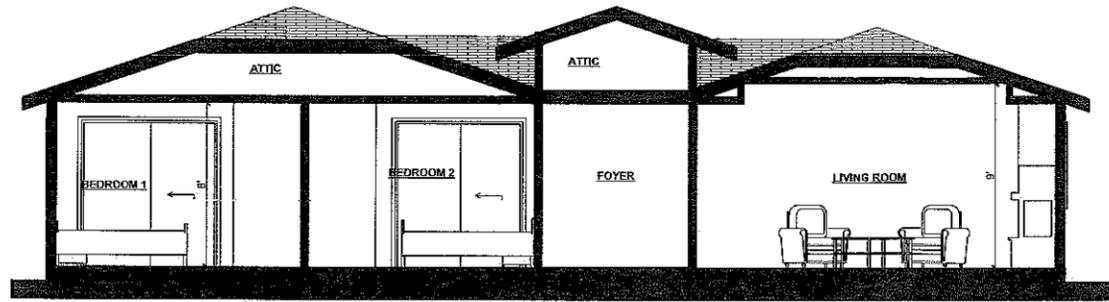
CAMPBELL, CA

A2

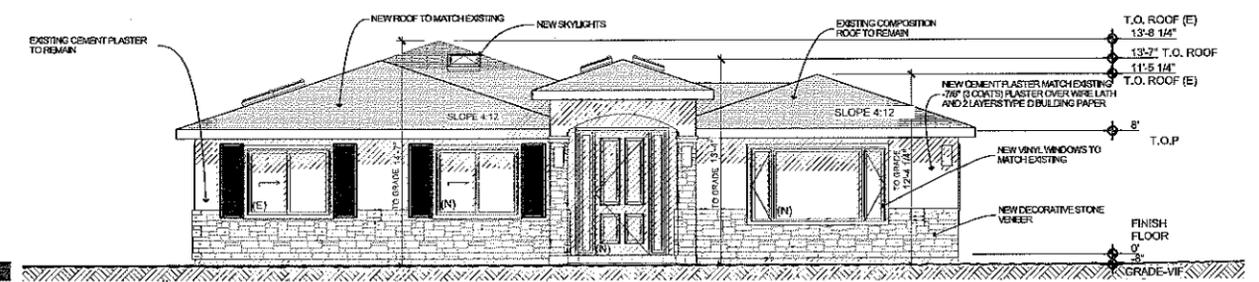


## EXISTING PLAN AND PROPOSED ROOF PLAN

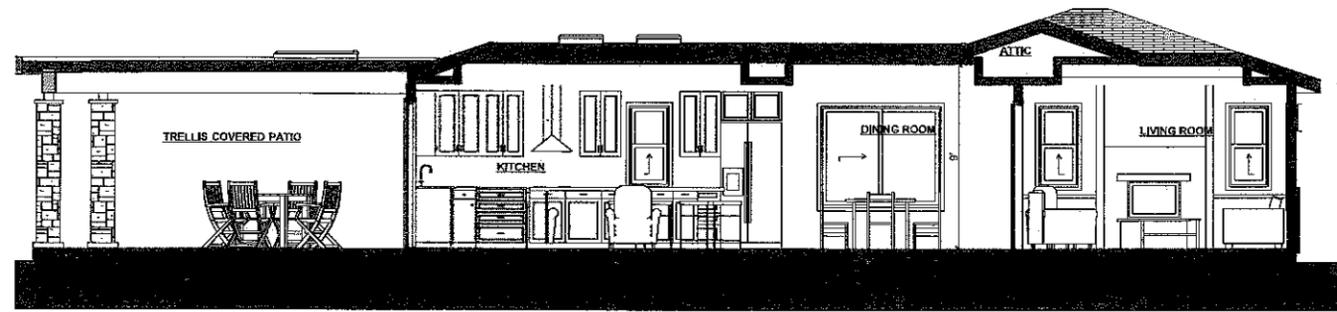
905 RUSSELL AVE. LOS ALTOS, CA. 94024  
dankod@mac.com 650.464.2520



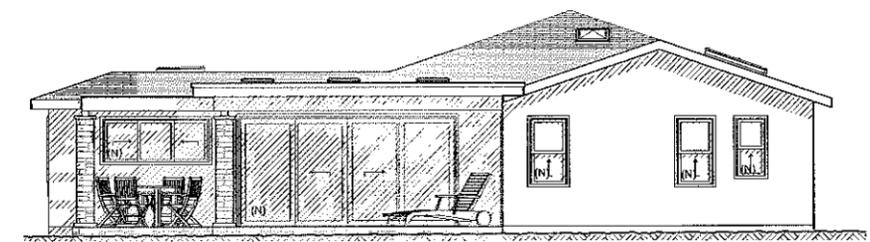
20 N-S CROSS SECTION  
SCALE: 1/4" = 1'-0"



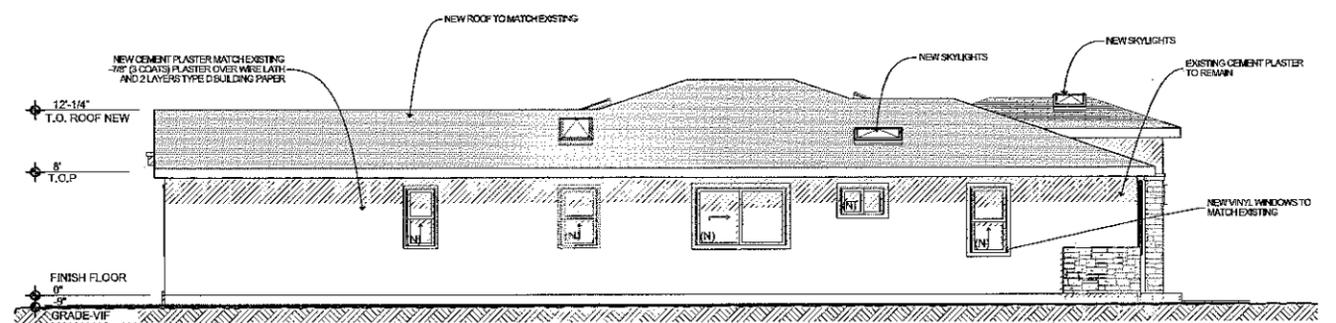
17 FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



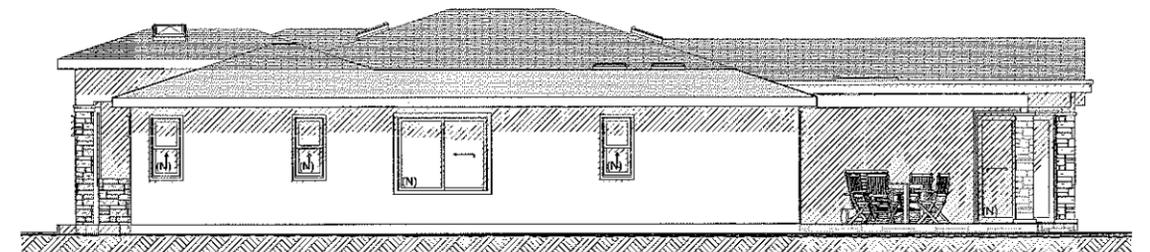
19 E-W CROSS SECTION  
SCALE: 1/2" = 1'-0"



16 REAR ELEVATION  
SCALE: 3/16" = 1'-0"



15 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



18 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

**569 EMORY**  
CAMPBELL, CA

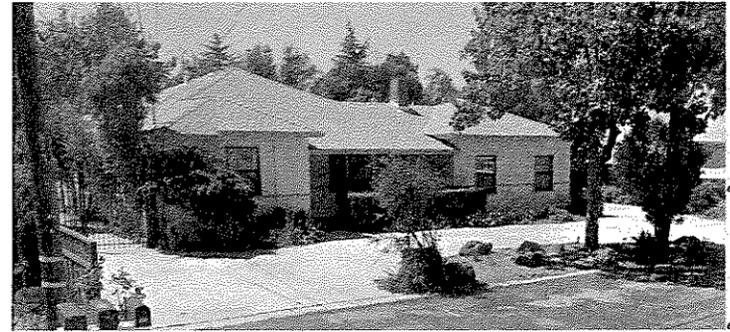
**A4**



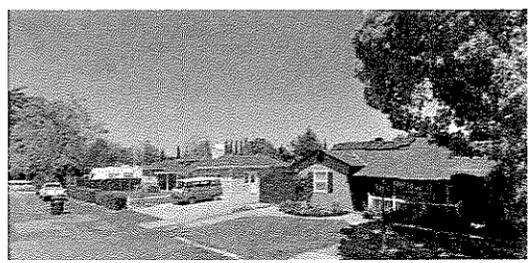
**ELEVATIONS AND SECTIONS**



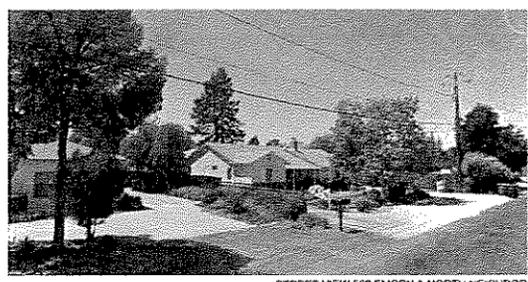
3 STREETScape  
SCALE: 1/8" = 1'-0"



(E) STREET VIEW 569 EMORY



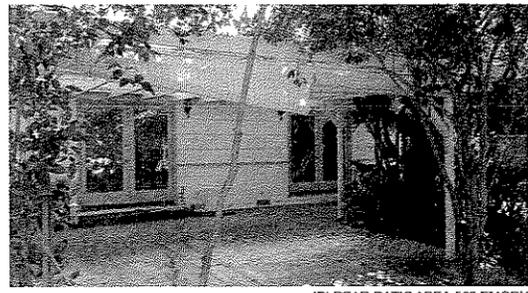
STREET VIEW NEIGHBORHOOD



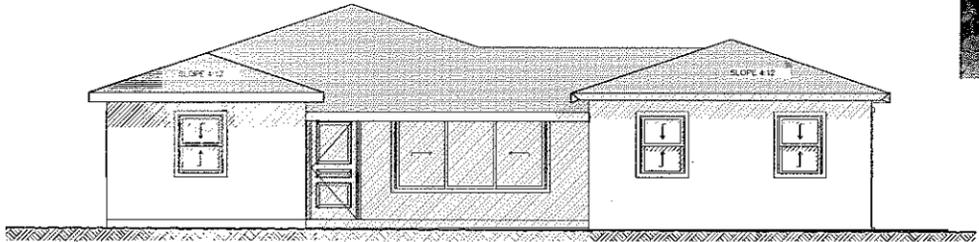
STREET VIEW 569 EMORY & NORTH NEIGHBOR



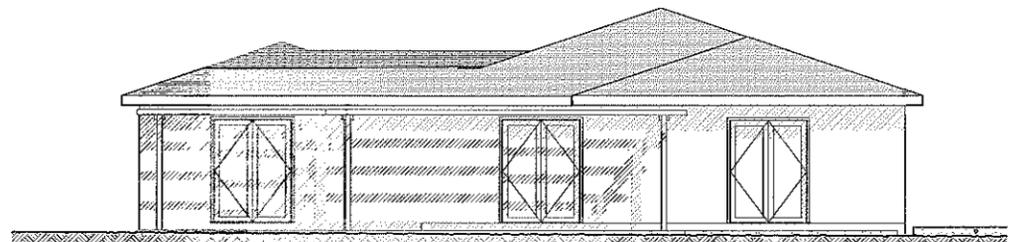
STREET VIEW 569 EMORY & SOUTH NEIGHBOR



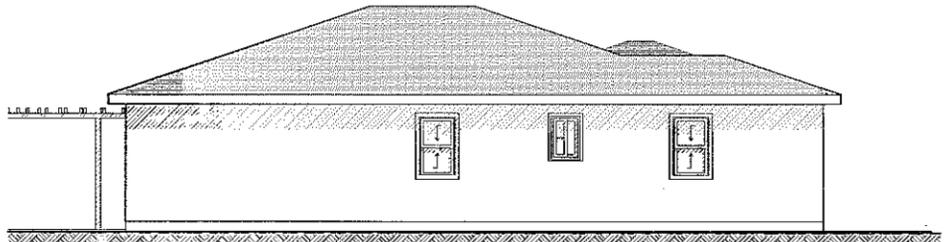
(E) REAR PATIO AREA 569 EMORY



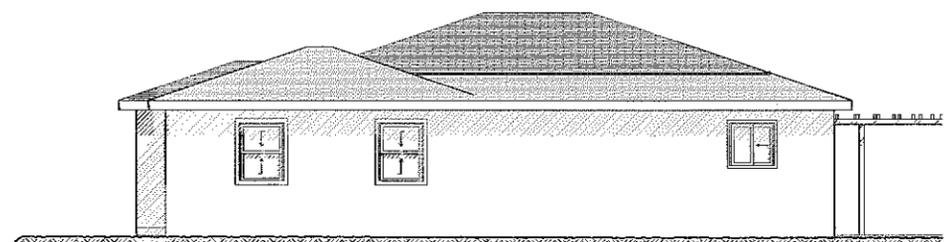
4 EXISTING FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



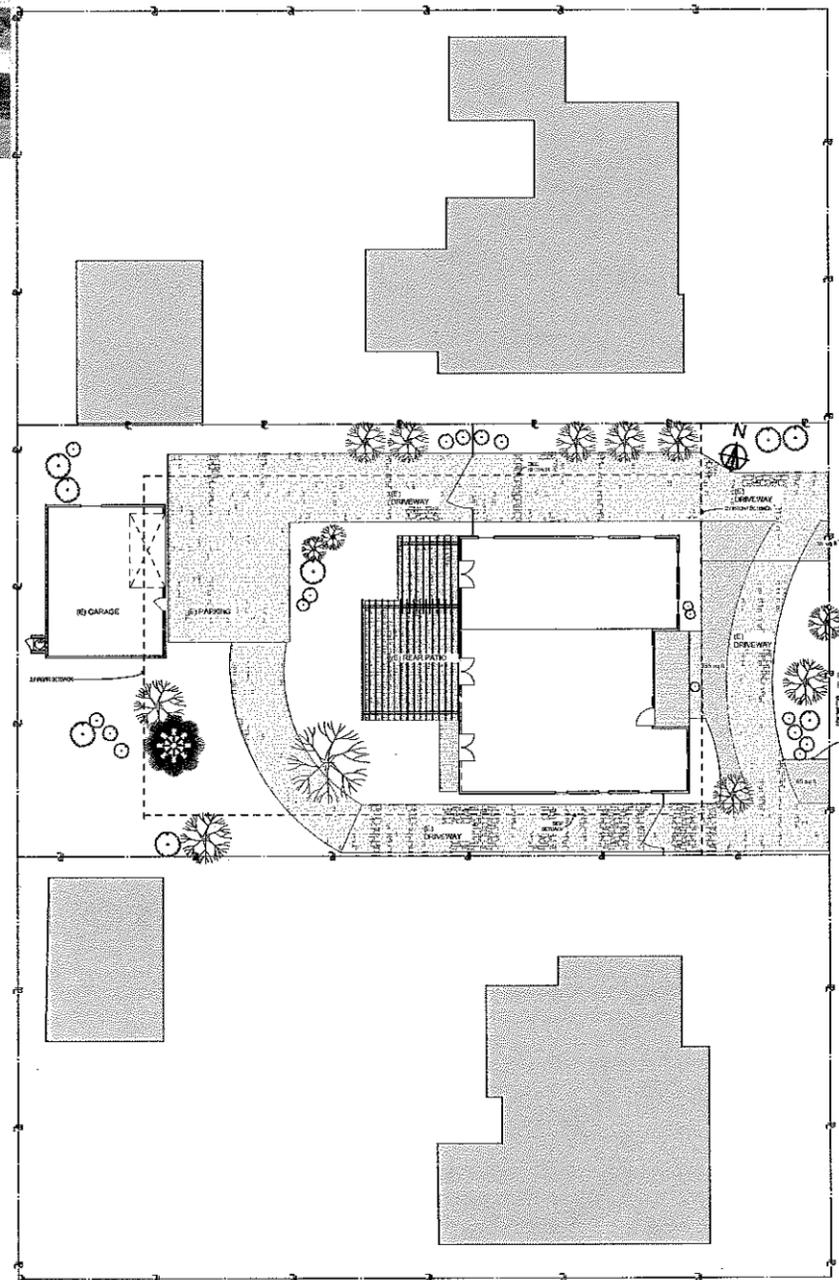
7 EXISTING REAR ELEVATION  
SCALE: 3/16" = 1'-0"



5 EXISTING SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



6 EXISTING NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



1 EXISTING SITE PLAN  
SCALE: 1/16" = 1'-0"

EMORY AVE

# 569 EMORY

CAMPBELL, CA

## EXISTING SITE PLAN & ELEVATIONS

A5

