



CITY OF CAMPBELL
Community Development Department

September 2, 2016

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **September 13, 2016**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Jimmy Chang for a Planned Development Permit (PLN2016-263) to allow the removal of private patio areas, alterations to existing staircases and installation of new lighting fixtures within two courtyards of an existing apartment community (dba "The Parc at Pruneyard") and a Tree Removal Permit (PLN2016-266) to allow the removal of protected trees on property located at **225 Union Avenue**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **225 Union Avenue**

Project Location Map

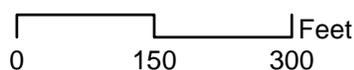


Project Location: 225 Union Avenue

Application Type: PD Permit and Tree Removal

Planning File No.: PLN2016-263 and 266

Description: To allow for the conversion of private patio areas to common open space, alterations to existing staircases, removal of protected trees, and installation of new lighting fixtures within interior courtyards.



Community Development Department
Planning Division



COURTYARD IMPROVEMENTS AT:
PARC AT PRUNEYARD
 225 UNION AVE
 CAMPBELL, CA 95008

REVISIONS

SITE PLAN

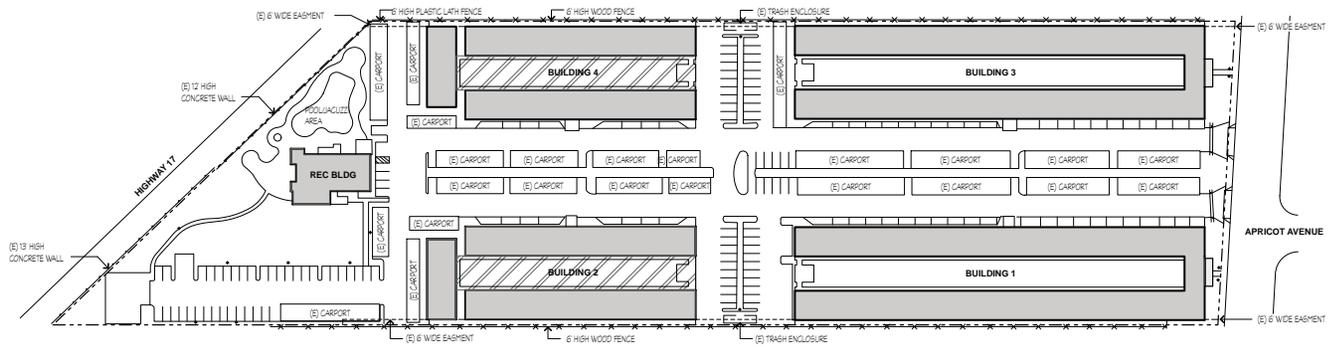
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SITE PLAN LEGEND

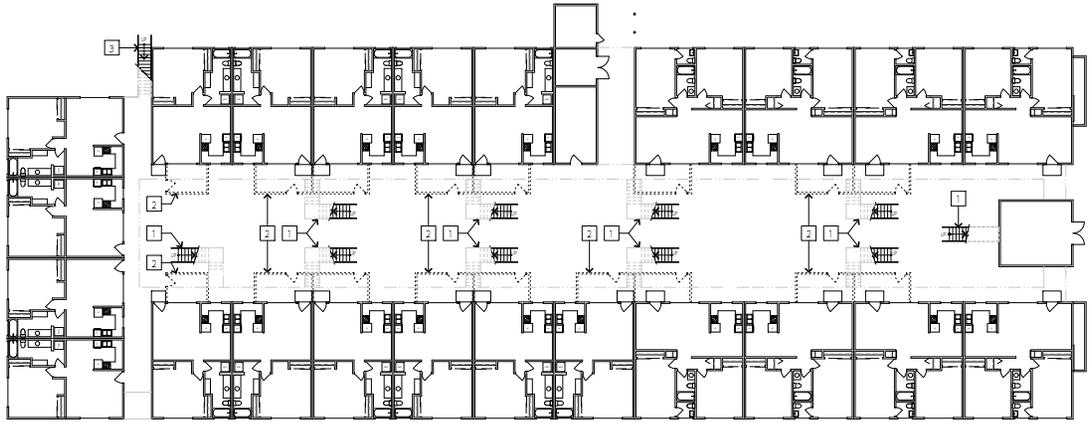
	EXISTING BUILDING
	WORK AREA
	PROPERTY LINE

SITE PLAN NOTES

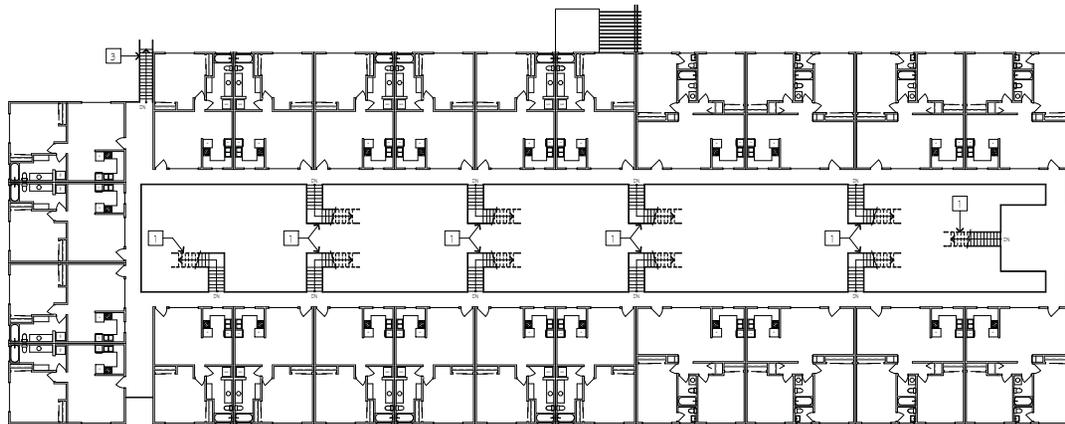
- THIS PLAN IS SHOWN FOR REFERENCE INFORMATION ONLY AND IS INTENDED TO PROVIDE AN OVERALL PHASE OF THE PROJECT SITE. IT IS NOT TO BE USED TO ASCERTAIN THE PROJECT SCOPE NOR IS IT MEANT TO PROVIDE DETAILED INFORMATION FOR THE CONFIGURATION OF ANY BUILDINGS OR SITE COMPONENTS.
- THE EXISTING DISABLED ACCESSIBILITY OF THE PROJECT SITE INCLUDING PATH OF TRAVEL FROM PUBLIC PARKING TO COMMON AREAS SHALL IN NO WAY BE REDUCED OR OTHERWISE ADVERSE BY THE WORK OF THIS PROJECT. ADDITIONALLY ANY AND ALL WORK ON THE BUILDINGS SHALL PRESERVE EXISTING ASPECTS OF DISABLED ACCESSIBILITY TO EACH COVERED UNIT AND COMMON USE FACILITY.



1 SITE PLAN
 SCALE: 1/8" = 1'-0"



1 BUILDING 2 EXISTING FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 BUILDING 2 EXISTING SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

PLAN KEYNOTES

- 1 EXISTING STAIRS TO BE REMOVED
- 2 EXISTING PATIO FENCE TO BE REMOVED
- 3 EXISTING STAIR TO REMAIN
- 4 NEW METAL FRAME STAIRS



COURTYARD IMPROVEMENTS AT:

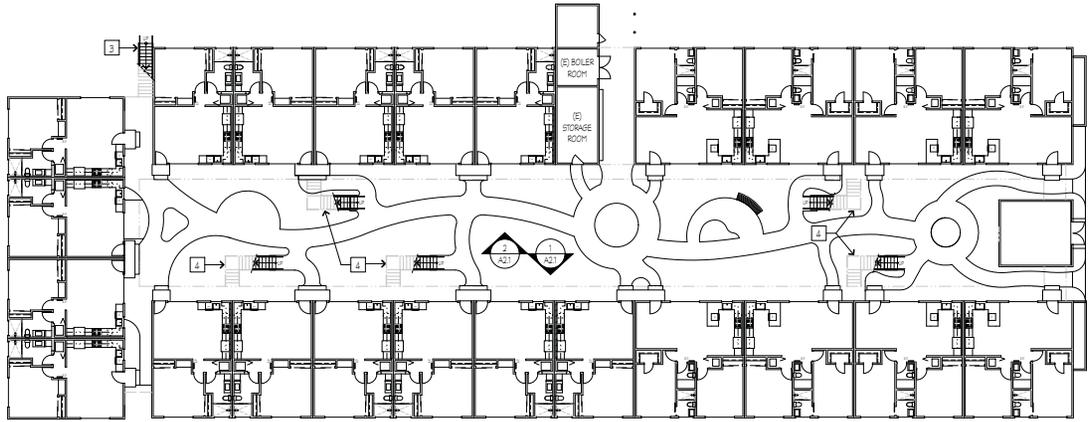
PARC AT PRUNEYARD

225 UNION AVE
CAMPBELL, CA 95008

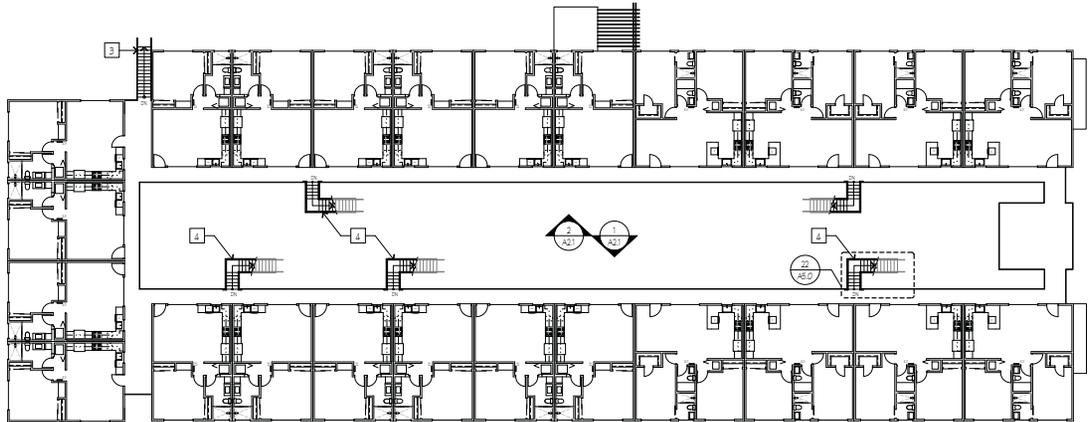
REVISIONS

BUILDING 2 EXISTING PLANS

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1 **BUILDING 2 PROPOSED FIRST FLOOR PLAN**
SCALE: 1/16" = 1'-0"



2 **BUILDING 2 PROPOSED SECOND FLOOR PLAN**
SCALE: 1/16" = 1'-0"

PLAN KEYNOTES

- 1 EXISTING STAIRS TO BE REMOVED
- 2 EXISTING PATIO FENCE TO BE REMOVED
- 3 EXISTING STAIR TO REMAIN
- 4 NEW METAL FRAME STAIRS



SAS TERRAZZA, SUITE C
SAN CARLOS, CA 94071
Ph: 650.952.8866
www.sas-terrAZZA.com



COURTYARD IMPROVEMENTS AT:

PARC AT PRUNEYARD

225 UNION AVE
CAMPBELL, CA 95008

REVISIONS

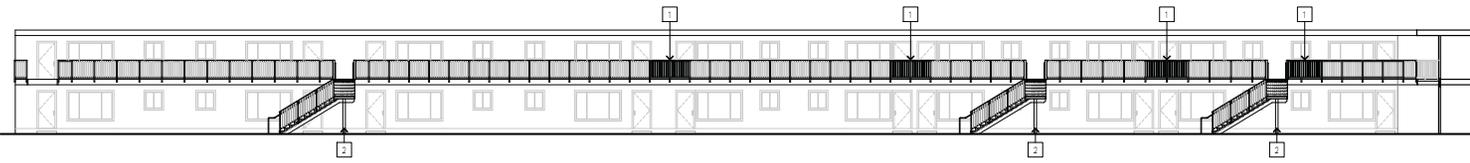
BUILDING 2 PROPOSED PLANS

JOB: 1551	DRAWN KR
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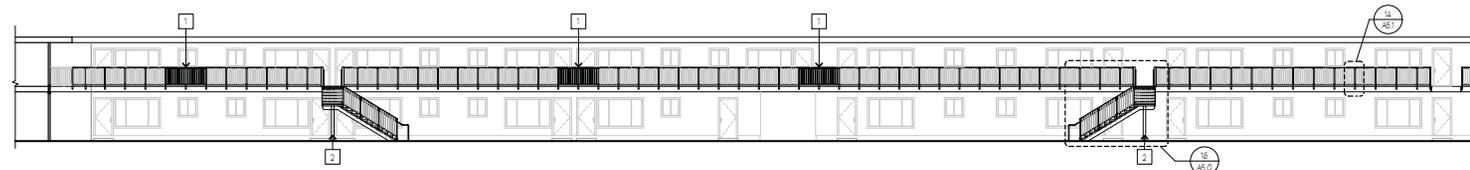


ELEVATION KEYNOTES

- 1 NEW GUARDRAIL TO MATCH EXISTING ONLY AT LOCATIONS WHERE THE EXISTING STAIRWAY WAS REMOVED
- 2 NEW METAL FRAME STAIR WITH PRECAST CONCRETE STEPS



1 BUILDING 2 INTERIOR COURTYARD ELEVATION 1
SCALE: 3/32" = 1'-0"



2 BUILDING 2 INTERIOR COURTYARD ELEVATION 2
SCALE: 3/32" = 1'-0"

COURTYARD IMPROVEMENTS AT:

PARC AT PRUNEYARD

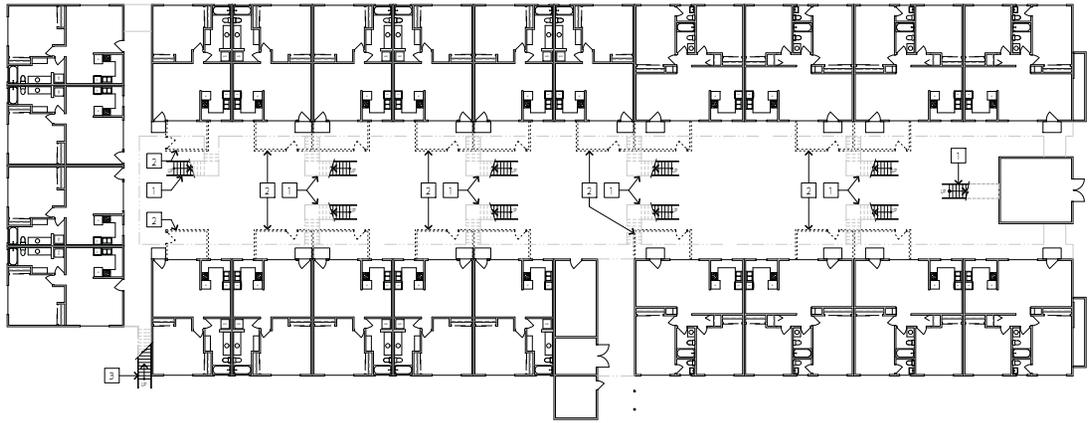
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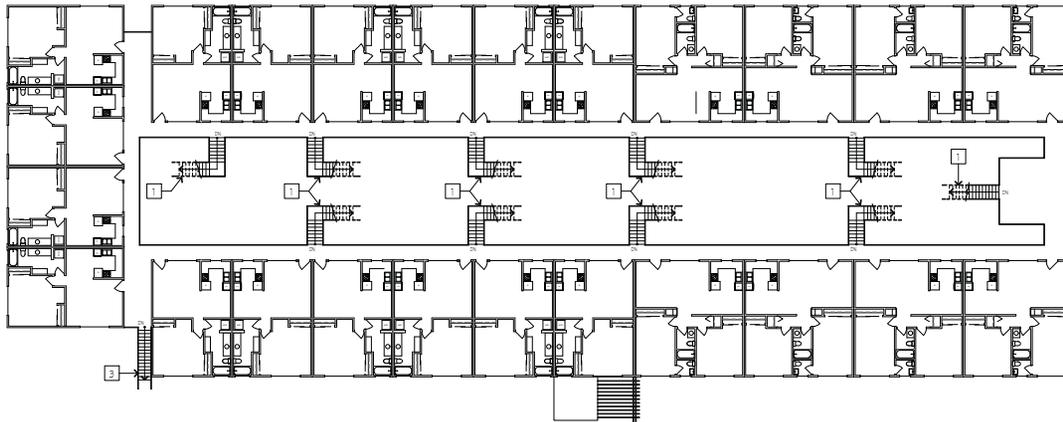
**BUILDING 2 PROPOSED
COURTYARD ELEVATIONS**

JOB: 1551	DRAWN KR
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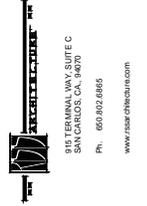
1 BUILDING 4 EXISTING FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 BUILDING 4 EXISTING SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

PLAN KEYNOTES

- 1 EXISTING STAIRS TO BE REMOVED
- 2 EXISTING PANO FENCE TO BE REMOVED
- 3 EXISTING STAIR TO REMAIN
- 4 NEW METAL FRAME STAIRS



COURTYARD IMPROVEMENTS AT:

PARC AT PRUNEYARD

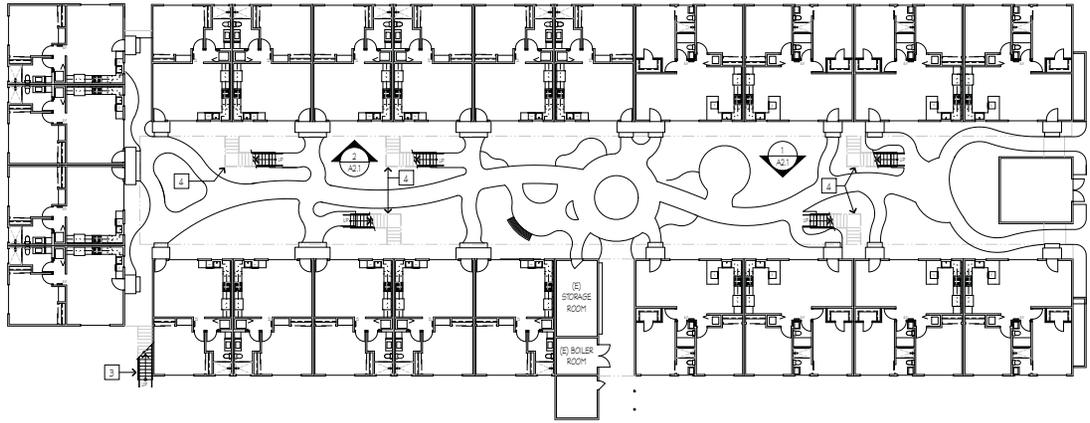
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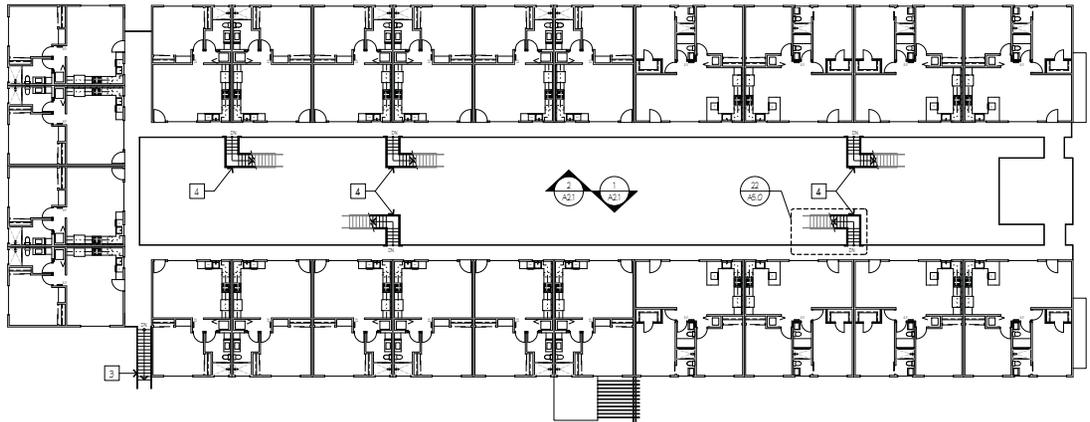
BUILDING 4 EXISTING PLANS

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A3.0	





1 **BUILDING 4 PROPOSED FIRST FLOOR PLAN**
SCALE: 1/16" = 1'-0"



2 **BUILDING 4 PROPOSED SECOND FLOOR PLAN**
SCALE: 1/16" = 1'-0"

PLAN KEYNOTES

- 1 EXISTING STAIRS TO BE REMOVED
- 2 EXISTING PATIO FENCE TO BE REMOVED
- 3 EXISTING STAIR TO REMAIN
- 4 NEW METAL FRAME STAIRS



COURTYARD IMPROVEMENTS AT:

PARC AT PRUNEYARD

225 UNION AVE
CAMPBELL, CA 95008

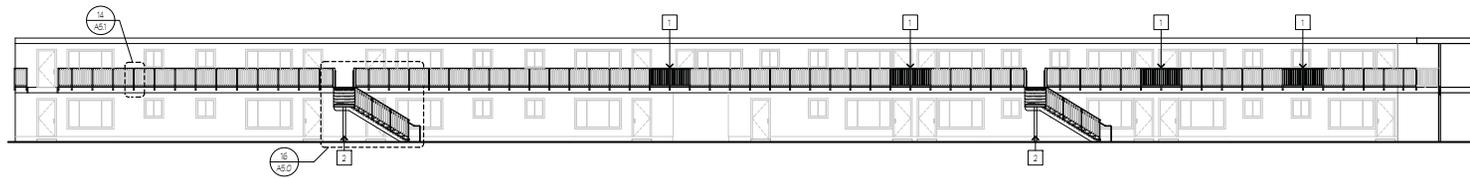
REVISIONS

BUILDING 4 PROPOSED PLANS

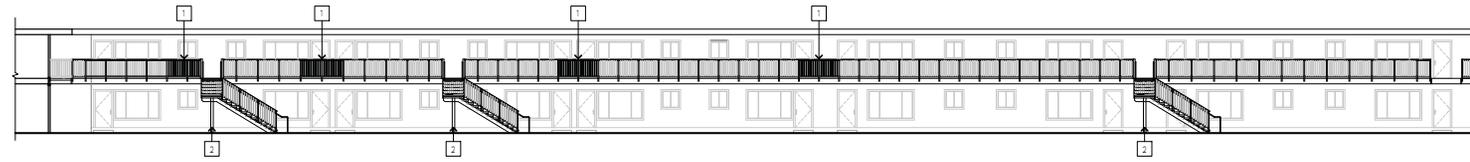
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ELEVATION KEYNOTES

- 1 NEW GUARDRAIL TO MATCH EXISTING ONLY AT LOCATIONS WHERE THE EXISTING STAIRWAY WAS REMOVED
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1 BUILDING 4 INTERIOR COURTYARD ELEVATION 1
SCALE: 3/32" = 1'-0"



2 BUILDING 4 INTERIOR COURTYARD ELEVATION 2
SCALE: 3/32" = 1'-0"

COURTYARD IMPROVEMENTS AT:

PARC AT PRUNEYARD

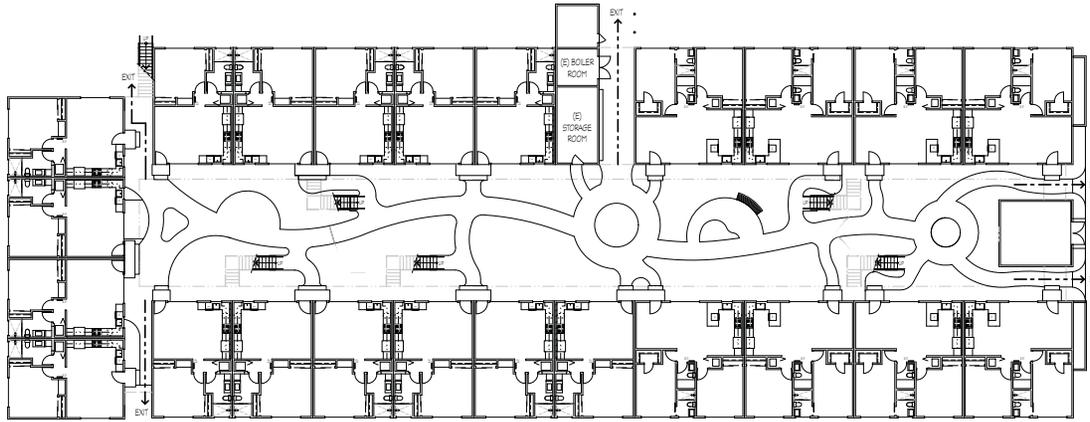
225 UNION AVE
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REVISIONS

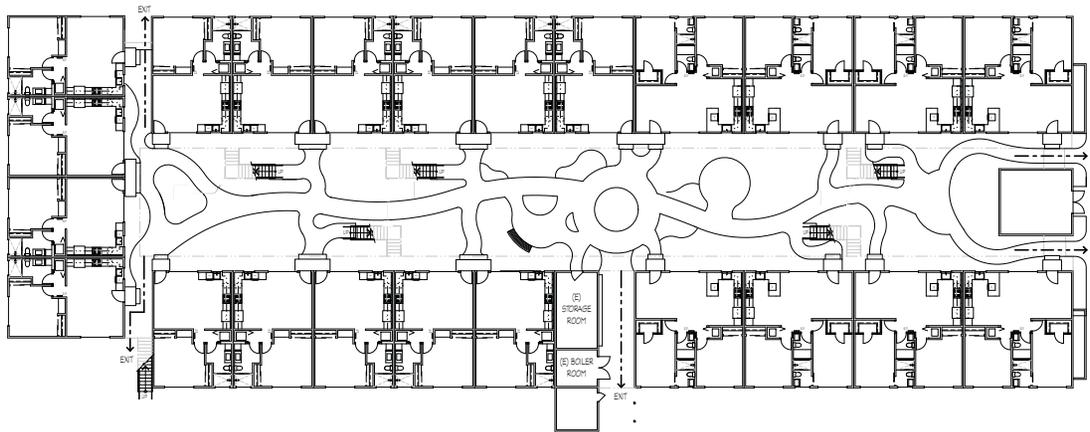
**BUILDING 4 PROPOSED
COURTYARD ELEVATIONS**

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SHEET NO.
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1 **BUILDING 2 FIRST FLOOR EXITING PLAN**
SCALE: 1/16" = 1'-0"



2 **BUILDING 4 FIRST FLOOR EXITING PLAN**
SCALE: 1/16" = 1'-0"

PLAN LEGEND

- EXIT PATH
- MAXIMUM TRAVEL DISTANCE

PLAN NOTES

1. MAXIMUM TRAVEL DISTANCE AT THE FURTHEST POINT FROM ANY STAIR = 24 FEET



COURTYARD IMPROVEMENTS AT:

PARC AT PRUNEYARD

225 UNION AVE
CAMPBELL, CA 95008

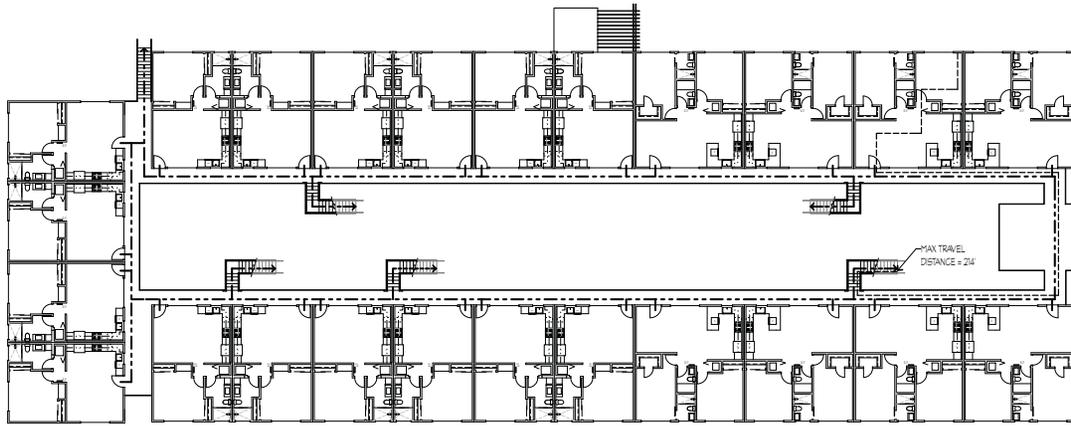
REVISIONS

BUILDING 2 & 4 FIRST FLOOR EXITING PLANS

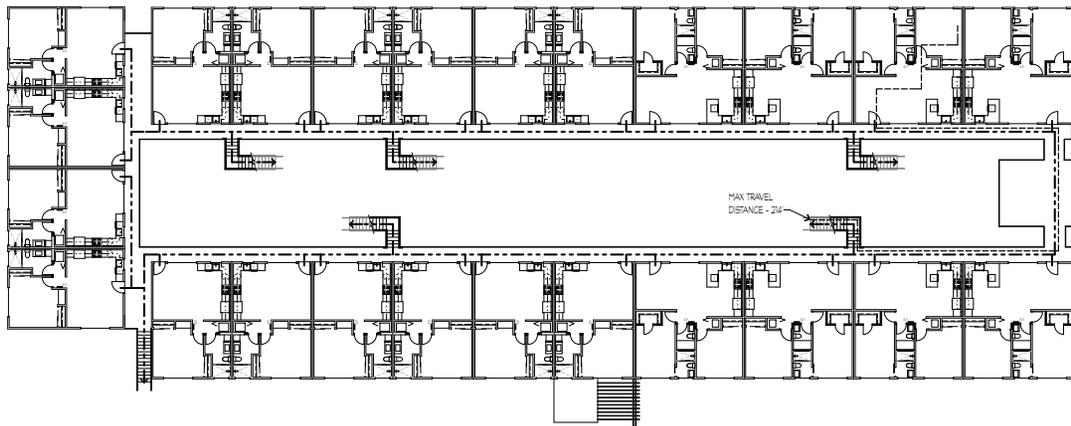
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1 **BUILDING 2 SECOND FLOOR EXITING PLAN**
SCALE: 1/16" = 1'-0"



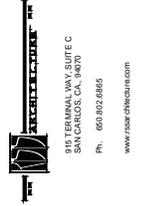
2 **BUILDING 4 SECOND FLOOR EXITING PLAN**
SCALE: 1/16" = 1'-0"

PLAN LEGEND

- EXIT PATH
- MAXIMUM TRAVEL DISTANCE

PLAN NOTES

1. MAXIMUM TRAVEL DISTANCE AT THE FURTHEST POINT FROM ANY STAIR = 214 FEET



COURTYARD IMPROVEMENTS AT:

PARC AT PRUNEYARD

225 UNION AVE
CAMPBELL, CA 95008

REVISIONS

BUILDING 2 & 4 SECOND FLOOR EXITING PLANS

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**LANDSCAPE
RENOVATIONS**

**PARC AT
PRUNEYARD**

215 UNION AVE.
CAMPBELL, CA

KEY MAP

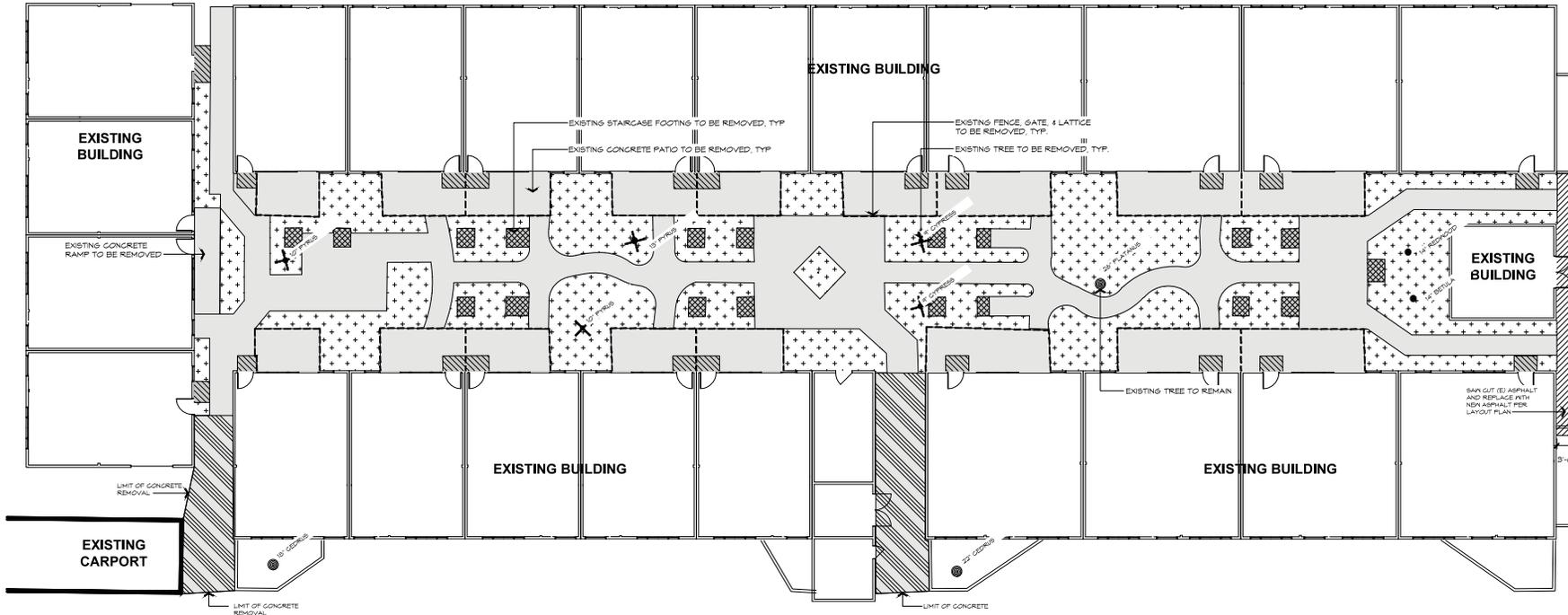


Revisions:	
Date: 8/17/16	PERMIT SET
Scale:	1" = 10'-0"
Drawn By:	NR, AL

DEMOLITION PLAN

Sheet No.
L0.3

Of



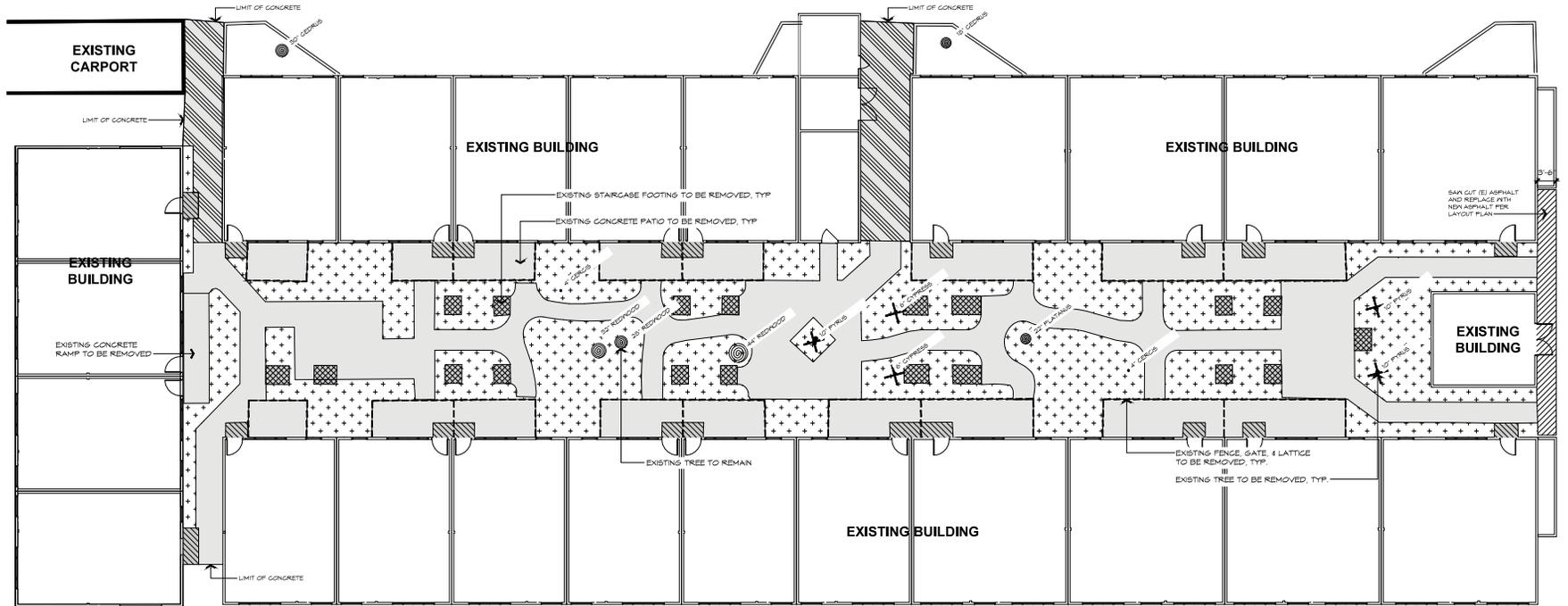
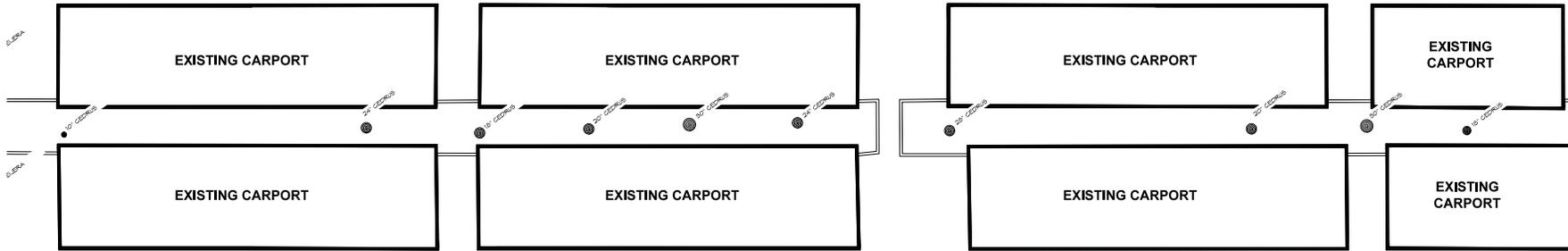
DEMOLITION LEGEND

- EXISTING CONCRETE PAVING & BASEROCK TO BE REMOVED. SAW-CUT AS NECESSARY AT LINE WHERE CONCRETE IS TO REMAIN.
- EXISTING CONCRETE PAVING TO BE REMOVED, BASEROCK TO REMAIN. SAW-CUT AS NECESSARY AT LINE WHERE CONCRETE IS TO REMAIN.
- EXISTING CONCRETE STOOP & BASEROCK TO BE REMOVED.
- EXISTING CONCRETE STAIR FOOTINGS TO BE REMOVED.
- EXISTING ASPHALT PAVING & BASEROCK TO BE REMOVED. SAW-CUT AS NECESSARY AT LINE WHERE ASPHALT IS TO REMAIN.
- EXISTING PLANTS AND/OR TURF TO BE REMOVED. VERIFY IN FIELD BY LANDSCAPE ARCHITECT. DO NOT REMOVE TREES UNLESS OTHERWISE NOTED.
- EXISTING WOOD FENCE, POSTS AND GATES TO BE REMOVED.
- EXISTING TREE TO BE REMOVED.
- EXISTING TREE TO REMAIN.

DEMOLITION NOTES

- TOPOGRAPHIC INFORMATION USED IN THE PREPARATION OF THIS PLAN IS BASED ON SURVEY INFORMATION PREPARED BY BKF, DATED 5/1/2016. ALL GRADES AND CONTOURS INDICATED AS EXISTING ARE BASED ON SURVEY INFORMATION FURNISHED PRIOR TO BUILDING CONSTRUCTION. CONTRACTOR SHALL VERIFY AND ACCEPT EXISTING CONDITIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES & LOCATIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- THIS PLAN IS FOR REFERENCE ONLY AND DOES NOT NECESSARILY INDICATE THE FULL EXTENT OR LIMITS OF DEMOLITION. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS & NEAR WORK PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL ENSURE ALL BASE MATERIAL & DELETERIOUS MATERIAL IS REMOVED FROM SOIL IN PROPOSED PLANTING AREAS.
- CONTRACTOR SHALL ALLOW FOR REPAIR & REPLACEMENT OF ALL FEATURES TO REMAIN TO RETURN TO PRE-CONSTRUCTION CONDITION. CONTRACTOR SHALL REPAIR ANY DAMAGE AS A RESULT OF CONSTRUCTION ACTIVITIES.
- EXISTING DOWNSPOUT LEADERS & DRAINAGE SHALL REMAIN UNLESS OTHERWISE INDICATED BY GRADING & DRAINAGE PLANS.
- ALL EXISTING LIGHT BOLLARDS SHALL BE RETAINED IN PLACE OR RELOCATED. SEE LIGHTING PLANS.
- ALL EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITY. SEE CIVIL PLANS.
- ALL DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL VERIFY WITH THE LANDSCAPE ARCHITECT THE LOCATION OF MATERIALS TO BE STORED OR RELOCATED. THE CONTRACTOR SHALL PROTECT ALL FEATURES TO REMAIN.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER.
- ALL PLANT MATERIAL NOT INDICATED TO BE REMOVED SHALL REMAIN.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES & ROOT SYSTEMS.
- CONTRACTOR SHALL MAINTAIN THE AUTOMATIC IRRIGATION SYSTEM OPERATIONAL TO ALL LANDSCAPE AREAS TO REMAIN. IF SUCH IRRIGATION IS NOT MAINTAINABLE, CONTRACTOR SHALL HAND WATER TO ENSURE PLANT HEALTH FOR DURATION OF THE PROJECT.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

REUSE, REPRODUCTION OR PUBLICATION OF THESE PLANS IS PROHIBITED WITHOUT WRITTEN CONSENT OF KIKUCHI + KANKEL DESIGN GROUP.



SEE SHEET L0.3 FOR NOTES AND LEGEND



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LANDSCAPE
RENOVATIONS

**PARC AT
PRUNEYARD**

215 UNION AVE.
CAMPBELL, CA

KEY MAP



Revisions:

Date: 8/17/16 PERMIT SET

Scale: 1" = 10'-0"

Drawn By: NR, AL



DEMOLITION PLAN

Sheet No.

L0.4

Of



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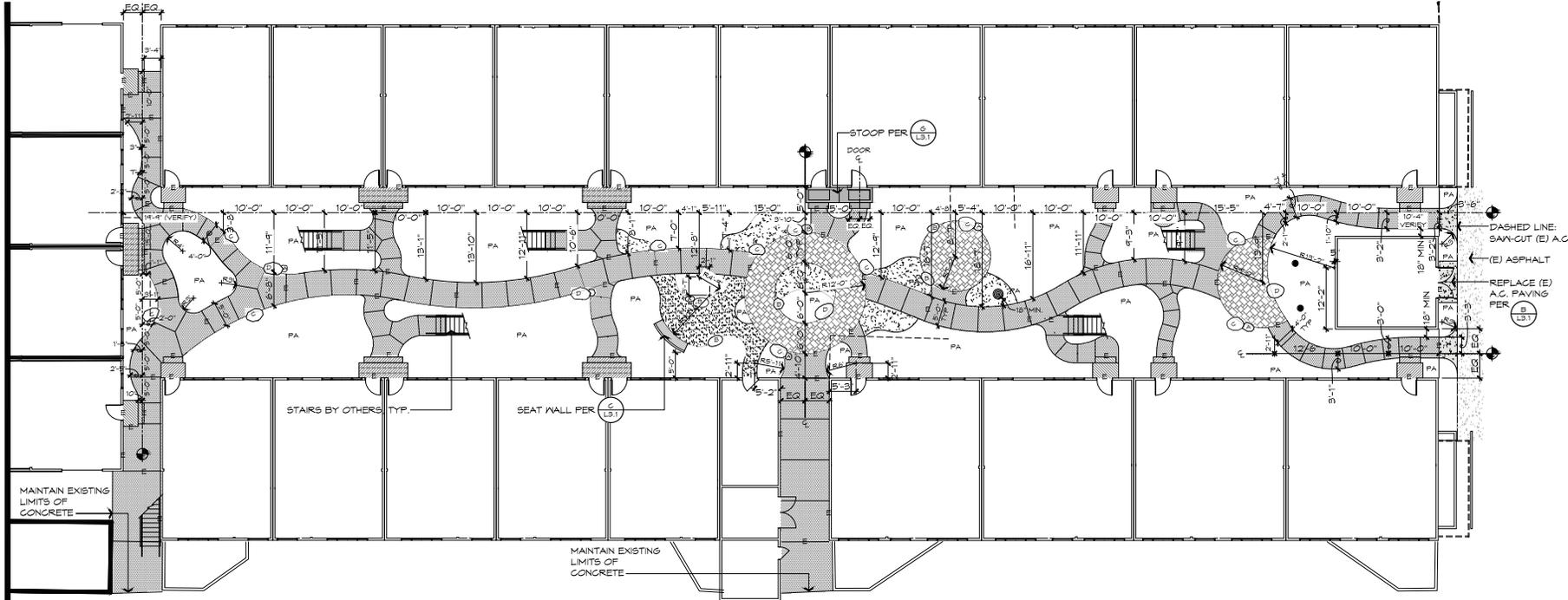


LANDSCAPE
RENOVATIONS

**PARC AT
PRUNEYARD**

215 UNION AVE.
CAMPBELL, CA

KEY MAP



LAYOUT LEGEND

- CONCRETE PAVING: 4" THICK INTEGRAL COLOR CONCRETE IV/ MEDIUM BROOM FINISH, COLOR AND SEAL PER SPECS.
- TOOLED SCORE JOINT EXPANSION JOINT
- CONCRETE PAVERS: CAST CONCRETE PAVES OVER 4" CONCRETE BASE COLOR 4 FINISH TO BE SELECTED BY OWNER
- GRAVEL: 3" THICK GRAVEL BED OF 1/2" X 1" LA PAZ PEBBLES.
- GRAVEL OR G&G PAVING: 3" THICK BLUE FINES, DECOMPOSED GRANITE WITH STABILIZER PER SPECS.
- REPLACE EXISTING ASPHALT PAVING
- DOUBLE PADE STOOP: CONCRETE REINFORCED W/ #4 REBAR @ 12" O.C., #3 REBAR CONTINUOUS @ EACH NOSE, INTEGRAL COLOR, STAINING, SEALING AND FINISH PER PLAN, DIMENSIONS PER
- SINGLE PADE STOOP: CONCRETE REINFORCED W/ #4 REBAR @ 12" O.C., #3 REBAR CONTINUOUS @ EACH NOSE, INTEGRAL COLOR, STAINING, SEALING AND FINISH PER PLAN, DIMENSIONS PER
- PA PLANTING AREA
- BOULDERS: NAPA FIELDSTONE BOULDERS or (AS SELECTED BY OWNER OR LANDSCAPE ARCHITECT)
- EXISTING TREE TO REMAIN, TYP.

LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES & LOCATIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES & ORDINANCES. CONTRACTOR SHALL OBTAIN & PAY FOR ALL NECESSARY PERMITS.
- REFER TO CIVIL DRAWINGS FOR ALL GRADINGS, DRAINAGE, SUBGRADE DRAINAGE AND EARTHWORK.
- CONTRACTOR SHALL INSTALL UTILITY SLEEVES PRIOR TO FORMING CONCRETE. REFER TO IRRIGATION PLANS FOR LOCATIONS.
- PAVING SCORE LINES, WHEN NOT DIMENSIONED, SHALL BE LOCATED PER PLAN, ALIGNED AS INDICATED, AND SPACED EQUALLY. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO LAYING REBAR.
- ALL VISIBLE POURED-IN-PLACE CONCRETE SHALL BE SEALED PER SPECS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE TO ARRANGE FOR FIELD REVIEW OF ALL PAVING AND PATH LAYOUTS.
- CONTRACTOR SHALL PROVIDE POOL SHOP DRAWINGS, INDICATING SIGNAGE, TILE MARKERS, RAILINGS, ETC., AND SUBMITTED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING POOL CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES & ROOT SYSTEMS. NO EXCAVATION FOR ANY PURPOSE SHALL BE EXCAVATED 15 FEET OF EXISTING TREE TRUNKS. EXCAVATION BEYOND 15 FEET AND WITHIN DRIPLINES OF EXISTING VEGETATION AND TREES TO REMAIN SHALL BE HAND DUG. NO ROOTS GREATER THAN 1/2" SHALL BE CUT. ALL CUT ROOTS SHALL BE CLEANLY CUT & DRESSED.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS WHICH CANNOT BLOW AWAY) SHALL BE FILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

BOULDER KEY

- EXISTING STOCKPILED BOULDERS or INEA NAPA FIELDSTONE BOULDERS or (AS SELECTED BY THE LANDSCAPE ARCHITECT). SIZES AS FOLLOWS:
- | | | | |
|---|-----------------|---|-----------------|
| A | 12-15" x 21-24" | C | 24-30" x 36-42" |
| B | 18-24" x 24-30" | D | 36-42" x 48-54" |

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Revisions:

Date: 6/10/16	PERMIT SET
Scale: 1" = 10'-0"	
Drawn By: NR, AL	

LAYOUT PLAN

Sheet No.

L1.3

Of



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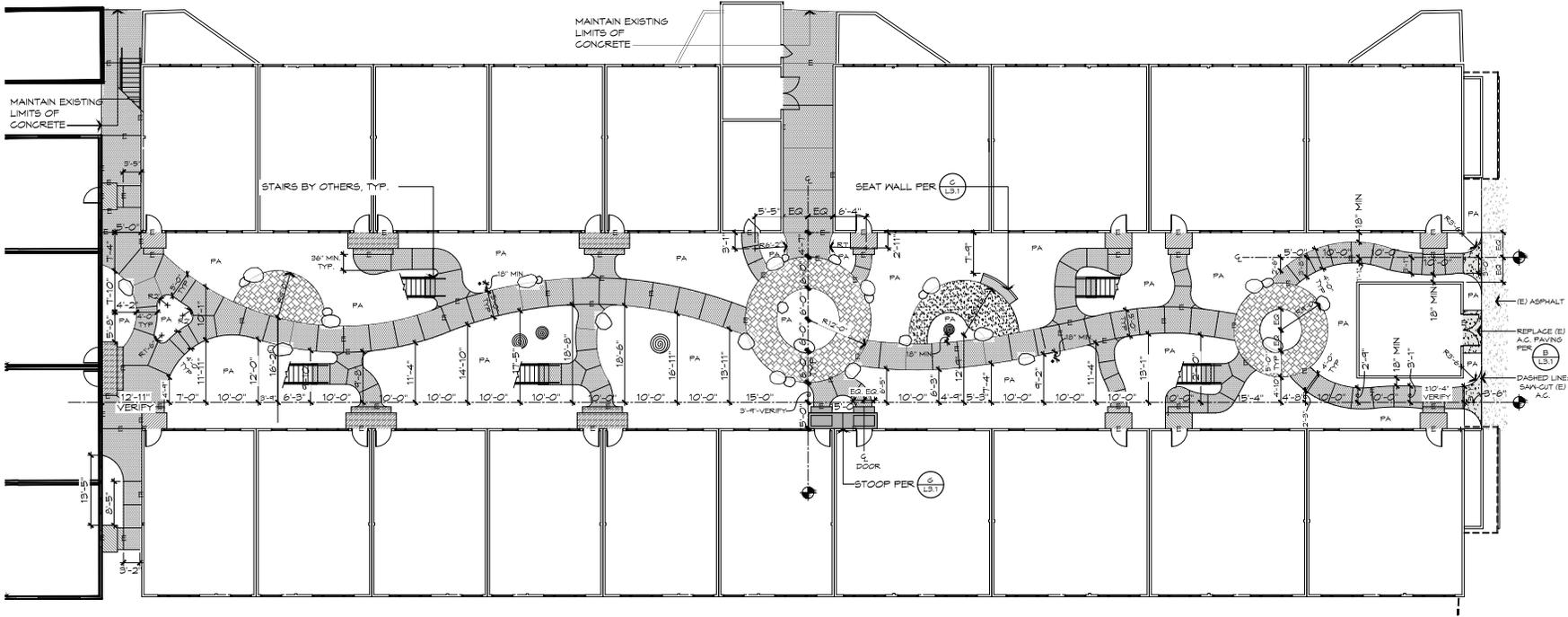


**LANDSCAPE
RENOVATIONS**

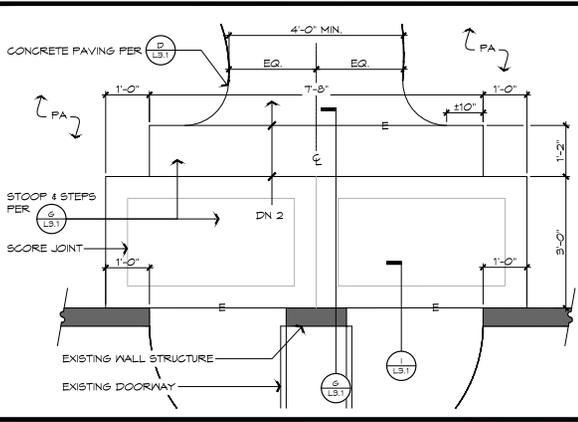
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KEY MAP

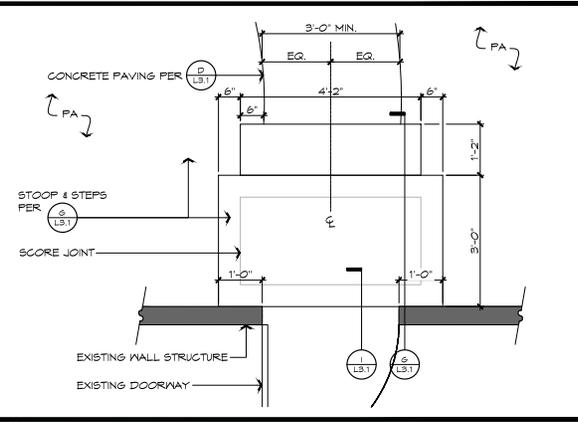


SEE SHEET L1.3 FOR NOTES AND LEGEND



(A) DOUBLE WIDE STOOP

3/4" = 1'-0"



(B) SINGLE WIDE STOOP

3/4" = 1'-0"

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LAYOUT PLAN

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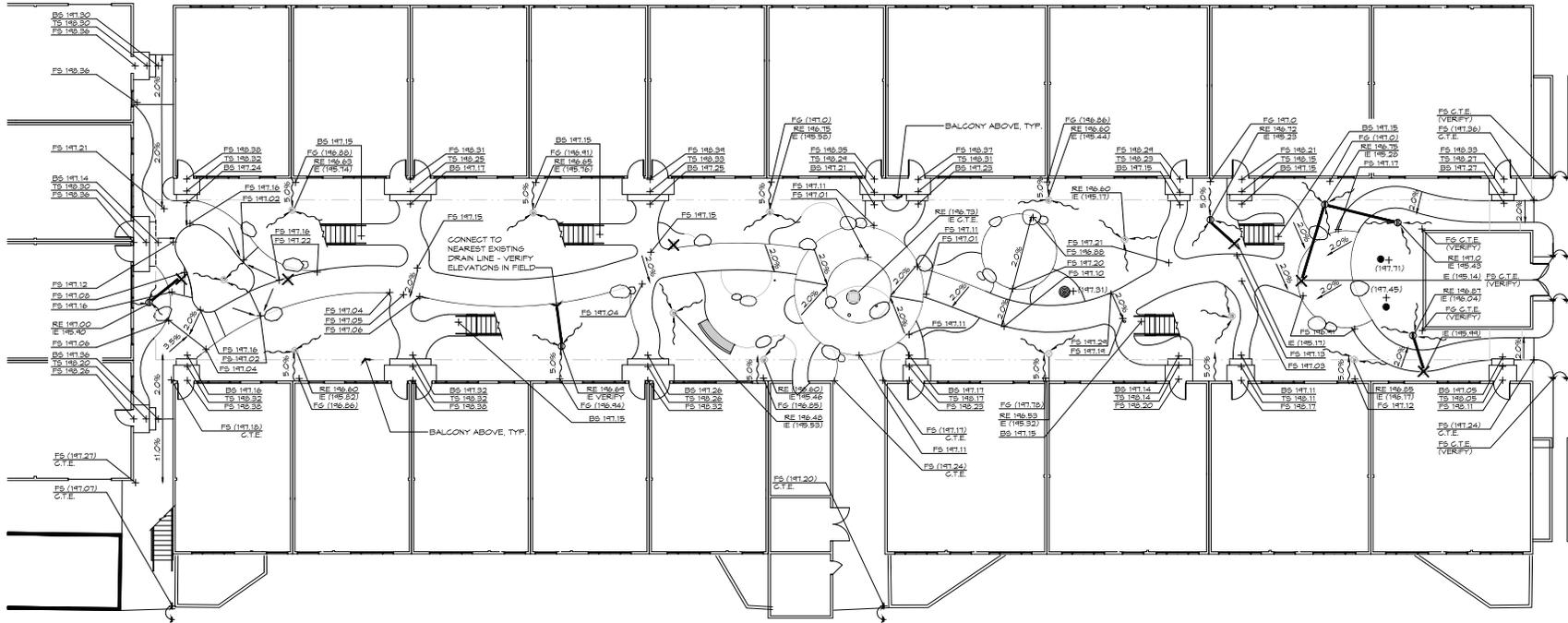
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LANDSCAPE
RENOVATIONS

PARC AT PRUNEYARD

215 UNION AVE.
CAMPBELL, CA



GRADING LEGEND

- FS 100.00
PROPOSED SPOT ELEVATION (SEE ABBREVIATION KEY)
- TS 100.00
EXISTING SPOT ELEVATION
- C.T.E.
- INDICATES CONFORMING ELEVATIONS
- RIDGE OR VALLEY LINE
- DRAIN PIPE: PVC SDR 35, 4" UNLESS OTHERWISE NOTED. MINIMUM 1% SLOPE.
- 2.0% INDICATES DEGREE AND DIRECTION OF SLOPE ACROSS PAVED SURFACES
- 3.5% INDICATES DEGREE AND DIRECTION OF SLOPE ACROSS PLANTED AREAS
- ⊙ RELOCATED AREA DRAIN OR NEW TO MATCH EXISTING
- ⊙ EXISTING AREA DRAIN TO REMAIN
- X EXISTING AREA DRAIN TO REMOVED OR RELOCATED
- ▣ EXISTING CATCH BASIN TO REMAIN

ABBREVIATION KEY

- FFE FINISHED FLOOR ELEVATION (PER ARCHITECT'S FLANS)
- FS FINISHED SURFACE ELEVATION
- FG FINISHED GRADE ELEVATION
- RE/E RIM/INVERT ELEVATION
- TRV/BK TOP/BOTTOM OF WALL ELEVATION
- TC/BC TOP/BOTTOM OF CURB ELEVATION
- TS/BS TOP/BOTTOM OF STEP ELEVATION
- TR/BR TOP/BOTTOM OF RAMP ELEVATION
- TBC TOP OF BARBEQUE COUNTER
- TBR TOP OF BRIDGE
- C.T.E. CONFORM TO EXISTING ELEVATION

GRADING NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING & PROPOSED ELEVATIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES FOUND.
- DRAINAGE INTENT: IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPED AREAS. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FOR ALL AREAS.
- ALL NEW PLANTING AREAS (EXCEPT UNDER EXISTING TREE CANOPIES) SHALL RECEIVE A 2" LAYER OF ORGANIC AMENDMENTS INCORPORATED INTO THE TOP 6" OF SOIL PER SPECS. ALL PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH PER SPECS.
- THE SUBGRADE BELOW ALL PAVED AREAS (EXCEPT UNDER EXISTING TREE CANOPIES) SHALL BE BASECOURSE COMPACTED TO 95% DEPTH PER PLAN. SEE DETAILS FOR PAVING AND SUBGRADE COMPACTON BENEATH EXISTING TREES.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- NO TRENCHES FOR ANY PURPOSE SHALL BE DUG WITHIN 15 FEET OF EXISTING TREE TRUNKS. TRENCHES BEYOND 15 FEET AND WITHIN DRUPLINES OF EXISTING VEGETATION AND TREES TO REMAIN SHALL BE HAND DUG. NO ROOTS GREATER THAN 1" DIAMETER SHALL BE CUT. ALL CUT ROOTS BETWEEN 1/2" AND 1" DIAMETER SHALL BE CLEANLY CUT AND DRESSED.
- ALL PERFORATED PIPES SHALL DRAIN TO SOLID PIPES. UNDER NO CIRCUMSTANCES SHALL A SOLID PIPE BE ALLOWED TO DRAIN INTO A PERFORATED PIPE. WHERE TIGHT LINES ARE INDICATED TO FLOW BENEATH A WALL, PERFORATED PIPE SHALL CONNECT WITH A VERTICAL SOLID PIPE STRAIGHT DOWN TO THE SOLID PIPE.
- ALL DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE PER SPECS, SLOPED AT 1% MINIMUM UNLESS OTHERWISE NOTED ON PLAN.
- ALL BUILDING RAIN WATER LEADERS SHALL REMAIN CONNECTED TO EXISTING DRAINAGE SYSTEM.
- TOPOGRAPHIC INFORMATION USED IN THE PREPARATION OF THIS PLAN IS BASED ON SURVEY INFORMATION PREPARED BY BKF, DATED 5/1/2015. ALL GRADES AND CONTOURS INDICATED AS EXISTING ARE BASED ON SURVEY INFORMATION PERFORMED PRIOR TO BUILDING CONSTRUCTION. CONTRACTOR SHALL VERIFY AND ACCEPT EXISTING CONDITIONS PRIOR TO BUILDING CONSTRUCTION.
- ALL FINISH GRADES SHALL BE NO LESS THAN 6" BELOW TOP OF FOUNDATION. CONTRACTOR SHALL VERIFY.
- EROSION CONTROL MEASURES MUST BE IN PLACE PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES AND SHALL BE RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH THE DISCHARGE OF SEDIMENTS, EROSION, OR POLLUTANTS LEAVING THE SITE AS A RESULT OF CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL USE A SILT FENCE BARRIER, STRAW BALE BARRIER, SAND BAGS, BRUSH OR ROCK FILTER OR OTHER APPROPRIATE MEASURES, AS NECESSARY, TO MINIMIZE THE QUANTITY OF SEDIMENT-LADEN RUNOFF FROM THE SITE.
- CONTRACTOR SHALL STABILIZE ANY AREAS THAT HAVE BEEN STRIPPED OF VEGETATION AND MAINTAIN EROSION CONTROL MEASURES BETWEEN OCTOBER 15 AND APRIL 15 OR PER CITY STANDARDS.
- CONTRACTOR SHALL USE WATERING AND OTHER MEANS NECESSARY TO CONTROL DUST DURING PERFORMANCE OF WORK TO PREVENT A NUISANCE TO THE PUBLIC.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

STAIRWAY FABRICATION & FLATWORK INSTALLATION

CONTRACTOR SHALL VERIFY ALL EXISTING & PROPOSED ELEVATIONS PRIOR TO FABRICATION OF STAIRWAYS OR INSTALLATION OF FLATWORK. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE FIELD. CONTRACTOR SHALL REVIEW ALL FIELD ADJUSTMENTS BY LANDSCAPE ARCHITECT PRIOR TO ANY CONCRETE POUR.

KEY MAP



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GRADING & DRAINAGE PLAN

Sheet No.

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LANDSCAPE
RENOVATIONS

**PARC AT
PRUNEYARD**

215 UNION AVE.
CAMPBELL, CA

KEY MAP



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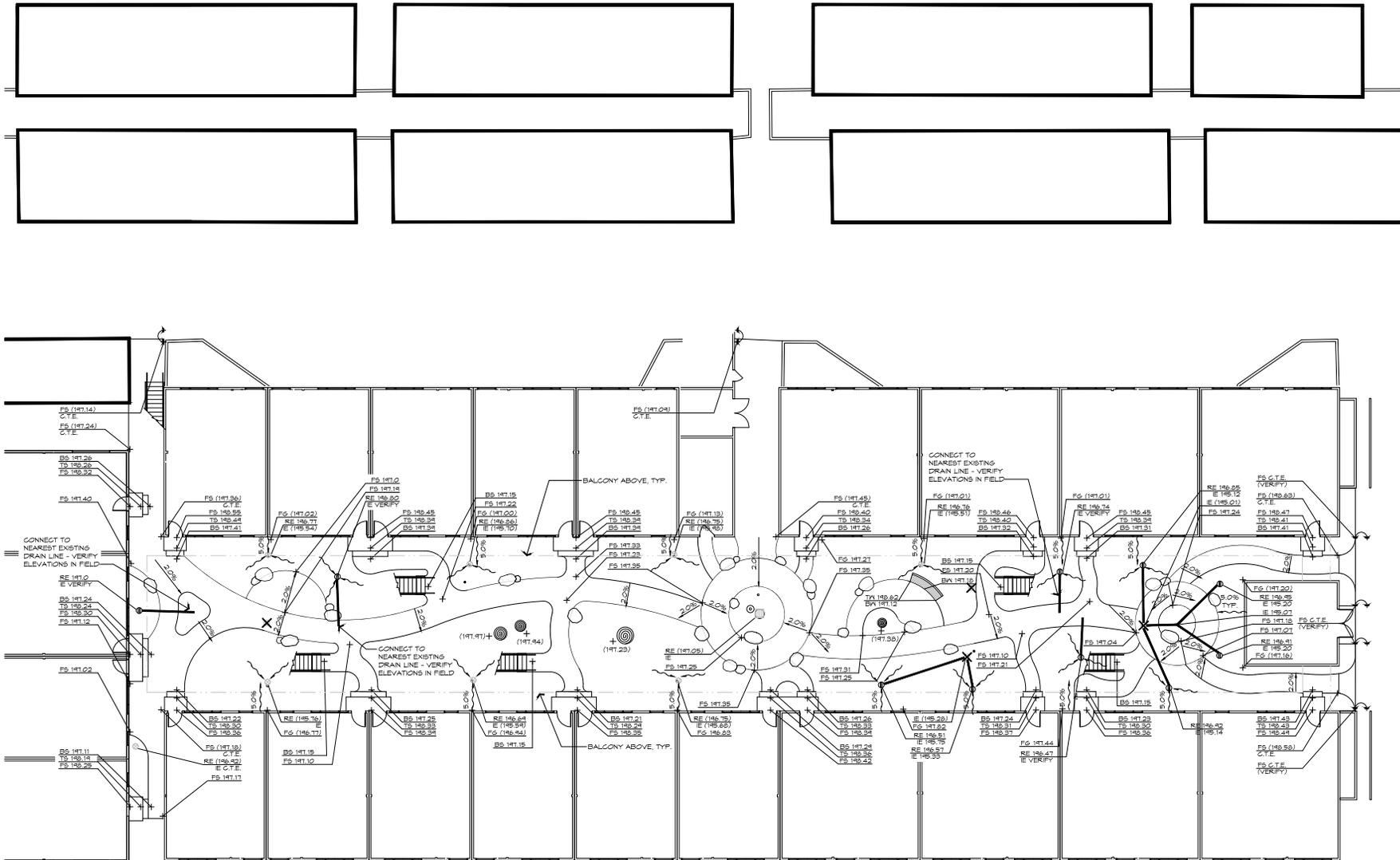
**GRADING &
DRAINAGE PLAN**

Sheet No.

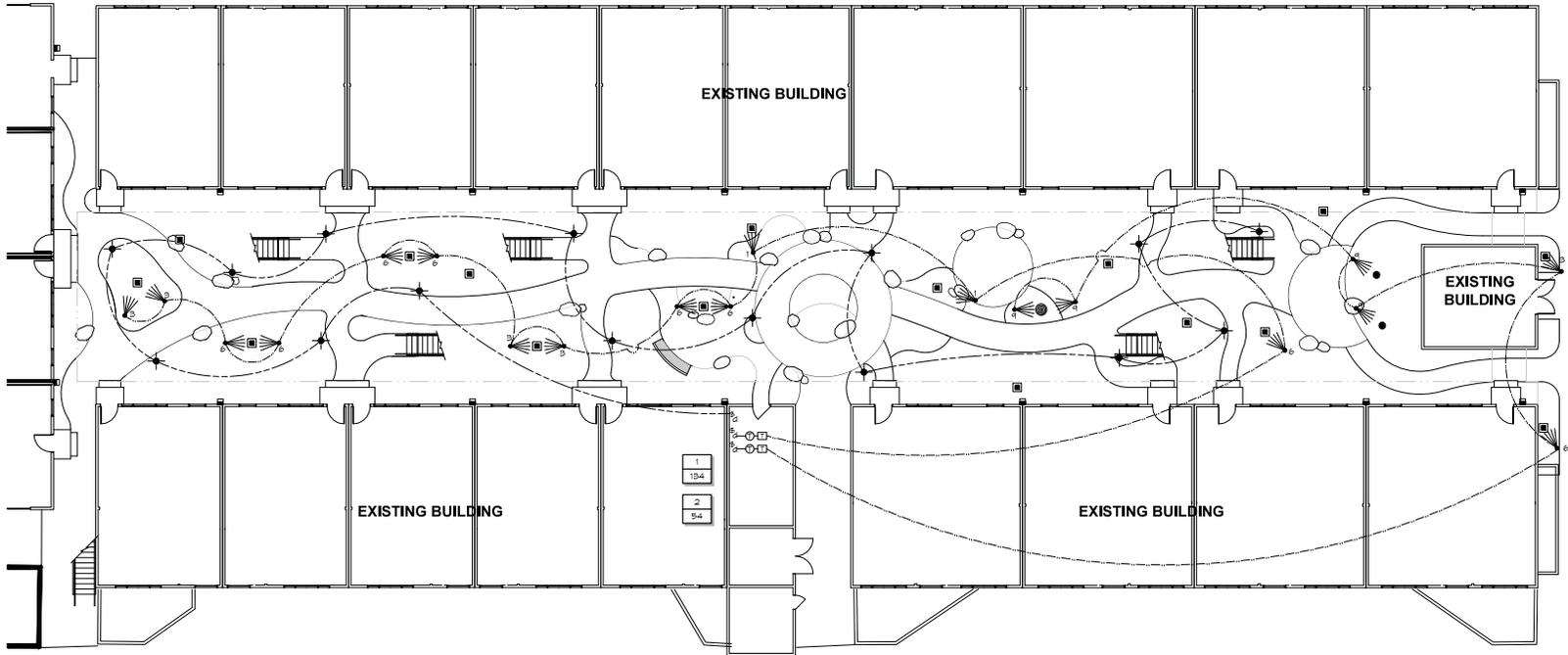
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LIGHTING LEGEND

- LINE VOLTAGE WIRING: SCHEMATIC LOCATION. WIRE TO BE SOLID-CONDUCTOR COPPER, GAUGE AS REQUIRED. ROUTE WIRE IN CONDUIT, SIZE AS REQUIRED. BURIAL PER CODES.
 - LOW VOLTAGE WIRING: SCHEMATIC LOCATION. WIRE TO BE DIRECT-BURIAL, #10/2 OR 12/2, AS REQUIRED. SIX-INCH (6") MINIMUM BURIAL. ROUTE INSIDE MOOD VENEERS, ATOP BEAMS, ETC. TO MINIMIZE VISIBILITY AND IMPACT TO TREE ROOTS.
 - ☐ TRANSFORMER: FX LUMINAIRE MODEL FX 150 OR 300 MAT (AS APPROPRIATE PER ZONE MAT) MULTI-TAP TRANSFORMER WITH PHOTOCELL. PROVIDE HARD-WIRED 120V POWER SUPPLY. LOCATION AS DETERMINED IN THE FIELD.
 - ☐ ELECTRICAL JUNCTION BOX
 - ☀ UP LIGHT (LOW VOLTAGE): FX LUMINAIRE NP-11LED-B2-TB; MOUNT ON 3/8" STAKE. "1" INDICATES NUMBER OF LEDS PER FIXTURE.
 - ☀ BOLLARD LIGHT: PHILLIPS GARDCO SQUARE BOLLARD 18"100"; METAL HALIDE, ON CONCRETE FOOTINGS. FINISH AS SELECTED BY OWNER. MOUNT PER MFG. RECOMMENDATIONS.
 - ☀ BUILDING LIGHT TO REMAIN OR BY OTHERS
 - ☀ INTERIOR SWITCH: NEW INTERIOR SINGLE POLE DIMMER SWITCH
 - ⌚ TIMER: INTERMATIC ELECTROMECHANICAL IN-WALL TIMER, OR APPROVED EQUIVALENT.
-
- ☐ TRANSFORMER NUMBER
 - ZONE MATTAGE
 - EXISTING TREE
 - ☐ PROPOSED TREE

LIGHTING NOTES

- SWITCHING AND SWITCHING CONTROLS SHALL BE COORDINATED WITH BUILDING CONTROLS AND LIGHTING.
- SWITCHING SHALL BE ON TIMERS/PHOTOCELLS TO SATISFY TITLE 24 REQUIREMENTS.
- NO LOW-VOLTAGE WIRE RUN SHALL EXCEED 120 FT. AND/OR 100 WATTS. PROVIDE BETWEEN 110 & 115 VOLTS AT EACH FIXTURE.
- WATERPROOF JUNCTION BOXES SHALL BE UTILIZED (WHENEVER REQUIRED TO CONNECT TO EXISTING STUB BY OTHERS OR TO EXTEND CIRCUIT. CONTRACTOR SHALL USE BELL STYLE BOXES ON SIDE OF BUILDING WHERE OCCURS; ALL JUNCTION BOXES SHALL BE PAINTED TO MATCH ADJACENT SURFACE.
- PRECISE LOCATIONS FOR ALL FIXTURES SHALL BE FIELD STAKED, MARKED, AND VERIFIED WITH LANDSCAPE ARCHITECT PRIOR TO WIRING AND INSTALLATION. ADJUSTABLE FIXTURES SHALL BE DIRECTED IN THE FIELD BY LANDSCAPE ARCHITECT.
- ALL LOW VOLTAGE CIRCUITS SHALL BE WIRED TO UTILIZE THE APPROPRIATE TRANSFORMER LOADS AND SHALL NOT EXCEED 80% OF RATED MAXIMUM LOAD. ALL CIRCUITS SHALL BE WIRED TO MINIMIZE VOLTAGE DROP AT THE END OF THE LINE.
- ALL TRANSFORMERS SHALL BE HARD WIRED. TRANSFORMERS ADJACENT TO BUILDING OR SITE WALLS SHALL BE MOUNTED TO WALL 12" ABOVE GRADE. ALL TRANSFORMERS LOCATED IN PLANTING AREAS SHALL BE MOUNTED 4" ABOVE GRADE ON A CON CRT RAD 4x4 POST PAINTED DARK BROWN AND SET IN A 1'0" x 12" DEEP CONCRETE FOOTING.
- ALL WORK SHALL CONFORM TO LOCAL ELECTRICAL CODES.
- NO TRENCHES FOR ANY PURPOSE SHALL BE DUG WITHIN 15' OF EXISTING TREE TRUNKS. TRENCHES BEYOND 15' AND WITHIN DRIP LINES OF EXISTING VEGETATION & TREES TO REMAIN SHALL BE HAND DUG. NO ROOTS GREATER THAN 1"Ø SHALL BE CUT. ALL ROOTS BETWEEN 1/2" & 1"Ø SHALL BE CLEANLY CUT AND DRESSED.
- ALL FX LUMINAIRE FIXTURES AND TRANSFORMERS HAVE A 10 YEAR WARRANTY AS A COMPLETE SYSTEM. FX LUMINAIRE AVAILABLE FROM EXING IRRIGATION. ALL FIXTURES SHALL BE UL 1838 APPROVED.
- ON SITE TECHNICAL SERVICES PROVIDED BY FX LUMINAIRE. CONTACT FX TECHNICAL SERVICES @ 800-888-1284. SAMPLE FIXTURES AND DEMONSTRATION AVAILABLE.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



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LANDSCAPE
RENOVATIONS

PARC AT PRUNEYARD

215 UNION AVE.
CAMPBELL, CA

KEY MAP



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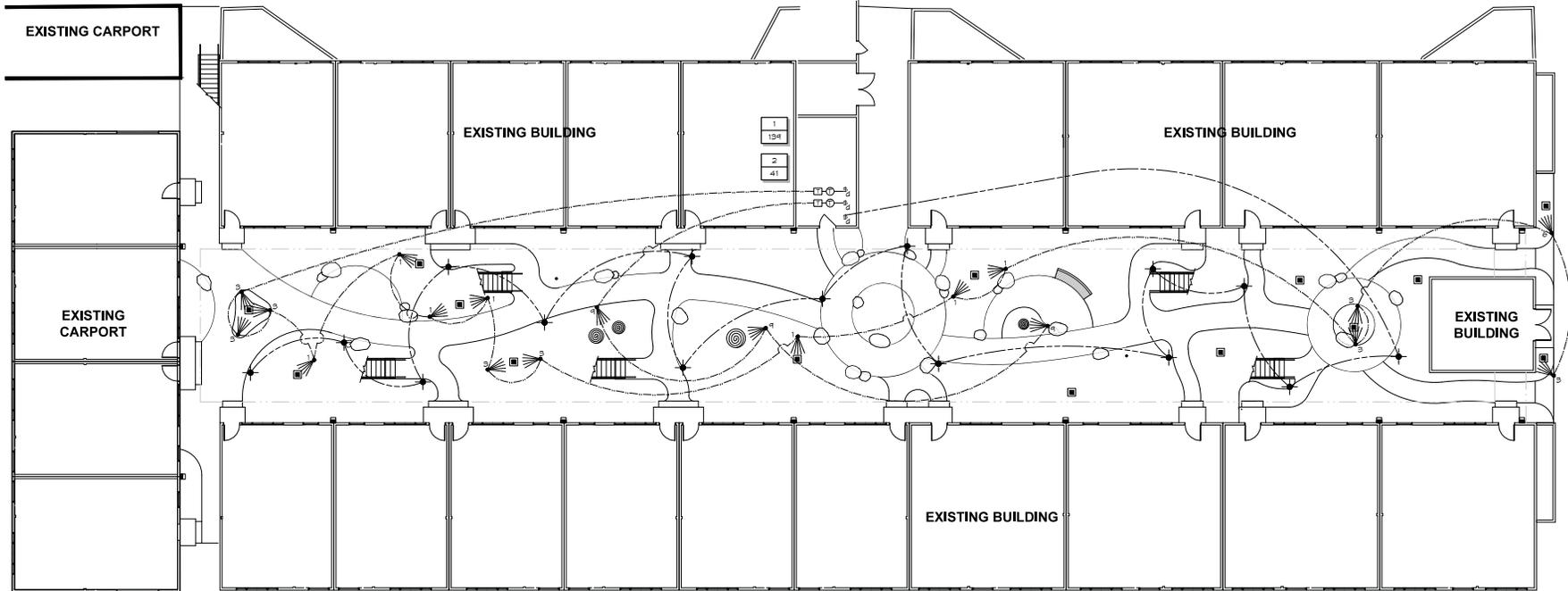
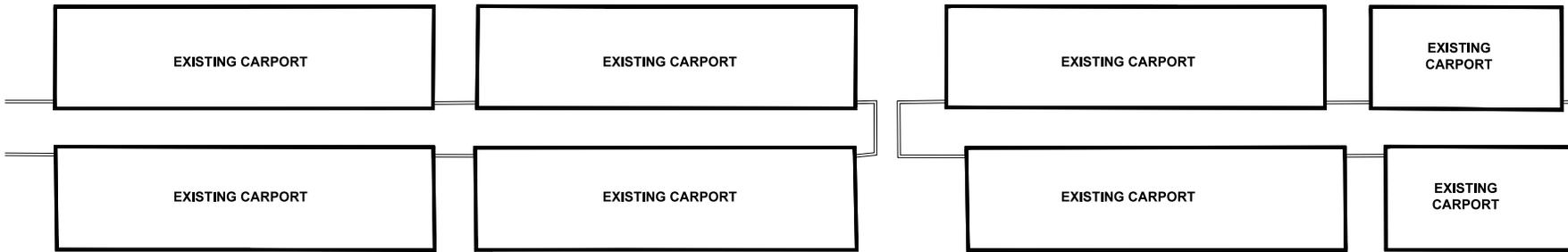


LIGHTING PLAN

Sheet No.

L4.3

Of



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SEE SHEET L4.3 FOR NOTES AND LEGEND



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215 UNION AVE.
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LIGHTING PLAN

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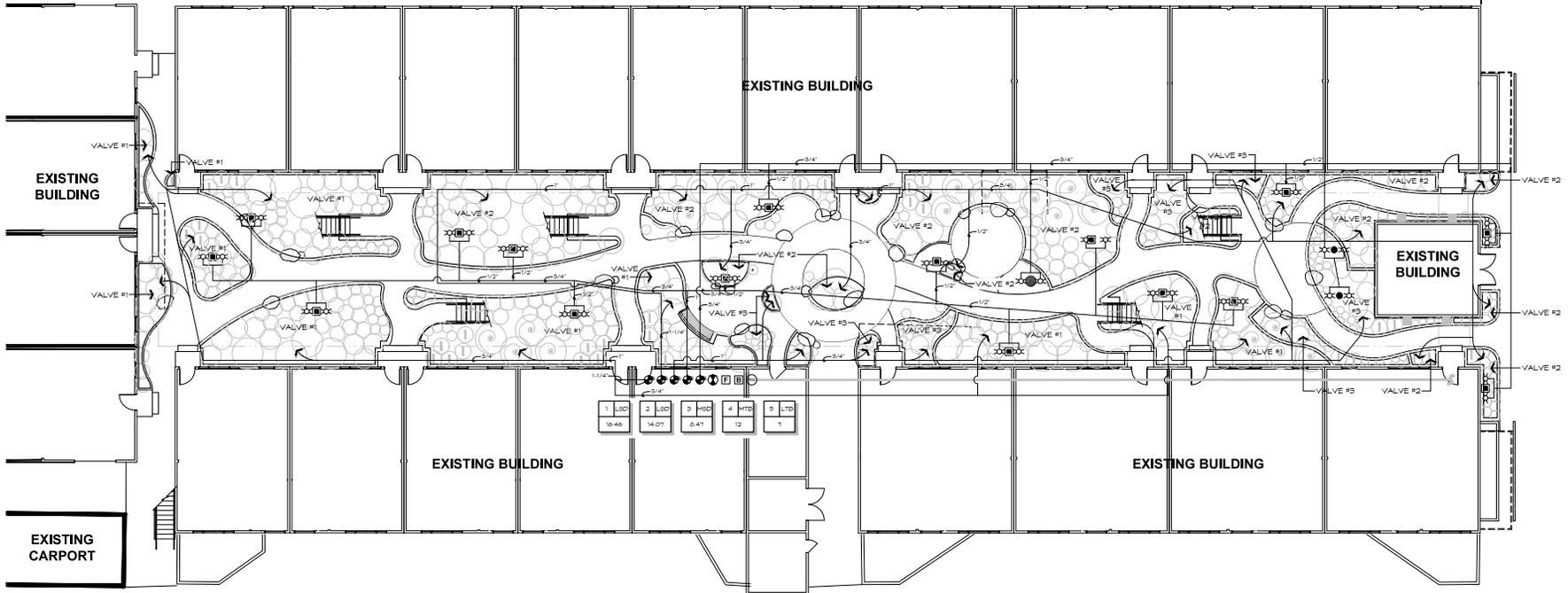
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LANDSCAPE
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**PARC AT
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CAMPBELL, CA



SEE SHEET ATTACHMENT FOR WELO WORKSHEET

KEY MAP



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IRRIGATION PLAN

Sheet No.

L5.3

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IRRIGATION LEGEND

- EXISTING MAINLINE, APPROXIMATE LOCATION SHOWN.
- LATERAL LINE, PVC GLASS 200, SIZE AS SHOWN PER PLAN, 12" MINIMUM SERIAL INCHES, OTHERWISE NOTED.
- ⊙ POINT OF CONNECTION, LOCATE IN VALVE BOX AV SHUT OFF VALVE.
- ⊞ BACKFLOW PREVENTER, EXISTING TO REMAIN.
- ⊞ FILTER, RAINBOW QUICK-CHECK BASKET FILTER (QCKH-100 1" BASKET FILTER AV 100 MESH SCREEN).
- ⊞ BALL VALVE, 8CH, 80 P.V.C. BALL VALVE AS MANUFACTURED BY KING BROTHERS INDUSTRIES (OR EQ.), SIZE PER LINE, LOCATE IN VALVE BOX.
- ⊞ SOLENOID VALVE, IRRITROL SYSTEMS 100 SERIES VALVE, 1 1/2", INSTALL EMITTERS OVER 100" PRESSURE REGULATION MODULE, INITIAL PRESSURE SETTING 95 PSI, LOCATE IN VALVE BOX.
- ⊞ SELECT AND / TREE BUBBLERS, TORO 5702 1/2" POP-UP BODIES AV TORO 15B-4-160-PC2-FB-50-PO (STREAM/FLOOD) BUBBLER NOZZLES.
- ⊞ VALVE + INDICATES LIMITS OF DRIP IRRIGATION AND RESPECTIVE VALVE.
- ⊞ INDICATES POLYETHYLENE DRIP TUBE TRANSITION FROM PVC TO POLY AS NOTED. POLY LINE SHALL BE 3/4" O.D. TRUNK LINE AV EMITTERS PLUGGED DIRECTLY INTO 3/4" O.D. TUBING. USE NO 1/2" TUBING. TUBING SHALL BE STAKED 8" x 1/2" O.D. MARK TO BRACKLE LOCATED PER TORO MFG. DRIP EMITTERS SHALL BE TORO NSE 2 5PM+ PRESSURE COMPENSATING EMITTERS MODEL DR5020-000-32 3 EMITTERS PER PLANT.
- ⊞ STATION VALVE NUMBER - LETTER INDICATES CONTROLLER.
- ⊞ STATION TYPE:
 - ⊞ LON SHUBS DRIP
 - ⊞ MID MEDIUM SHUBS DRIP
 - ⊞ LTB LON TREE BUBBLER
 - ⊞ MTB MEDIUM TREE BUBBLER
- ⊞ STATION GPM

IRRIGATION NOTES

- THIS SYSTEM IS BASED ON AN ESTIMATED AVAILABLE 30 GPM @ 65 PSI. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- ALL WORK SHALL CONFORM TO LOCAL PLUMBING & ELECTRICAL CODES.
- CONTRACTOR SHALL LOCATE ALL NEW LATERALS, MAINS & VALVES IN PLANTING AREAS WHEREVER POSSIBLE. WATER LINES SHOWN BENEATH PAVINGS AND DRIVEWAYS FOR GRAPHIC CLARITY ONLY. PLACE NO ELLS OR TEES BENEATH PAVINGS. ALL PIPING BENEATH PAVINGS SHALL BE LOCATED WITHIN PVC 8CH 40 SLEEVEING - SEE LIGHTING PLANS FOR LOCATIONS.
- CONTRACTOR SHALL INSTALL FILTER AND REGULATOR AND THOROUGHLY FLUSH ALL DRIP IRRIGATION LINES PRIOR TO INSTALLING FLUSH VALVE.
- CONTRACTOR SHALL REPAIR ANY EXISTING IRRIGATION SYSTEMS DAMAGED DURING CONSTRUCTION, REGARDLESS OF LOCATION ON SITE. CONTRACTOR SHALL TEST & VERIFY OPERATION OF EXISTING SYSTEM & NOTIFY THE LANDSCAPE ARCHITECT OF ANY CURRENT DISCREPANCIES. NEW AND EXISTING IRRIGATION SYSTEMS SHALL BE FULLY OPERATIONAL UPON COMPLETION OF PROJECT.
- NO TRENCHES FOR ANY PURPOSE SHALL BE DIGG WITHIN 10 FEET OF EXISTING TREE TRUNKS. TRENCHES WITHIN DRIP LINES OF EXISTING VEGETATION AND TREES TO REMAIN SHALL BE HAND DIGG. NO ROOTS GREATER THAN 1" SHALL BE CUT. ALL CUT ROOTS BETWEEN 1/2" AND 1" SHALL BE CLEANLY CUT AND DRESSED.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

NOTES TO BIDDERS

- THESE IRRIGATION DRAWINGS ARE SCHEDULED HERE DEVELOPED FOR PERMIT PURPOSES. THEY PROVIDE ONLY A GENERAL GUIDELINE FOR INSTALLATION.
- CONTRACTOR SHALL RETROFIT THE EXISTING IRRIGATION SYSTEM AS NECESSARY AND AS DIRECTED BY OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE EXISTING METER(S) AND BACKFLOW PREVENTION DEVICE(S) ARE DEDICATED SOLELY FOR IRRIGATION PURPOSES.
- METER SIZE, AVAILABLE FLOW AND PRESSURE, AND MAINLINE SIZE SHALL BE VERIFIED AS ADEQUATE PRIOR TO BIDDING.
- CONTRACTOR SHALL CALCULATE DEMAND FOR EACH STATION AND COMPARE WITH AVAILABLE FLOW AND PRESSURE TO PROVIDE A FULLY OPERATIONAL SYSTEM.



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LANDSCAPE
RENOVATIONS

PARC AT PRUNEYARD

215 UNION AVE.
CAMPBELL, CA

KEY MAP



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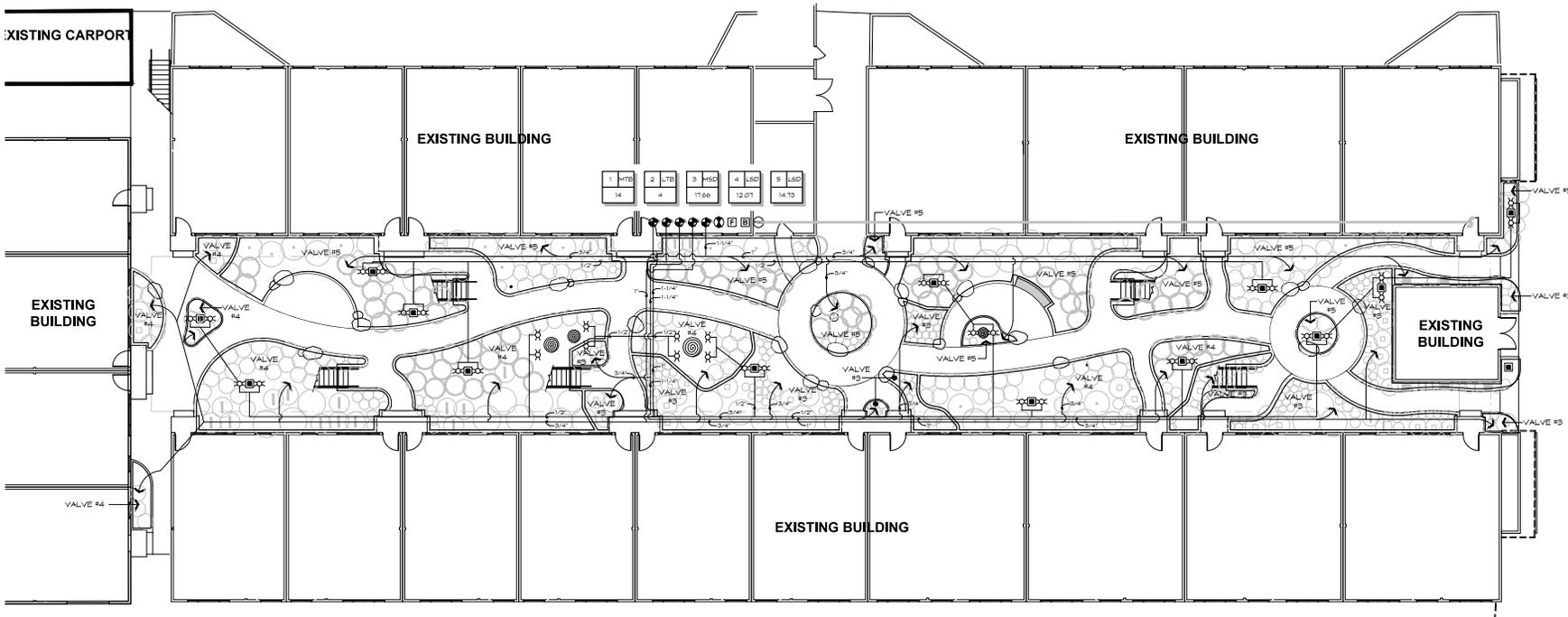
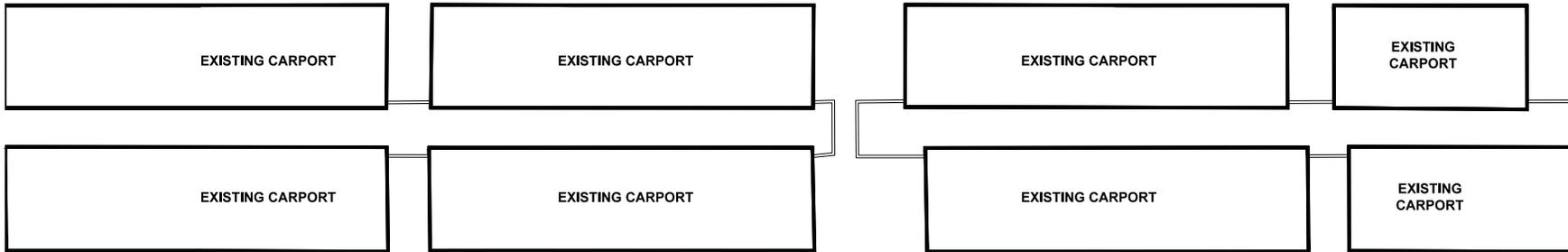


IRRIGATION PLAN

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L5.4

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SEE SHEET L5.3 FOR NOTES AND LEGEND
SEE SHEET ATTACHMENT FOR WELO WORKSHEET

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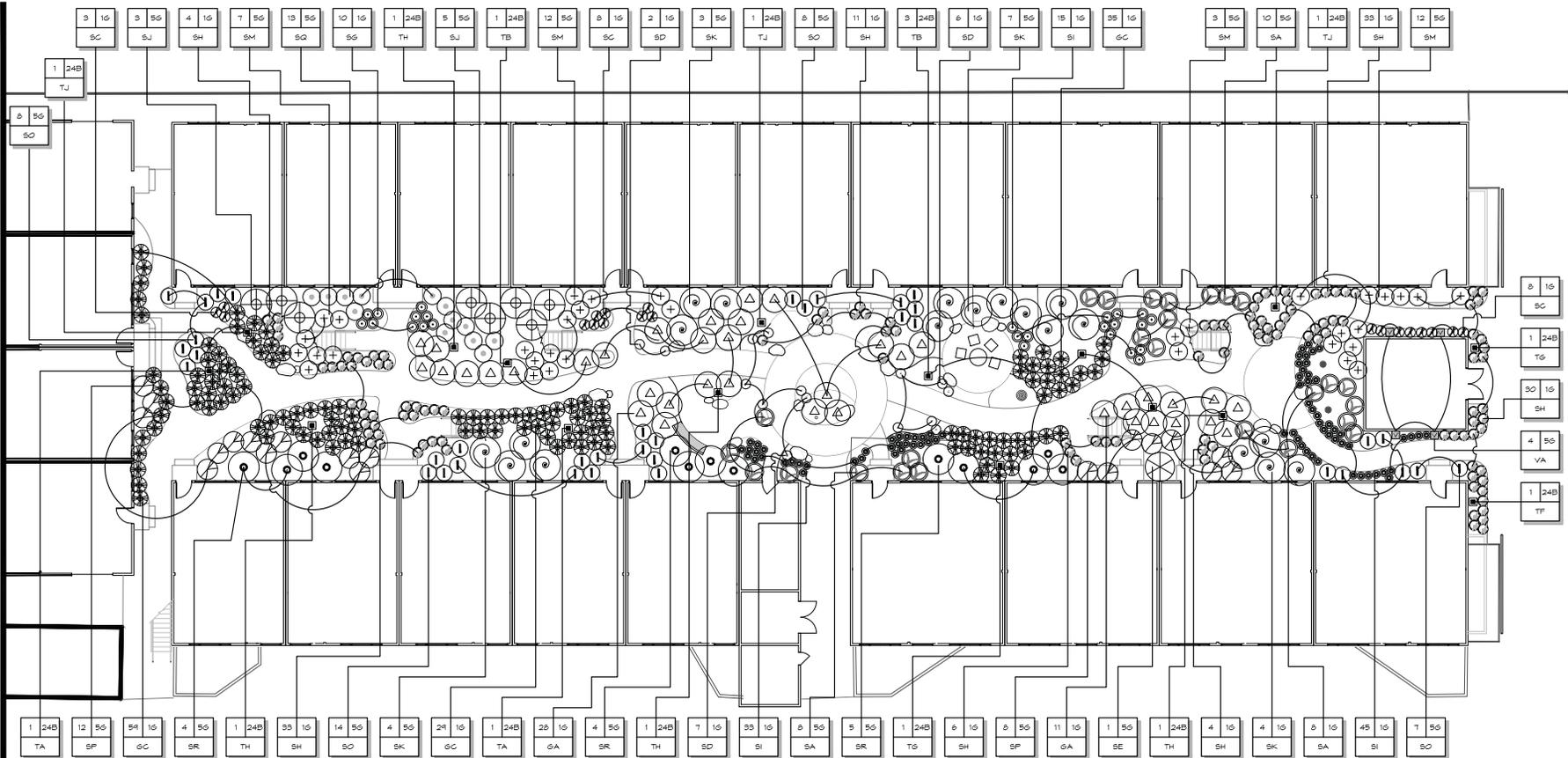


LANDSCAPE
RENOVATIONS

**PARC AT
PRUNERYARD**

215 UNION AVE.
CAMPBELL, CA

KEY MAP



PLANTING NOTES

- ALL TREES SHALL BE TRIPLE-STAKED PER L6.5
- ALL SHRUBS SHALL BE PLANTED PER L6.5
- ALL GROUNDCOVER SHALL BE PLANTED PER L6.5
- PLANT QUANTITIES IN THE ABOVE KEY ARE FOR REFERENCE ONLY. GRAPHIC SYMBOLS ON PLAN(S) SUPERCEDES ABOVE LISTED QUANTITIES OR QUANTITIES SHOWN IN THE PLANT ID TAG.
- FINAL PLANT LOCATIONS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT EXCAVATION.
- WHEN PLANTING IN ESTABLISHED PLANTING AREAS, CONTRACTOR SHALL TAKE UTMOST CARE AS TO NOT DAMAGE ANY EXISTING PLANTS OR TREES.
- ALL PLANTING AREAS SHALL RECEIVE A 2" LAYER OF ORGANIC AMENDMENTS INCORPORATED INTO THE TOP 6" OF SOIL. NO TILLING SHALL OCCUR BENEATH EXISTING TREES OR SHRUBS. AREAS BENEATH EXISTING TREES AND SHRUBS SHALL RECEIVE TOP DRESSING. AREAS BENEATH EXISTING TREES SHALL HAVE PLANT PITS INDIVIDUALLY AMENDED.
- ALL GROUND COVERS PLANTED FROM 1 GALLON CANS SHALL BE INSTALLED MIN 36" CLEAR FROM ADJACENT PAVING OR TURF AREAS.
- "ADDITIONAL PLANTS" ARE TO BE FIELD LOCATED AS DIRECTED BY LANDSCAPE ARCHITECT. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE FOR FIELD REVIEW. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING "ADDITIONAL PLANTS" FOR INSTALLATION AS INFILL PER FIELD DIRECTION BY THE LANDSCAPE ARCHITECT:
(X) - 1 GAL - XXXXXXXXX
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

PLANTING LEGEND

- EXISTING TREE TO REMAIN
- NEA 24" BOX TREE
- QUANTITY OF PLANTS IN MASS
- SIZE OF NURSERY CAN
- SYMBOL PER PLANT KEY

PLANT KEY & QUANTITIES

TREES						
BOTANICAL NAME (Common Name)	LETTER & GRAPHIC SYMBOL	SIZE	QTY.	MUCOLS ID	COMMENTS	
ACER PALMATUM var. ATROPURPUREUM 'BLOODGOOD' (Bloodgood Japanese Maple)	TA	24B	2	MED		
ACER PALMATUM DISSECTUM 'VIRIDIS' (Virella Laceleaf Japanese Maple)	TB	24B	4	MED		
ACER PALMATUM var. DISSECTUM 'GARNET' (Japanese Maple)	TC	24B	3	MED		
ACER JAPONICA 'SANGO KAKU' (Coral Bark Japanese Maple)	TD	24B	3	MED		
CEDRUS ATLANTICA 'GLAUCO PENDULA' (Weeping Blue Atlas Cedar)	TE	24B	2	MED		
CHAMAECYPARIS CESTRUA 'WELLS SPECIAL' (Hinoki Cypress)	TF	24B	2	MED		
CRYPTOMERIA JAPONICA 'BLACK DRAGON' (Black Dragon Japanese Cedar)	TG	24B	4	MED		
GINKGO BILOBA (Maidenhair Tree)	TH	24B	4	MED		
PINUS MUGO (Creeping Pine)	TI	24B	2	LOW		
PINUS MUGO VAR. PUMILO (Dwarf Mugo Pine)	TJ	24B	3	LOW		
VINES						
BOTANICAL NAME (Common Name)	LETTER & GRAPHIC SYMBOL	SIZE	QTY.	MUCOLS ID	COMMENTS	
FIGUS PUMILA (Creeping Fig)	VA	5G	10	MED		

SEE SHEET L6.4 FOR ADDITIONAL PLANT KEY & QUANTITIES

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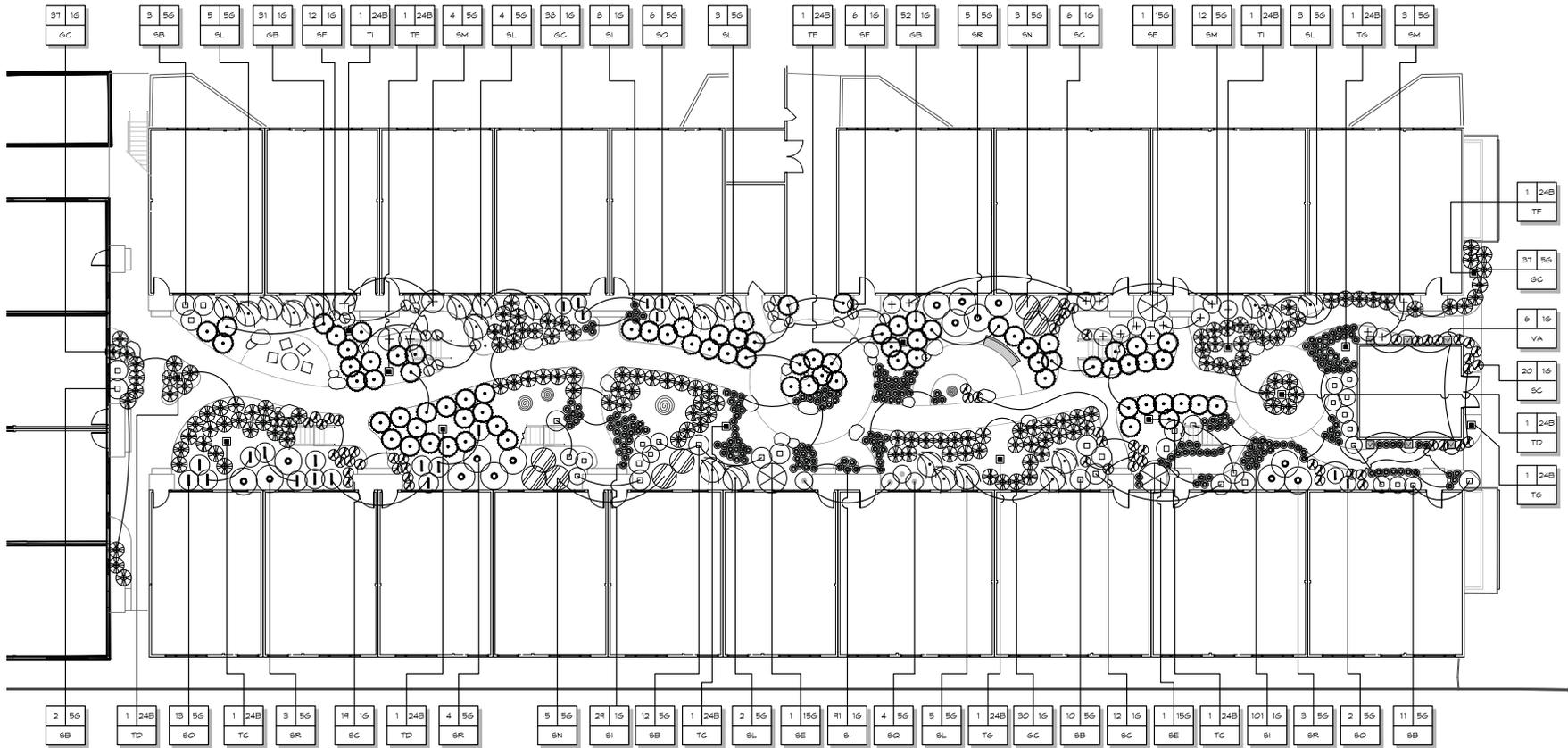
PLANTING PLAN

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L6.3

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LANDSCAPE
RENOVATIONS

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KEY MAP



PLANT KEY & QUANTITIES (CONT.)

SHRUBS						SHRUBS					
BOTANICAL NAME (Common Name)	LETTER & GRAPHIC SYMBOL	SIZE	QTY.	MUCOLS ID	COMMENTS	BOTANICAL NAME (Common Name)	LETTER & GRAPHIC SYMBOL	SIZE	QTY.	MUCOLS ID	COMMENTS
AZALEA HAPPY DAYS (Happy Day Azalea)	SA (⊙)	5G	26	MED		NANDINA DOMESTICA FIRE POWER (Fire Power Heavenly Bamboo)	SM (+)	5G	59	LOW	
AZALEA HINO CRIMSON (Hino Crimson Azalea)	SB (⊙)	5G	46	MED		PERIS JAPONICA FLAMING SILVER (Flaming Silver Andromeda)	SN (⊙)	5G	8	MED	
CAREX DIVULSA (Berkeley Sedge)	SC (⊙)	1G	77	LOW		PITOSPORUM CREME DE MINT (Dwarf Variegated Japanese Mock Orange)	SO (⊙)	5G	56	LOW	
BJONTHUS JAPONICUS MICROPHYLLUS VARIEGATUS (Variegated Boxleaf Euonymus)	SD (⊙)	1G	14	LOW		PITOSPORUM TENIFOLIUM GOLF BALL (Golf Ball Kohuhu)	SP (⊙)	5G	20	LOW	
FATSIA JAPONICA (Paperplant)	SE (⊙)	15G	4	MED		PITOSPORUM TOBIRA WHEELER'S DWARF (Dwarf Japanese Mock Orange)	SG (⊙)	5G	17	LOW	
HEMEROCALLIS CRANBERRY BABY (Dwarf Daylily)	SF (⊙)	1G	18	MED		SARGOCOGGA RUSCIFOLIA (Fragrant Sweet Box)	SR (⊙)	5G	28	LOW	
HEMEROCALLIS X LITTLE BUSINESS (Little Business Dwarf Daylily)	SG (⊙)	1G	10	MED		GROUND COVER					
IRIS DOUGLASSIANA PURPLE (Douglas Iris)	SH (⊙)	1G	121	LOW		BOTANICAL NAME (Common Name)	LETTER & GRAPHIC SYMBOL	SIZE	QTY.	MUCOLS ID	COMMENTS
LIRIOPE MUSCARI ROYAL PURPLE (Royal Purple Lilyturf)	SI (⊙)	1G	321	MED		JUNIPERUS HORIZONTALIS YOUNGSTOWN (Youngstown Andorra Juniper)	SA (⊙)	1G	91	LOW	
LONGICERA NITIDA BAGGESEN'S GOLD (Golden Boxleaf Honeysuckle)	SJ (⊙)	5G	8	LOW		JUNIPERUS PROCEMBENS NANA (Dwarf Japanese Garden Juniper)	SB (⊙)	1G	83	LOW	
LOROPETALUM CHINENSE PLUM DELIGHT (Chinese Fringeflower)	SK (⊙)	5G	18	LOW		MAHONIA REPENS (Creeping Mahonia)	GC (⊙)	1G	255	LOW	
LOROPETALUM CHINENSE BUSH (Red Fringe Flower)	SL (⊙)	5G	22	LOW							

SEE SHEET L6.3 FOR NOTES, LEGEND, AND ADDITIONAL PLANT KEY & QUANTITIES

Revisions:
Date: 6/10/16 PERMIT SET
Scale: 1" = 10'-0"
Drawn By: NR, AL

PLANTING PLAN

Sheet No.

L6.4

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