



CITY OF CAMPBELL
Community Development Department

September 16, 2016

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **September 27, 2016**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Aaron Winklebleck for a Site and Architectural Review Permit (PLN2016-219) to allow a 629-square-foot addition to an existing 1,265-square-foot, single-story, single-family residence on property located at **1045 Normandy Drive**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

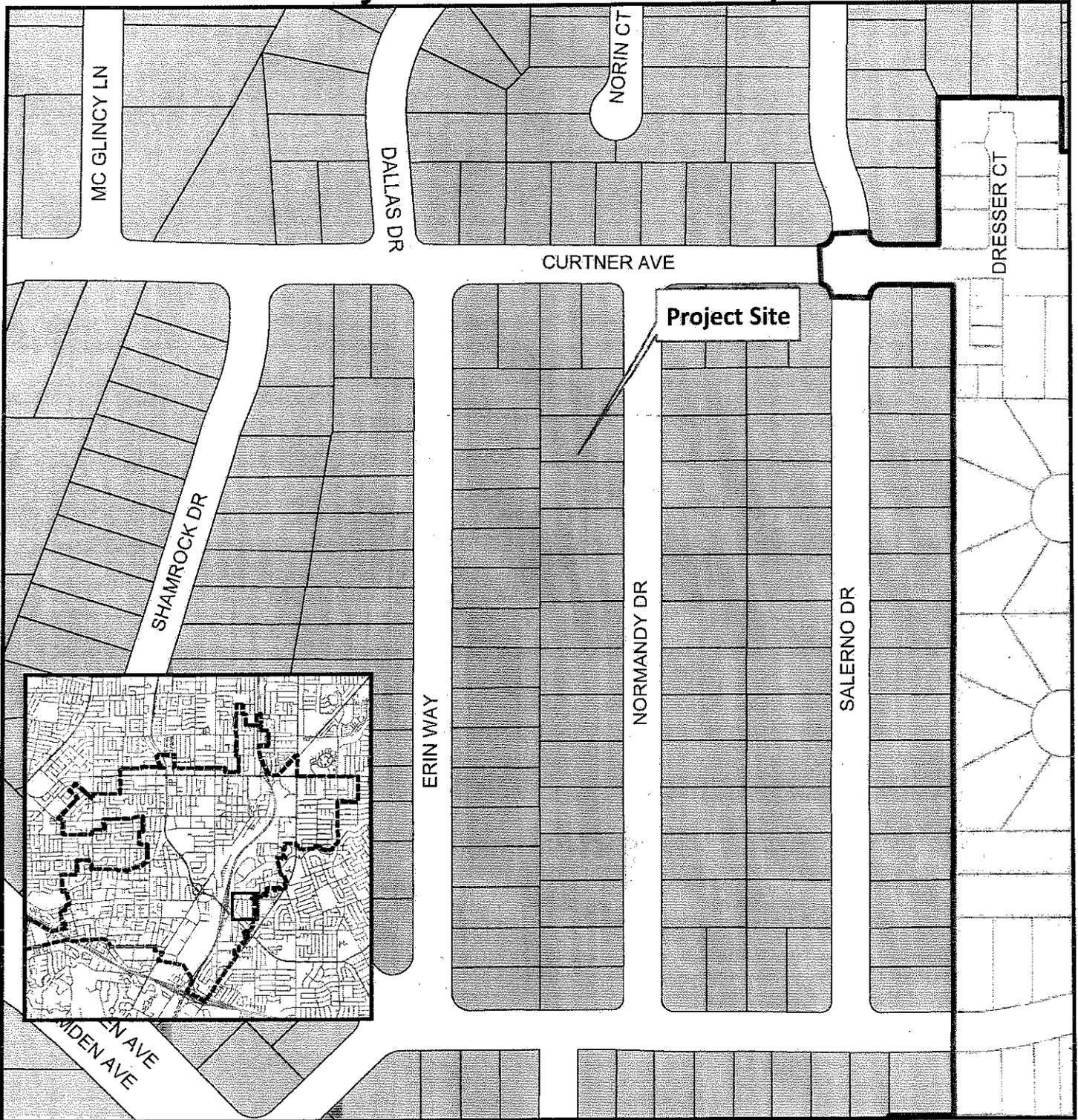
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

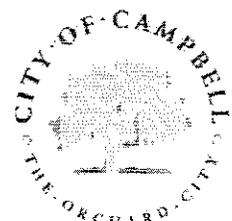
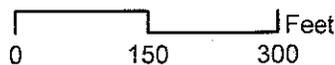
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1045 Normandy Drive**

Project Location Map



Project Location: 1045 Normandy
Application Type: Site and Architectural Review
Planning File No.: PLN2016-219
Description: 629 square foot addition to existing residence for a total floor area of 1,894 square feet



Community Development Department
Planning Division

REMODEL TO: THE JOHANSEN RESIDENCE

1045 NORMANDY DRIVE
CAMPBELL, CALIFORNIA 95008

ORCHARD HOME DESIGN

SHEET
A1
OF 6 SHEETS

REMODEL TO:
THE JOHANSEN RESIDENCE
1045 NORMANDY DRIVE
CAMPBELL, CALIFORNIA 95008
(408) 464-5741

REMODELING DESIGN
PROFESSIONALS, INC.

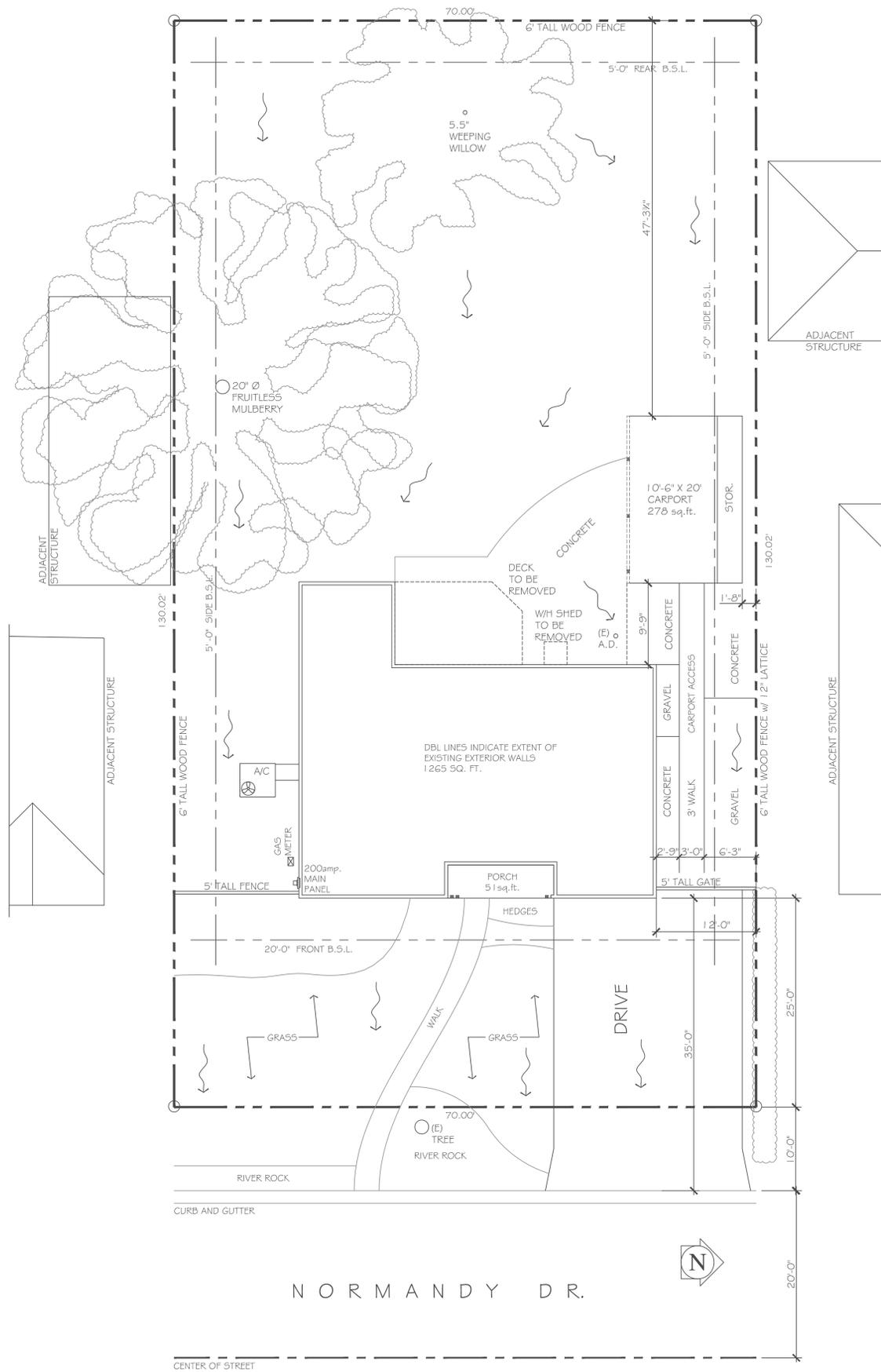
ANOTHER SUCCESSFUL PROJECT BY:
ORCHARD HOME DESIGN
WWW.ORCHARDHD.COM (408) 370-3366
80 GILMAN AVE. #29 CAMPBELL, CALIFORNIA 95008

JOB NAME	JOHANSEN
JOB NO.	160502
DATE	05/17/16
DRAWN	DW AW
REVISION DATE	BY



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PRINTS FOR PLANNING REVIEW - 08/19/16

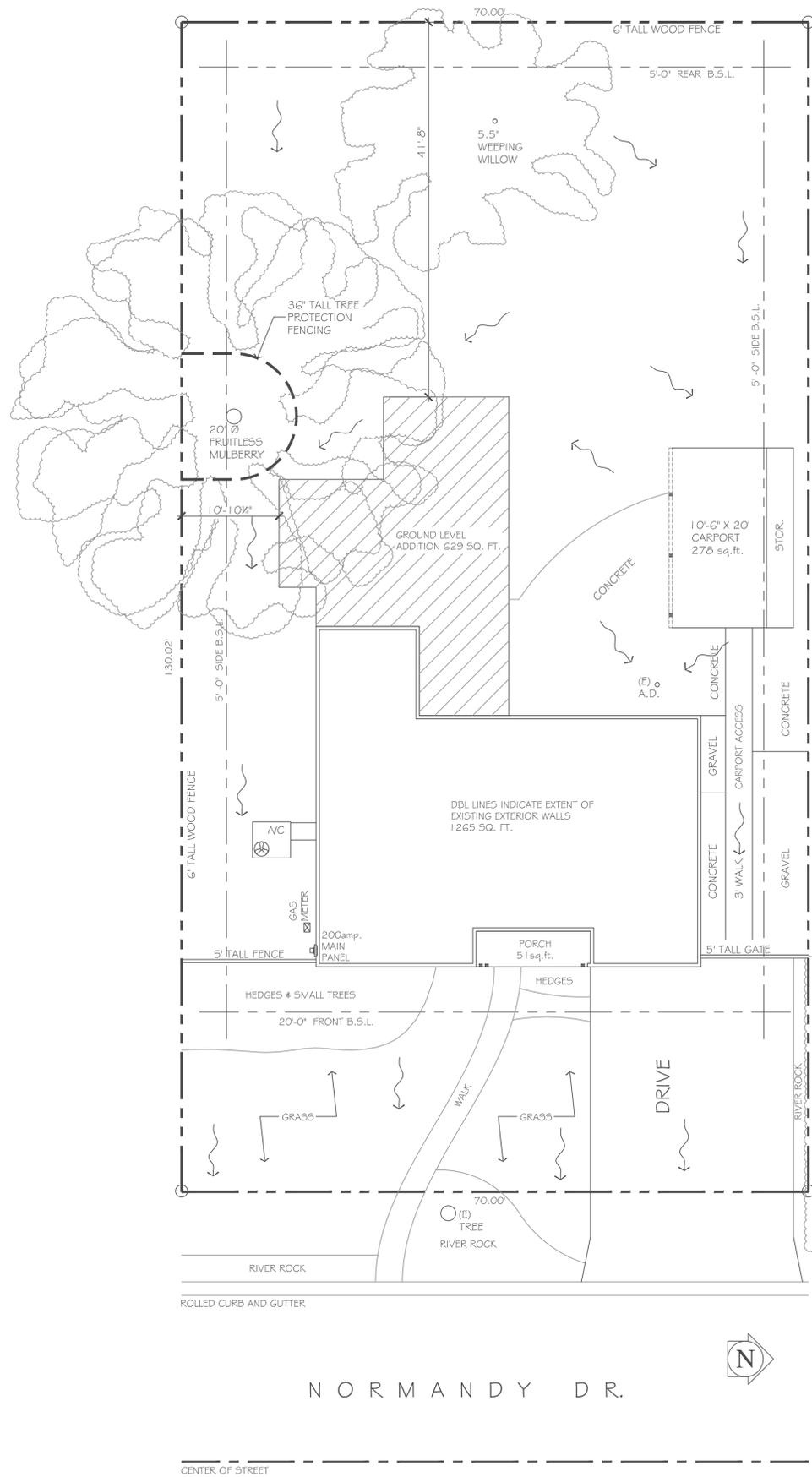


EXISTING SITE PLAN

1/8" = 1'-0"

A.P.N. #414-02-005

LOT AREA = 9101 sq. ft.
ZONING = R-1-5



PROPOSED SITE PLAN

1/8" = 1'-0"



VICINITY MAP N.T.S.

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ANOTHER SUCCESSFUL PROJECT BY:

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(E) SITE PLAN
(P) SITE PLAN

REMODEL TO:
THE JOHANSEN RESIDENCE
1045 NORMANDY DRIVE
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(408) 464-5741

DATA TABLE	
EXISTING FLOOR AREA	1265 SQ.FT.
GROSS LOT AREA	11,201 SQ.FT.
NET LOT AREA	9101 SQ.FT.
EXISTING FAR	.14
PROPOSED FLOOR AREA	1894 SQ.FT.
NET LOT AREA	9101 SQ.FT.
PROPOSED FAR	.21
EXISTING LOT COVERAGE	
HOUSE	1265 SQ.FT.
FRONT PORCH	51 SQ.FT.
CARPOR	278 SQ.FT.
TOTAL	(17%) 1594 SQ.FT.
PROPOSED LOT COVERAGE	
	(24%) 2223 SQ.FT.
FRONT YARD INSIDE SETBACK	
AREA OF PAVING INSIDE SETBACK	1400 SQ.FT.
PERCENTAGE OF FRONT YARD PAVING	29%
BACK YARD OPEN SPACE (70' x 41'-8")	2917 SQ.FT.

PRINTS FOR PLANNING REVIEW - 08/19/16

SHEET INDEX	
SHEET #	DRAWING TITLE
A1	COVER SHEET
A2	EXISTING SITE PLAN PROPOSED SITE PLAN
A3	EXISTING FLOORPLAN
A4	PROPOSED FLOORPLAN GENERAL NOTES
A5	ROOF PLAN
A6	EXTERIOR ELEVATIONS CONSTRUCTION SECTION

SCOPE OF WORK

SINGLE STORY STUDY AND MASTER BEDROOM SUITE ADDITION TO SINGLE FAMILY RESIDENCE.

ALL NEW WINDOWS TO BE "MILGARD" DUAL GLAZED UNITS WITH VINYL FRAME OR EQUAL. ALL NEW WEST FACING WINDOWS SHALL BE LOW 'E'.

ALL NEW SQUARE SKYLIGHTS SHALL BE: FLAT, TEMPERED, DUAL GLAZE BRONZE ANODIZED ALUMINUM FRAME UNITS AS MANUFAC. BY "VELUX" (OR EQUAL). ALL NEW TUBE SKYLIGHTS SHALL BE 'TLR' MODEL "SUN TUNNEL" UNITS AS MANUFAC. BY "VELUX" (OR EQUAL). I.A.M.P.O. #ER-0019.

ALL NEW EXTERIOR TRIM AND FINISH TO MATCH EXISTING.

WALL LEGEND

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW WALLS / PROPOSED CONSTRUCTION

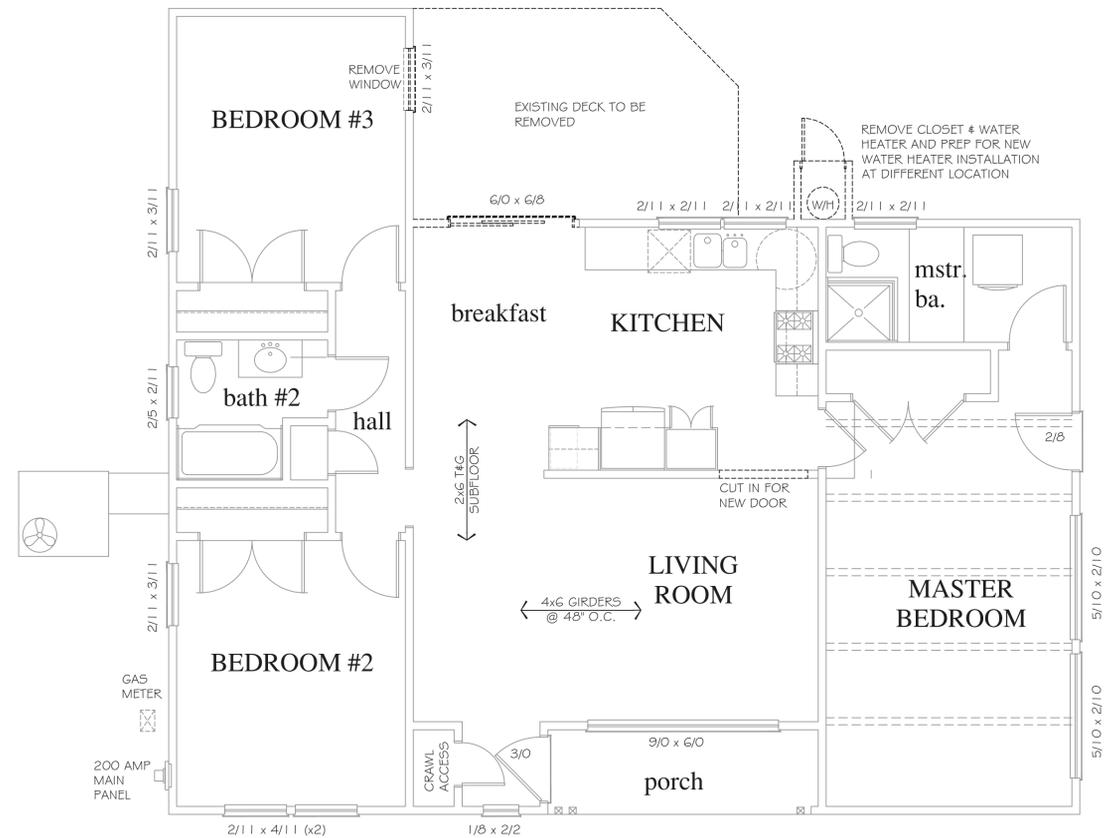
DEMOLITION NOTES:
DEMOLITION PLAN IS PROVIDED FOR REFERENCE ONLY. CONTRACTORS SHALL COORDINATE DEMOLITION CAREFULLY WITH FLOORPLAN AND OTHER SHEETS WHICH INDICATE THE EXTENT AND NATURE OF THE NEW CONSTRUCTION. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE DESIGNER. CONTRACTOR SHALL SECURELY SHORE IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO REMOVING ANY SUPPORTING STRUCTURES

TECHNICAL INFO

A.P.N. #	414-02-005
PROJECT ADDRESS	1045 NORMANDY DRIVE
OWNER	KEPLIN & KRISTEN JOHANSEN
EXISTING USE	SINGLE FAMILY RESIDENTIAL
ZONING DESIGNATION	R-1-B
GROSS LOT SIZE	11,201 SQ.FT.
NET LOT SIZE	9,101 SQ.FT.
CONSTRUCTION TYPE	V-B
BUILDING OCCUPANCY GROUP	R-3/U
APPLICABLE CODES	2013 CRC, 2013 CMC, 2013 CEC, 2013 CPC, & 2013 CALIFORNIA ENERGY CODE
EXISTING RESIDENCE AREA (HEATED)	1265
PROPOSED FIRST FLOOR ADDITIONS (HEATED)	629
PROPOSED SECOND FLOOR ADDITIONS (HEATED)	0
NEW TOTAL FLOOR AREA	1894
EXISTING GARAGE AREA	0
TOTAL (HEATER + UNHEATED)	1894



TREE



EXISTING FLOOR PLAN/ DEMOLITION PLAN 1/4" = 1'-0"



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EXISTING FLOOR PLAN/
DEMOLITION PLAN
SITE PLAN

REMODEL TO:
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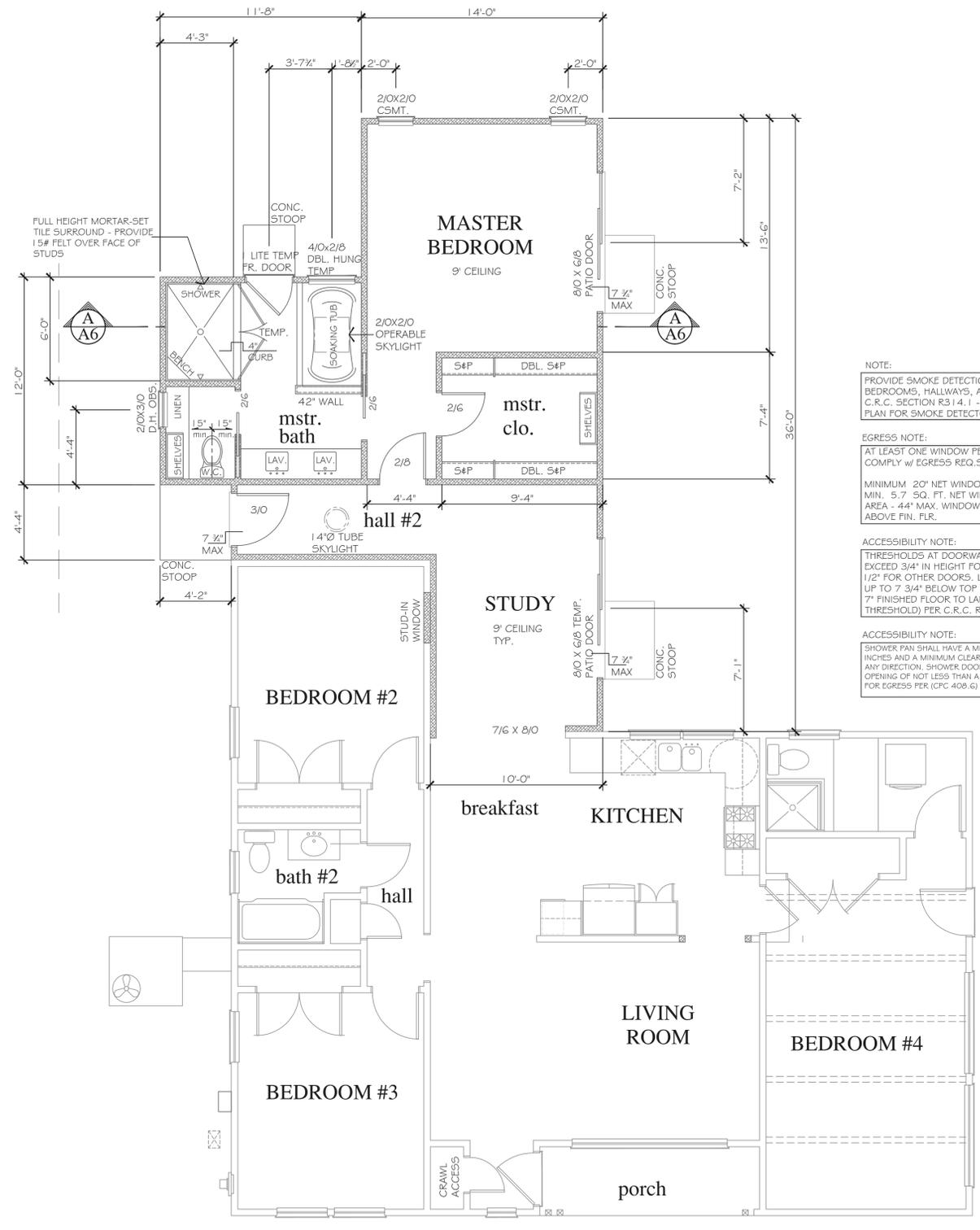
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PROPOSED FLOOR PLAN

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- NOTE:**
PROVIDE SMOKE DETECTION DEVICES AT ALL BEDROOMS, HALLWAYS, AND LANDINGS PER C.R.C. SECTION R314.1 - SEE ELECTRICAL PLAN FOR SMOKE DETECTOR LOCATION
- EGRESS NOTE:**
AT LEAST ONE WINDOW PER BEDROOM SHALL COMPLY w/ EGRESS REQ.S PER C.R.C. R311
MINIMUM 20" NET WINDOW OPENING WIDTH MIN. 5.7 SQ. FT. NET WINDOW OPENING AREA - 44" MAX. WINDOW CLEAR OPENING HT. ABOVE FIN. FLR.
- ACCESSIBILITY NOTE:**
THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS & 1/2" FOR OTHER DOORS. LANDINGS MAY BE UP TO 7 3/4" BELOW TOP OF THRESHOLDS (IE 7" FINISHED FLOOR TO LANDING HEIGHT w/ 3/4" THRESHOLD) PER C.R.C. R311.3.1.
- ACCESSIBILITY NOTE:**
SHOWER PAN SHALL HAVE A MIN. AREA OF 1024 SQ. INCHES AND A MINIMUM CLEAR DIMENSION OF 30" IN ANY DIRECTION. SHOWER DOORS SHALL MAINTAIN AN OPENING OF NOT LESS THAN A 22" UNOBSTRUCTED FOR EGRESS PER (CPC 406.6)

PROPOSED FLOOR PLAN 1/4" = 1'-0"

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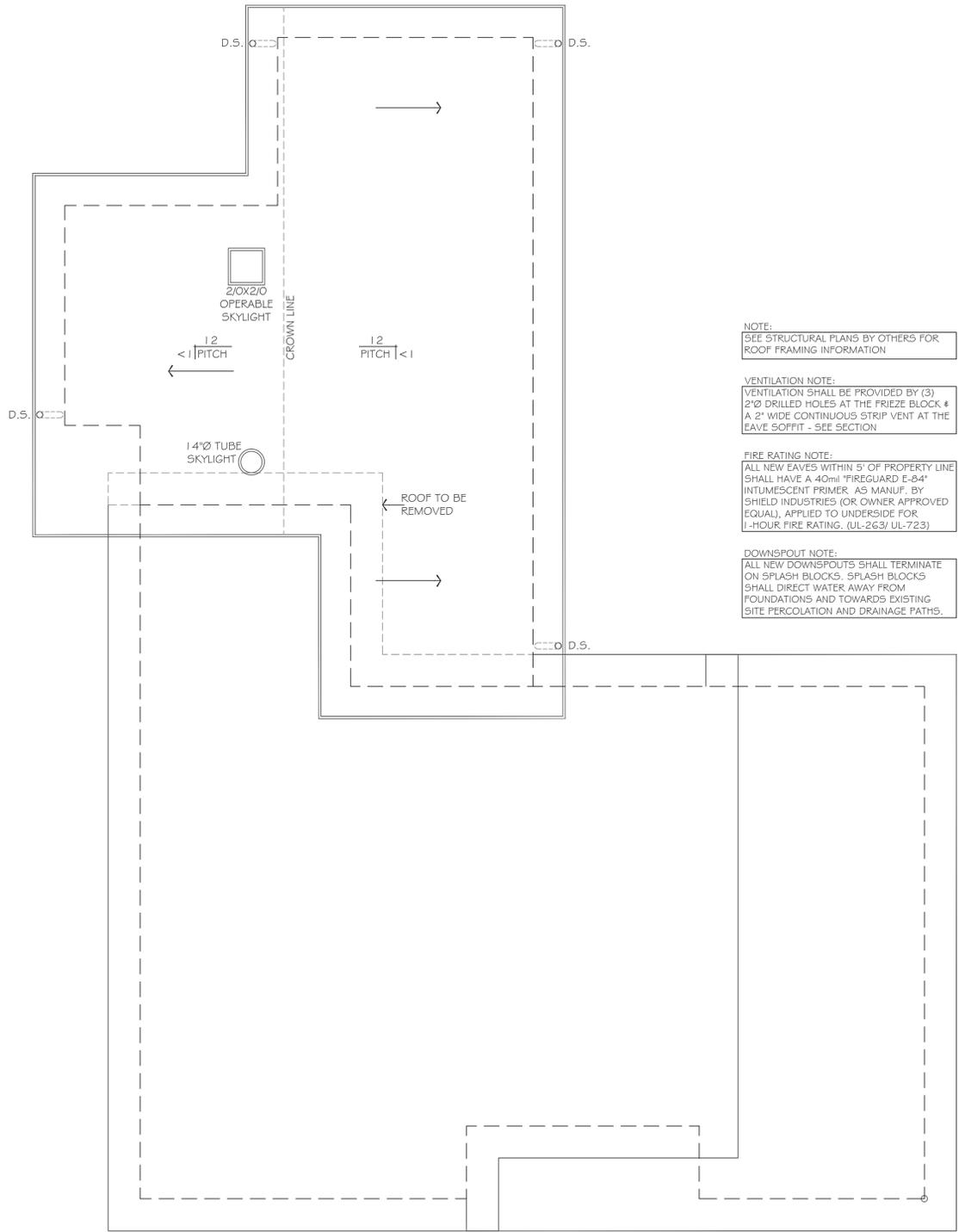
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ROOF PLAN

REMODEL TO:

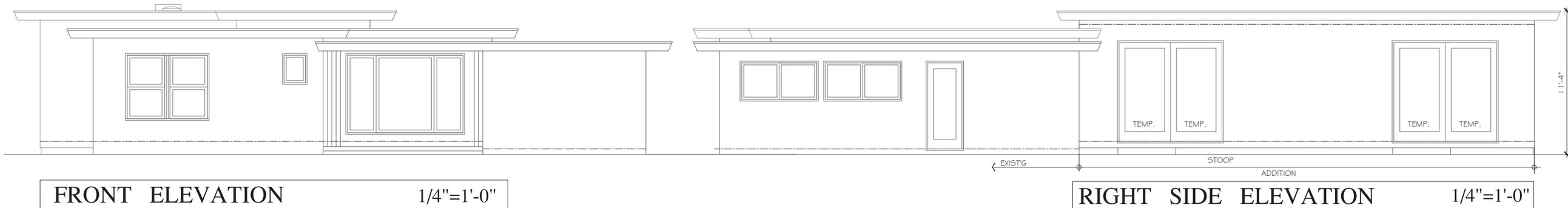
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SKYLIGHT NOTE:
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TEMPERED, DUAL-GLAZE BRONZE ANODIZED
ALUMINUM FRAME UNITS AS MANUFAC. BY
"VELUX" (OR EQUAL) I.A.M.F.O. #ER-0019.
(HTTP://WWW.VELUXUSA.COM)

ROOFING NOTE:
ENTIRE HOUSE TO BE
RE-ROOFED w/ TORCH DOWN
MEMBRANE CAP SHEET

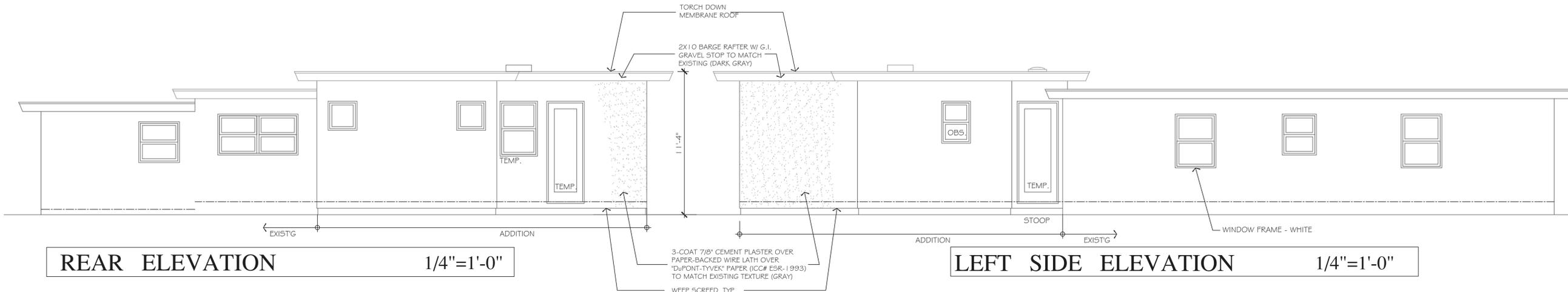


FRONT ELEVATION

1/4"=1'-0"

RIGHT SIDE ELEVATION

1/4"=1'-0"

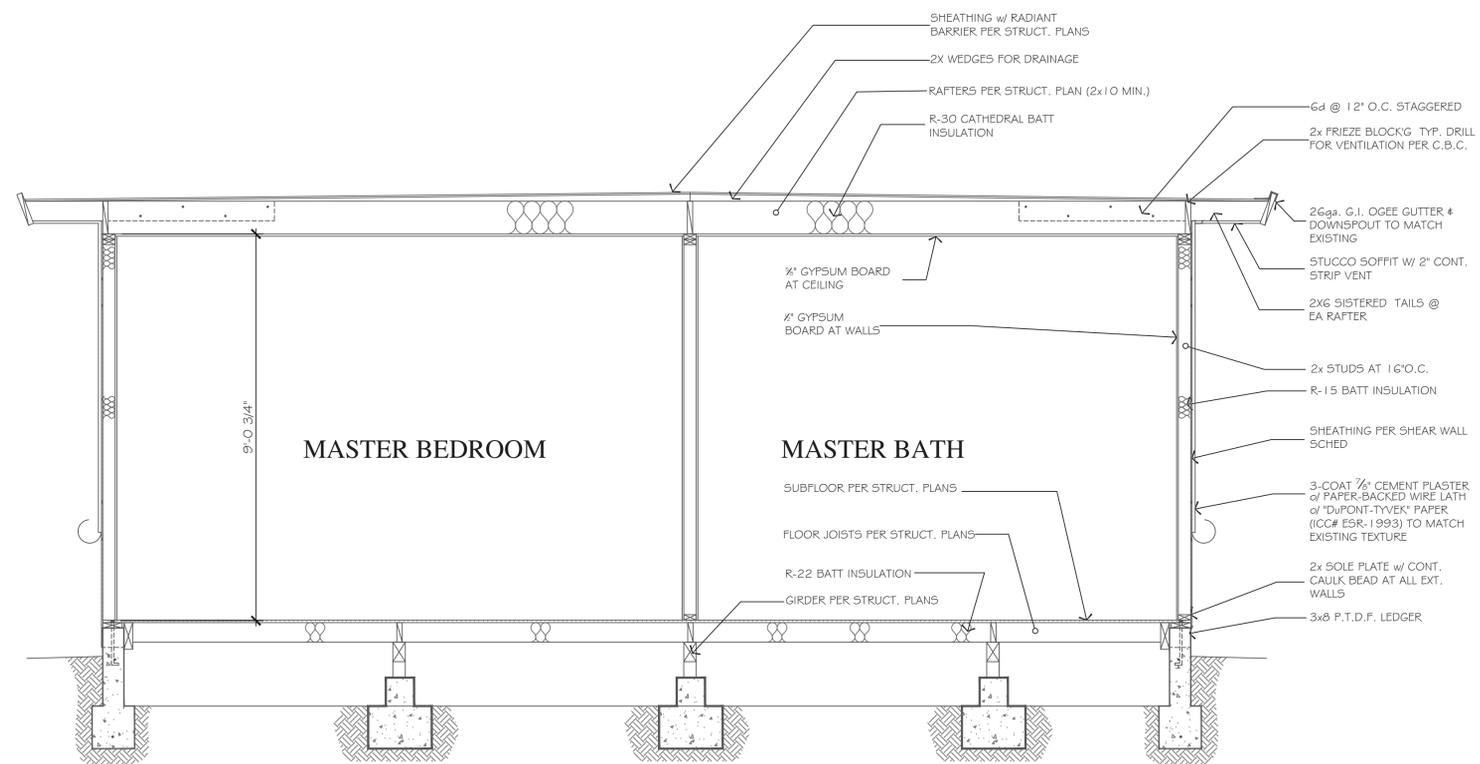


REAR ELEVATION

1/4"=1'-0"

LEFT SIDE ELEVATION

1/4"=1'-0"



CONSTRUCTION SECTION

1/2"=1'-0"



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EXTERIOR ELEVATIONS
CONSTRUCTION SECTION

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