



CITY OF CAMPBELL
Community Development Department

October 14, 2016

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **October 25, 2016**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Terry Prias for a Site and Architectural Review Permit (PLN2015-264, 265, 266) to allow the construction of three new single-family residences and a Tree Removal Permit (PLN2016-260) to allow the removal of a protected tree on property located at **738 Briarwood Way**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

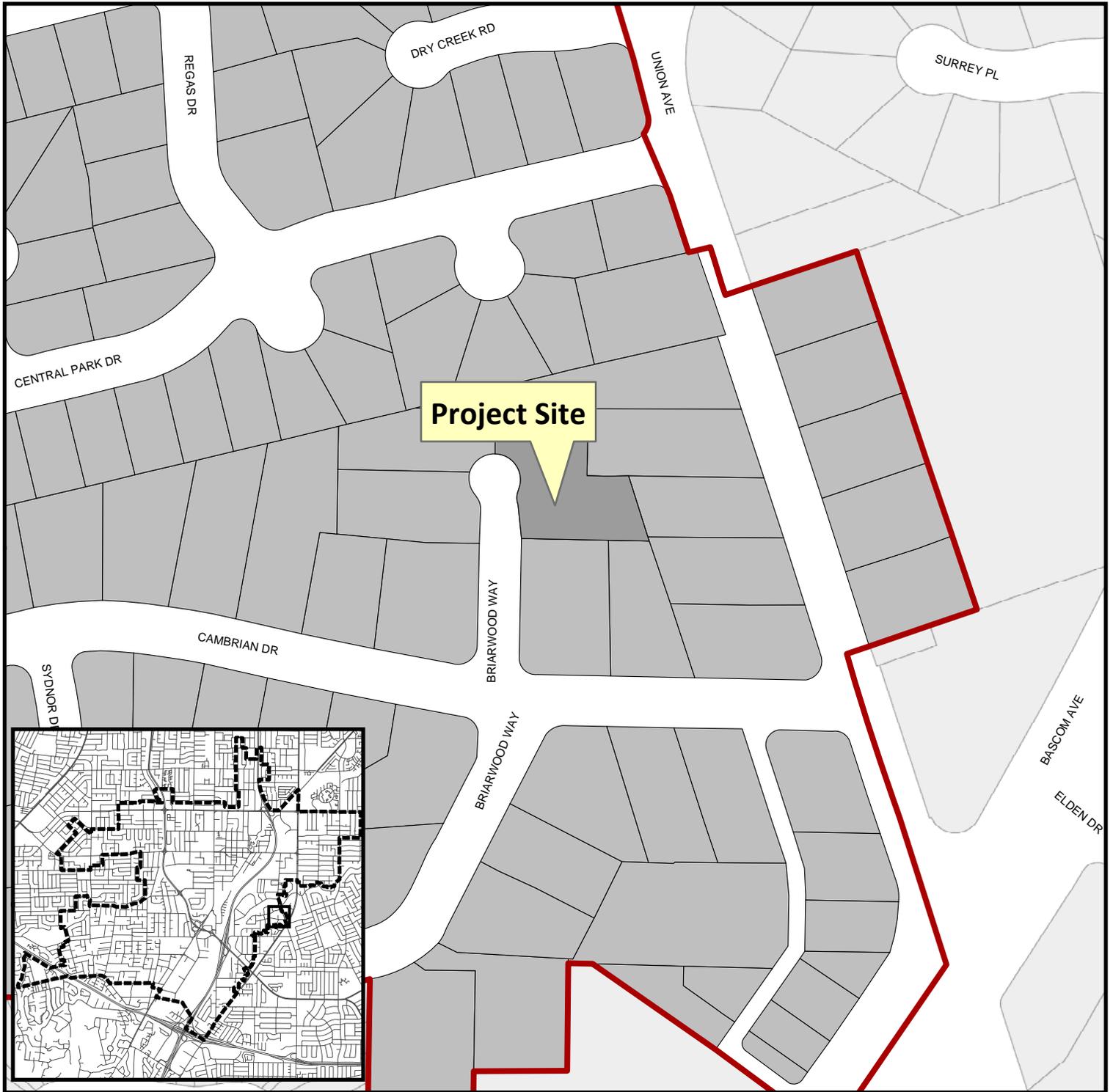
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **738 Briarwood Way**

Project Location Map

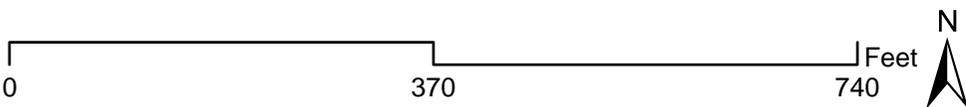


Project Location: 738 Briarwood Way

Application Type: Site and Arch Permit (x3); Tree Removal

Planning File No.: PLN2015-264/265/266, PLN2016-260

Description: To allow the construction of three separate two-story homes on three separate lots, and Tree Removal Permit for the removal of a small oak tree.



Community Development Department
Planning Division

THREE NEW HOMES ON BRIARWOOD WAY



PARCEL #1

PARCEL #2

PARCEL #3

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 - 12C-3 GRADING AND DRAINAGE PLAN
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REVISIONS	BY
PLANNING 11-24-15	▲
T.M. UPDATE 2-2-16	
PLANNING 0-22-16	▲
PLANNING 0-1-16	▲

RICHARD A. HARTMAN
A.L.A.
HOMETEC
ARCHITECTURE, INC.
819 NORTH FIRST STREET, SAN JOSE, CA 95112

RECEIVED
SEP 27 2015
NEW HOUSE FOR
TERRY PRIES
PARCEL #1, BRIARWOOD, CAMPBELL, CA.

Date 0-16-16
Scale 1/4" = 1'-0"
Drawn RAN
Job 15-055
Sheet
T-1
of Sheets



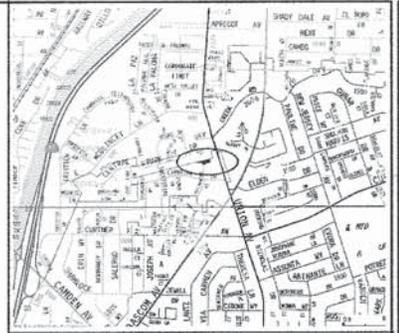
SCOPE OF WORK
NEW 2-STORY 5 BEDROOM HOUSE WITH
ATTACHED 2-CAR GARAGE

Comment #2: Fire Sprinklers Required. An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: in all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. **NOTE:** The owner(s), occupant(s) and any contractor (s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California Licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 212.3 as adopted and amended by CSLMBC.

Comment #3: Water Supply Requirements. Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractor and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the systems under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC Sec. 903.3.5 and Health and Safety Code 12114.7

Comment #4: Construction Site Fire Safety. All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification 51-7. Provide appropriate notations on subsequent plan submissions, as appropriate to the project. CFC Chp. 33

Comment #5: Address Identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.3 inch (3.27 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a signpost, pole or other sign or markers shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1



VICINITY MAP

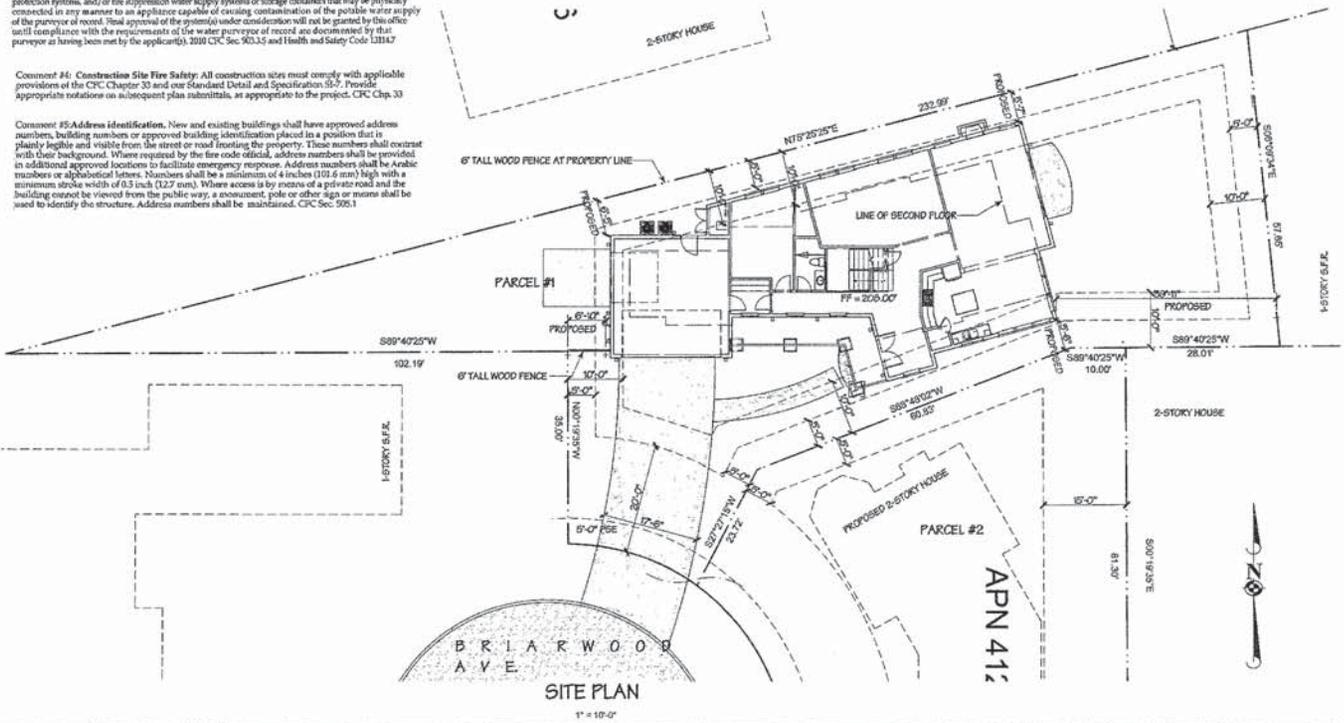
A/P/N:	482-37-000
ZONING:	R-1-D
LOT SIZE:	8,496 S.F.
NEW HOUSE:	
FIRST FLOOR:	2,226.02 S.F.
SECOND FLOOR:	1,254.02 S.F.
TOTAL HOUSE:	3,720.00 S.F.
F.A.R. ALLOWED:	8,496 S.F. X .45 = 3,823 S.F.
PROPOSED:	3,720 = 43.9% (INCL. GARAGE, STAIR)
LOT COV. PROPOSED:	2,250 = 27.4%
PAVING COV. PROPOSED:	1,050 = 12.4%
LANDSCAPE PROPOSED:	6,021 = 60.2%
TYPE OF CONSTRUCTION VS OCCUPANCY GROUP:	R-5, U

THIS PROJECT SHALL COMPLY WITH 2010 CFC, CRC, CMC, CFC, CEG, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

SITE DATA

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1A-5	ELEVATION SECTION
1A-6	SECTION, STREET SCOPE
1A-7	ROOF PLAN, AREA CALLS
11-1	LANDSCAPE PLAN
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C-4	ON-SITE STORM DRAIN PLAN/PROFILE
12C-5	EROSION CONTROL PLAN
C-7	BLUPRINT FOR A CLEAN BAY
C-8	TREE REMOVAL PLAN
C-9	TREE REMOVAL PLAN



REVISIONS	BY
PLANNING 9-26-15	▲
TAK FUTURE 3-2-16	▲
PLANNING 6-22-16	▲
PLANNING 9-1-16	▲

RICHARD A. HARTMAN
ALCA
ARCHITECT
605 NORTH FIRST STREET, SAN JOSE, CA 95112

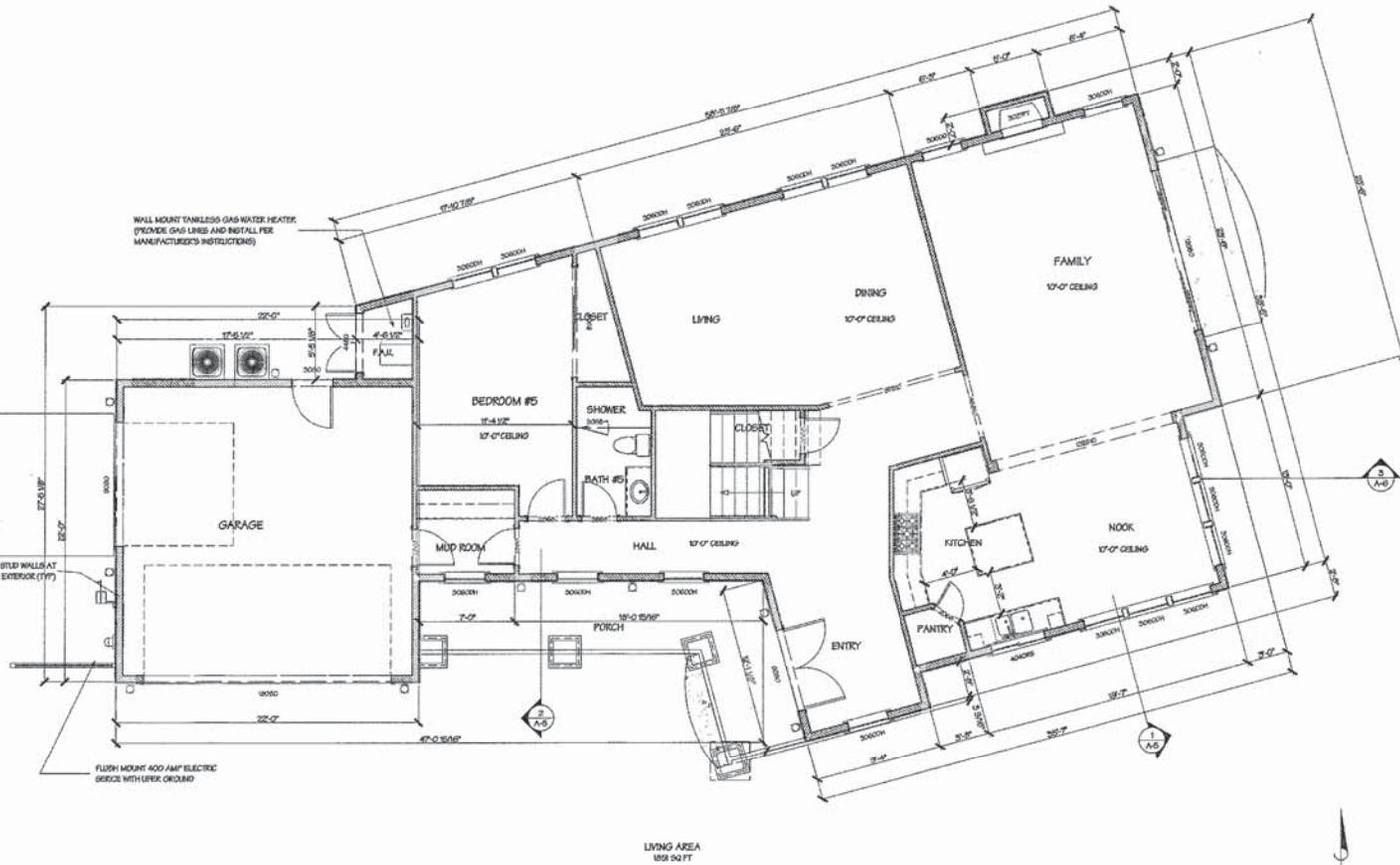
HOMETEC
ARCHITECTURE, INC.

NEW HOUSE FOR:
TERRY PRIES
PARCEL #1, BRIARWOOD, CAMPBELL, CA

Date: 6-15-16
Scale: 1" = 10'-0"
Drawn: RAY
Job: 15-026
Sheet: 1A-1
of 10 sheets

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF WALL, UNLESS NOTED OTHERWISE.
2. ADJUST DIMENSIONS TO MATCH WITH EXISTING CONDITIONS IN THE FIELD WHERE APPLICABLE.
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY.
4. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED AND PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.
5. SLOPE FLOOR GRADE AT 1/8" PER FOOT AWAY FROM WINDS TO AN APPROVED FACILITY.
6. PROVIDE NON-REMOVABLE BACK-FLUSH PROTECTION AT ALL EXTERIOR TOILET DRAIN.
7. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOM, MIN. EGRESS OPENING OF 5 7/8" MIN. CLEAR HEIGHT, 20" MIN. CLEAR WIDTH, 57 1/2" FT. MIN. AREA WITH 4" MIN. CLEAR TO BOTTOM.
8. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (E.G., DRYERS, BATH & CLOSET FANS, ETC.) SHALL BE A MINIMUM OF 5 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (DOORS, WINDOWS, OPENING DEVICES, OR ATTIC HOLES).
9. ALL AIR DUCTS PENETRATING A SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 3/8" DIA. MINIMUM.
10. ALL EXHAUST FANS SHALL BE "ENERGY STAR" AND SEPARATELY SWITCHED WITH TIMER OR HUMIDITY SENSORS AND CAPABLE OF 2.0 AIR CHANGES PER HOUR (ACH) AT BATHS, TOILETS, AND LAUNDRY.
11. ALL WATER CLOSETS SHALL BE A MINIMUM 120 GALLONS PER FLUSH.
12. PROVIDE A HARDENED WOOD NON-SLIP SURFACE OVER "HARDWARE" FLOOR COVERING TO A MINIMUM HEIGHT OF 3/4" ABOVE THE FINISH FLOOR AT STAIRS & DOWNSTAIRS AND GREEN BOWLS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
13. SHOWER AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE-BALANCE AIR-SCALED VALVES TO PREVENT WALLS FROM FLOWING TO THE BATH FACETS MAX. 15" FROM FLOOR TO FIN.
14. SHOWER COMPARTMENTS, ENCLOSURES OF SHAPE HAVING A MINIMUM INTERIOR FLOOR AREA OF 15.0 SQUARE FEET, SHALL ALSO BE CAPABLE OF EXHAUSTING A 30-INCH-DIA. AND DRAINING 80 GPM PER HOUR.
15. ALL UNDERFLOOR PLUMBING CLEANOUTS SHALL BE WITHIN 30" OF THE UNDERFLOOR ACCESS, OR EXTENDED TO THE EXTERIOR.
16. KITCHEN SHALL HAVE SEPARATE CIRCUITS FOR DISPOSAL, DISHWASHER, & TWO (2) 20 AMP CIRCUITS LIMITED TO JUMPING WALL AND COUNTERTOP OUTLETS.
17. ELECTRIC DRYERS AND COOKTOPS SHALL HAVE A DEDICATED 20 AMP CIRCUIT. PROVIDE NEAR BY HOLD-UP CIRCUIT INTERRUPTER (C.I.C. DO NOT).
18. LAUNDRY ROOM AND BATHROOM CLEANOUT OUTLETS SHALL BE EACH SUPPLIED WITH A DEDICATED 20 AMP CIRCUIT.
19. ALL ELECTRIC SWITCHES SHALL BE OF THE ROCKER TYPE GROUNDED.
20. ALL BRANCH CIRCUITS IN ALL ROOMS OTHER THAN KITCHEN AND BATH SHALL BE PROTECTED BY COMBINATION ARC-Fault CIRCUIT INTERRUPTER (C.I.C. DO NOT).
21. LIGHT FIXTURES LOCATED OVER OR WITHIN 6" OF TUB OR SHOWER ENCLOSURES SHALL BE RATED "WET" OR "FOR SHAP LOCATIONS".
22. A PERMANENT LABEL SHALL IDENTIFY EACH TYPE OF SAFETY GLAZING.
23. I-24 INSTALLATION CERTIFICATE (CP-510-10-4) SHALL BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTION.
24. RECESSED LAMPS IN INSULATED CEILING SHALL BE AT, B, & C RATED. ELECTRIC WIRING AND CABLES PER TEST.
25. DRYER EXHAUST VENTS SHALL BE PER MANUF. REQUIREMENTS OR MAX. 3" IN LENGTH, TERMINATING 3' CLEAR OF ANY OPENING.
26. DUCTS AND BRANCH OF DUCT SYSTEMS SHALL BE Labeled WITH UL LISTED DUCT TYPE, AND INSULATED WITH 5/8" MIN.
27. ALL PENETRATIONS INTO UNCONDITIONED SPACE (ATTIC, UNDERFLOOR, ETC.) SHALL BE CALLED, GASKETED, WEATHERSTRIPPED, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
28. ALL PENETRATIONS IN TOP PLATES, FLOORS, ETC. SHALL BE CALLED WITH A RESIDENTIAL FIRE RATED CABLE WITH AN ASTM E836 OR E844 RATING.
29. EXTERIOR WINDOWS WITH MULTIPLE LITES SHALL HAVE THEM INTERCONNECTED AND OPENABLE FROM THE INSIDE LATCH.
30. SHOWER ENCLOSURE DOORS SHALL OPEN OUT WITH A CLEAR OPENING OF 22" MIN. IN THE OPEN POSITION.
31. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS AND AT AREAS LEADING TO BEDROOMS.
32. ALL 15 AMP AND 20 AMP GROUND LIFT RECEPTACLE OUTLETS SHALL BE LISTED WATER-RESISTANT RECEPTACLE (W-R-R).
33. MAIN ENTRY DOOR SHALL BE OPERABLE FROM THE INSIDE OF THE DOOR AND PROVIDE THE USE OF A KICK-UP, KICK-OUT, OR KICK-UP.
34. EXTERIOR WALLS SHALL HAVE A MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GPM AT 80 PSIG. GORC SECT. 4.303.1.4.
35. VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE A MESH-FILTER ON THE FILTER.
36. PROVIDE STATE ARCHITECT CERTIFIED BACKHAZE-ACTUATED GAS SHUT OFF VALVES AT ALL NEW, RELOCATED, AND REPLACED GAS UTILITY METER.
37. PROVIDE A DEDICATED 20 AMP CIRCUIT FOR EACH FAN MOTOR (P.A.H. DO NOT). (C.I.C.)
38. PROVIDE OWNER BACKSCATTER MONITORING DETECTORS AT WALLWAYS ON EACH LEVEL AND OUTSIDE OF BEDROOM.
39. A GAS FILING LAYOUT PLAN SHALL BE PROVIDED TO THE FIELD INSPECTOR BY THE CONTRACTOR AT TIME OF INSPECTION.
40. FOR ANY LED LIGHTS TO QUALIFY AS HIGH EFFICACY LIGHTS, THEY MUST BE CERTIFIED BY THE ENERGY COMMISSION AND LISTED ON THEIR DATABASE AT <http://www.energycommission.gov>. PROVIDE TO THE FIELD INSPECTOR EVIDENCE OF CERTIFICATION FOR ALL NEW APPROACH LED LIGHTS AS SELECTED BY THE OWNER.
41. ALL PLASTIC PIPE AND FITTINGS SHALL MEET THE NATIONAL PLASTIC PIPE FOUNDATION AND STANDARDS REFERENCED IN TABLE 1004.1 OF THE 2024 C.C. 304.
42. ALL PPE, TANK, SOLVENT, COATING, THRU-DIAPHRAGM, SOLUBLE ANHYDRIDE, AND FITTINGS FOR POTABLE WATER SYSTEMS SHALL MEET THE NATIONAL SANITATION FOUNDATION STANDARDS AND OF THE 2024 C.C. 304.1.
43. ALL GAS LINE PRESSURE TESTING SHALL BE AT 10 PSI FOR 15 MINUTES AND RELIEVED PRIOR TO 60 PSI FOR 30 MINUTES. C.C. 304.1.3.



FIRST FLOOR PLAN

REVISIONS	BY
PLANNING	▲
5-15-24	
TOTAL REVISIONS	▲
3-25-24	
PLANNING	▲
6-25-24	
PLANNING	▲
8-1-24	

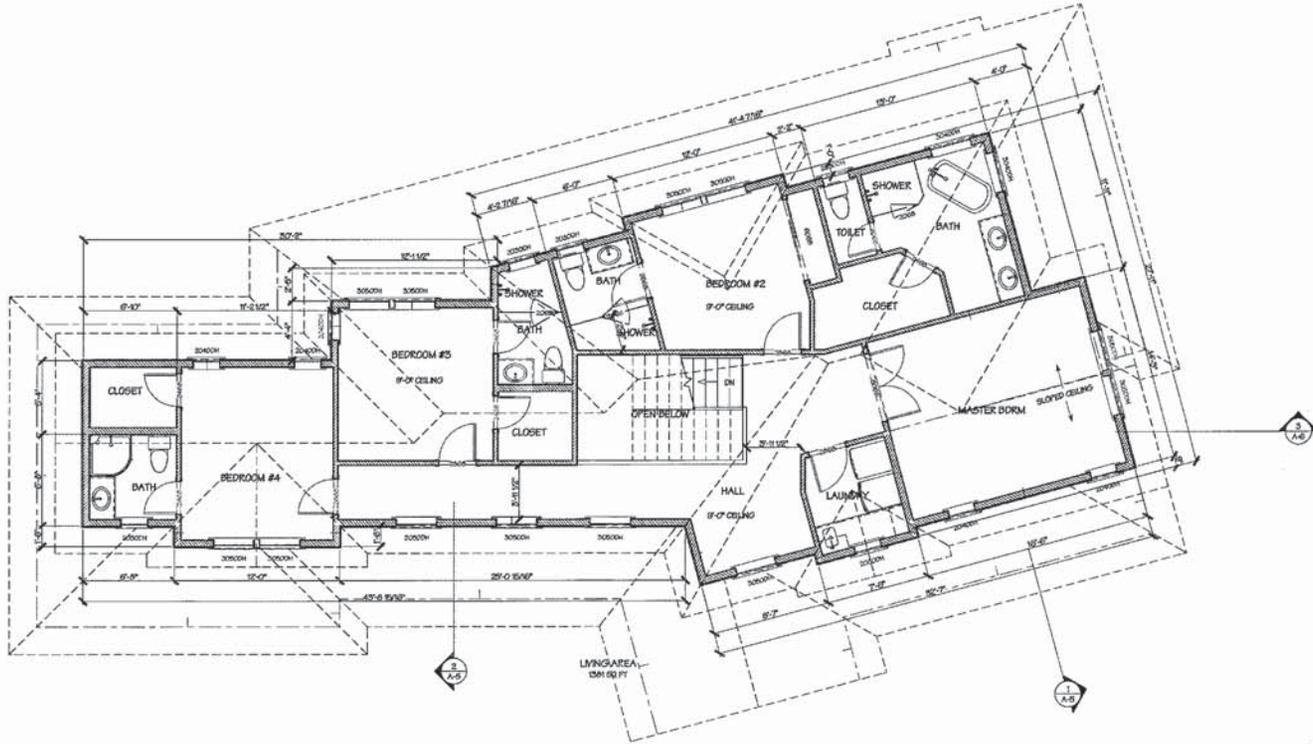
HOMETEC
ARCHITECTURE, INC.
RICHARD A. HARTMAN, AIA
417 WEST FIRST STREET, SAN JOSE, CA 95112
www.hometec.com

NEW HOUSE FOR:
TERRY PRIES
PARCEL #1, DREARWOOD, CAMPBELL, CA

Date: 6-15-24
Scale: 1/4" = 1'-0"
Drawn: RPH
Job: 15-050
Sheet:
1A-2
of 2 Sheets

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
2. ADJUST DIMENSIONS TO ALIGN WITH EXISTING CONDITIONS IN THE FIELD WHERE APPLICABLE.
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY.
4. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE FURNISHED AND PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.
5. SLOPE FINISH GRADE AT 1/8" IN. FOR 12' AWAY FROM HOUSE & 1/4" IN. TO AN APPROVED FACILITY.
6. PROVIDE NON-REMOVABLE BAULF FLOW PROTECTION AT ALL EXTERIOR HOSE REEFS.
7. PROVIDE FURNITURE BUFFER FROM SLEEPING ROOMS, MIN. MINOR OPENINGS OF 34" MIN. CLEAR HEIGHT, 30" MIN. CLEAR WIDTH, 57 SQ. FT. MIN. AREA WITH 4" MAXIMUM TO BOTTOM.
8. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (I.E., DRYER, BATH & CEILING FAN, ETC.) SHALL BE A MINIMUM OF 5 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (DOORS, WINDOWS, OPENING SCREYS, OR AIRCHANGES).
9. ALL AIR DUCTS PROVIDING A SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 6" MINIMUM.
10. ALL EXHAUST FANS SHALL BE ENERGY STAR AND SEPARATELY WIRED WITH 3/4" OR 1" MINIMUM OPENINGS AND CAPABLE OF 5 AIR CHANGES PER HOUR (MIN. 50 CFM) AT EXHAUST, EXHAUST, AND LAUNDRY.
11. ALL WATER CLOSETS SHALL BE MINIMUM 1.5 GALLONS PER FLUSH.
12. PROVIDE A SMOOTH, HARD, NON-ABRASIVE SURFACE OVER "HARDWARE" FLOOR BOARD TO A MINIMUM HEIGHT OF 3/4" ABOVE THE FINISH FLOOR OF SHOWERS & BATHROOMS (NO GREEN BOARD). INSTALL PER MANUFACTURER'S INSTRUCTIONS.
13. SHOWER AND BATHROOM COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE ANTI-SCALD VALVES TO CONFORM WITH MAX. 1.0 GPM FLOW @ 80 PSI, (SEE PARAGRAPHS 14.0-15.0 OF PS).
14. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 1.0 SQ. METERS (10.76 SQ. FT.) SHALL ALSO BE CAPABLE OF DISCONNECTING A 20 AMP CIRCUIT AND BEING WIRING OF MIN. 20 AMP.
15. ALL UNDERFLOOR FLOORING CLEANOUTS SHALL BE WITHIN 30" OF THE UNDERFLOOR ACCESS, OR EXTENDED TO THE EXTERIOR.
16. FLOORING SHALL HAVE SEPARATE CIRCUITS FOR DISPOSAL, DRYER/VACUUM, & 20 AMP CIRCUITS LIMITED TO SLEEPING WALL AND COUNTER SPACE OUTLETS.
17. ELECTRIC DEVICES AND COOKTOPS SHALL HAVE A DEDICATED 20 AMP CIRCUIT, PROVIDED WITH INSULATOR NEUTRAL.
18. LAUNDRY ROOM AND BATHROOM COMBINATION OUTLETS SHALL BE EACH SUPPLIED WITH A DEDICATED 20 AMP CIRCUIT.
19. ALL ELECTRIC SWITCHES SHALL BE OF THE GROUND TYPE GROUND.
20. ALL BREAK CIRCUITS SHALL BE PROVIDED WITH 20 AMP CIRCUIT INTERRUPTERS (E.A.C. 20LEB).
21. LIGHT FIXTURES LOCATED OVER OR WITHIN 1' OF TUBS OR SHOWERS SHALL BE LABELED "NOT SUITABLE FOR SHAP LIGHTING".
22. A PERMANENT LABEL SHALL IDENTIFY EACH LITE OF SAFETY GLAZING.
23. FURNITURE CERTIFICATE (F-C-01-01-01) SHALL BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTION.
24. RECESSED LIGHTS IN INSULATED CEILING SHALL BE AT A L.C. RATED, ELECTRIC SHALF AND CALLED AIR-IGHT.
25. DEVICE ENCLOSURES SHALL BE PER MANUFACTURER'S REQUIREMENTS OR MAX. 1' IN LENGTH, TERMINATING 2' CLEAR OF ANY OPENING.
26. LIGHTS AND HEAD OF DUCT SYSTEMS SHALL BE CALLED WITH UL LISTED DUCT TAPE, AND MIN. 1/2" WITH 1/4" MIN.
27. ALL PENETRATIONS INTO UNCONDITIONED SPACE (ATTIC, UNDER FLOOR, ETC.) SHALL BE CALLED GASKETED, INSULATED, AND SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
28. ALL PENETRATIONS IN TOP PLATES, FLOORS, ETC. SHALL BE CALLED WITH A RESIDENTIAL FIRE RATED GASKET WITH AN ASTM E817 OR E817A RATING.
29. EXTERIOR WINDOWS WITH MULTIPLE LATCHES SHALL HAVE THEM INTERCONNECTED AND OPERABLE FROM THE CORNER LATCH.
30. SHOWER ENCLOSURE DOORS SHALL OPEN OUT WITH A CLEAR OPENING OF 22" MIN. IN THE OPEN POSITION.
31. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS AND AT AREAS LEADING TO BEDROOMS.
32. ALL 15-AMP AND 20-AMP PANELING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES (E.C. 400-10).
33. MAIN ENTRY DOOR SHALL BE OPERABLE FROM THE INSIDE OF THE BUILDING WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR FORCE.
34. EXTERIOR FINISHES SHALL HAVE A MINIMUM FLOW RATE NOT TO EXCEED 1.0 GPM AT 80 PSI. CORISC. SECT. 4.300.1.4.
35. VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE A MIN. FLOW RATE OF 1.0 GPM.
36. PROVIDE SILENT ARCHITECT CERTIFIED BATTERY-ACTIVATED GAS SHUT OFF VALVES AT ALL NEW LOCATIONS AND REPLACED GAS UTILITY METERS.
37. PROVIDE A DEDICATED 20 AMP CIRCUIT FOR EACH FAN MOTOR (IF ALL EXHAUST, ETC.).
38. PROVIDE GAS DETECTORS IN LOCATIONS DETECTORS AT WALLS ON EACH LEVEL AND OUTSIDE OF BEDROOMS.
39. A GAS PIPING LAYOUT PLAN SHALL BE PROVIDED TO THE FIELD INSPECTOR BY THE CONTRACTOR AT TIME OF INSPECTION.
40. FOR ANY LED LIGHTS TO QUALIFY AS HIGH EFFICIENCY LIGHTS, THEY MUST BE CERTIFIED BY THE ENERGY COMMISSION AND LISTED ON THEIR DATABASE AT <http://www.energycommission.ca.gov>. PROVIDE TO THE FIELD INSPECTOR EVIDENCE OF CERTIFICATION FOR ALL HIGH EFFICIENCY LED LIGHTS AS SELECTED BY THE OWNER.
41. ALL PLUMBING PIPE AND FITTINGS SHALL MEET THE NATIONAL SANITATION FOUNDATION (NSF) AND BE REFERENCED IN DUNE HOOD OF THE 2015 CFC 301.1.
42. ALL PIPE, TUBE, JOINT, CEMENT, THERMO PLASTIC, SOLDER, AND/OR OF FLUX AND FITTINGS FOR POTABLE WATER SYSTEMS SHALL MEET THE NATIONAL SANITATION FOUNDATION (NSF) AND OF THE 2015 CFC 301.1.
43. ALL GAS LINE PRESSURE TESTING SHALL BE AT 150 PSI FOR 15 MINUTES AND BEING PERFORMED FOR 30 MINUTES, CFC 301.1.



SECOND FLOOR PLAN

REVISIONS	BY
PLANNING	12-24-15
12A UPDATE	3-2-16
PLANNING	10-23-16
PLANNING	11-15

HOMETEC
ARCHITECTURE, INC.
RICHARD A. HARTMAN
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418 NORTH FIRST STREET, SAN JOSE, CA 95112
408.997.0000
Home: 408.997.0000

NEW HOUSE FOR
TERRY PRIES
PARCEL #1, BRANWOOD, CAMPBELL, CA

Date: 6-5-16
Scale: 1/4" = 1'-0"
Drawn: RAN
Job: 15-055
Sheet:
1A-3
of 3 Sheets



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

REVISIONS	BY
PLANNING 11-21-15	▲
TAILORING 3-25-16	▲
PLANNING 02-22-16	▲
PLANNING 04-13-16	▲

HOMETEC
 ARCHITECTURE, INC.
 RICHARD A. HARTMAN
 A.L.A.
 408 West 20th
 610 NORTH FIRST STREET, SAN JOSE, CA 95112
 HOMETEC@HOMETEC.COM

NEW HOUSE FOR:
TERRY PRIES
 PARCEL #1, BRAUNWOOD, CAMPBELL, CA

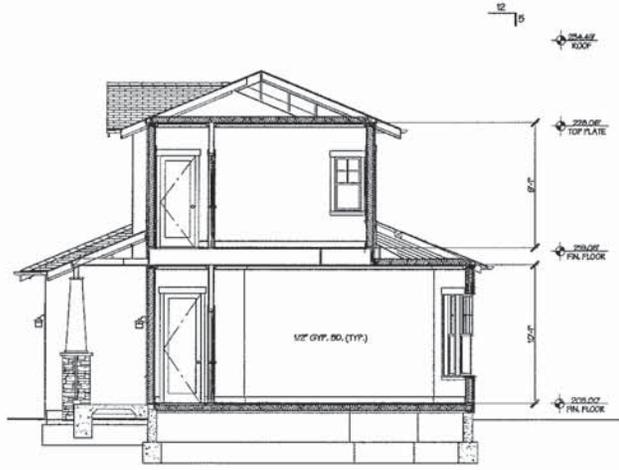
Date: 6-15-16
 Scale: 1/4" = 1'-0"
 Drawn: RAH
 Job: 15-055
 Sheet:
1A-4
 of 4 sheets



NORTH ELEVATION



1 SECTION



2 SECTION

REVISIONS	BY
PLANNING 0-24-05	▲
T&A UPDATE 2-29-05	▲
PLANNING 0-22-05	▲
PLANNING 9-1-05	▲

HOMETEC
 ARCHITECTURE, INC.
 RICHARD A. HARTMAN
 A.I.A.
 615 NORTH FIRST STREET, SAN DIEGO, CA 92101
 PHONE: 619-584-0000
 FAX: 619-584-0001

NEW HOUSE FOR:
TERRY PRIES
 PARCEL #1, BRUSHWOOD, CAMPBELL, CA.

Date	0-15-10
Scale	1/4" = 1'-0"
Drawn	RKH
Job	13-005
Sheet	
1A-5	
of	Sheets



SUBJECT

STREET SCAPE

1/8" = 1'-0"



3 SECTION

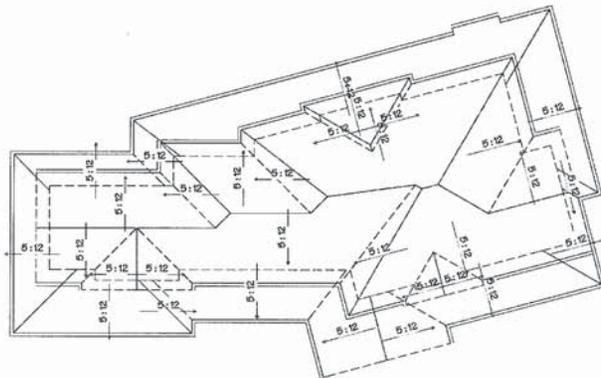
REVISIONS	BY
PLANNING 2-24-05	△
TAK UPDATE 3-23-05	△
PLANNING 6-23-05	△
PLANNING 9-13-05	△

HOMETEC
ARCHITECTURE, INC.
418 NORTH FIRST STREET, SAN JOSE, CA 95112

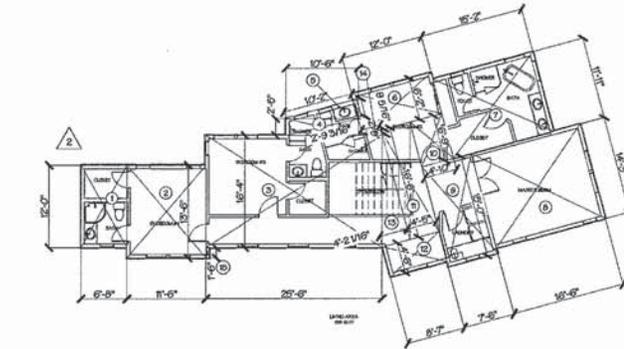
RICHARD A. HARTMAN
ALIA
Member of the International Brotherhood of Architects and Engineers

NEW HOUSE FOR
TERRY FRIES
PARCEL #1, BRANWOOD, CAMPBELL, CA

Date: 6-15-16
Scale: 1/8" = 1'-0"
Drawn: RAN
Job: 15-066
Sheet:
1A-6
of 2 Sheets



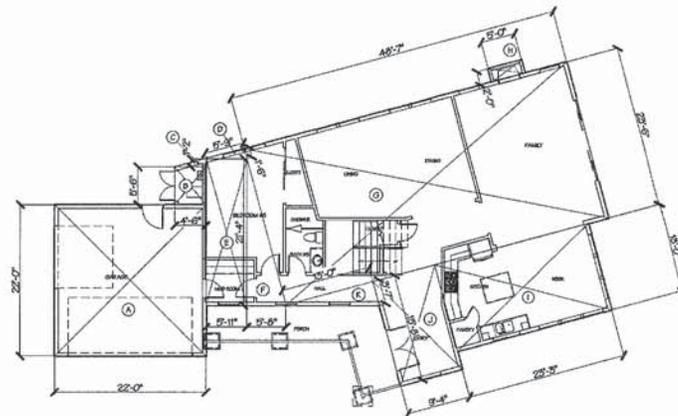
ROOF PLAN
1/8" = 1'-0"



FIRST FLOOR

- A: 22 X 22 = 484
 - B: 4.5 X 5.5 = 24.75
 - C: (4.5 X 1.5) / 2 = 3.38
 - D: (5.75 X 1.5) / 2 = 4.28
 - E: 5.01 X 2.55 = 12.78
 - F: (5.56 X 2.33) / 2 = 6.46
 - G: 44.55 X 23.5 = 1,046.83
 - H: 5 X 2 = 10
 - I: 23.25 X 13 = 302.25
 - J: 9.23 X 15.66 = 144.50
 - K: (3.9 X 3.58) / 2 = 6.93
- TOTAL = 2,226.52 S.F.

FIRST FLOOR = 2,226.52 S.F.
SECOND FLOOR = 1,506.36 S.F.
TOTAL BUILDING = 3,732.88 S.F.



SECOND FLOOR

- 1: 6.66 X 12.00 = 79.92
 - 2: 11.5 X 15.50 = 178.25
 - 3: 25.5 X 16.25 = 414.38
 - 4: 10.5 X 2.41 = 25.51
 - 5: (2.16 X 2.75) / 2 = 2.96
 - 6: 12 X 6.66 = 79.92
 - 7: 15.16 X 11.91 = 180.55
 - 8: 16.5 X 14.25 = 236.13
 - 9: 7.5 X 15 = 112.5
 - 10: 4.25 X 6.75 = 28.69
 - 11: 4.41 X 16.5 = 72.77
 - 12: 8.55 X 4.5 = 38.48
 - 13: 4.16 X 16.5 = 68.64
 - 14: 2.75 X 7.5 = 20.63
 - 15: 5 X 1.5 = 7.5
- TOTAL = 1,506.36 S.F.

AREA CALCULATION

REVISIONS	BY
PLANNING	
1-24-05	
TAK UPDATE	
5-23-05	
PLANNING	
8-22-05	
PLANNING	
8-1-06	

HOMETEC
ARCHITECTURE, INC.
RICHARD A. HARTMAN
AIA
615 NORTH FIRST STREET, 8th FLOOR, CA 95112
415.762.2400
Home: 415.438.0000

NEW HOUSE FOR:
TERRY PRIES
PARCEL #1, BRANWOOD, CAMPBELL, CA.

Date: 8-15-10
Scale: 1/4" = 1'-0"
Drawn: RAN
Job: 13-055
Sheet:
1A-7
of Sheets



SCOPE OF WORK:
NEW 2-STORY 5 BEDROOM HOUSE WITH
ATTACHED 2-CAR GARAGE.



VICINITY MAP

A.P.N.: 412-27-009
 ZONING: E1-8
 LOT SIZE: 8,561 S.F.
 NEW HOUSE: 2
 FIRST FLOOR: 2,161.60 S.F.
 SECOND FLOOR: 1,621.86 S.F.
 TOTAL HOUSE: 3,783.46 S.F.
 F.A.R. ALLOWED: 0.281 X .45 = 0.0614 S.F.
 PROPOSED: 3,783.46 S.F. = 44%
 LOT COV. PROPOSED: 2,201 S.F. = 27.84%
 PAVING COV. PROPOSED: 745 S.F. = 8.69%
 LANDSCAPE COV. PROPOSED: 5,036 S.F. = 58.54%

TYPE OF CONSTRUCTION VS
 OCCUPANCY GROUP: R-3, U

THIS PROJECT SHALL COMPLY WITH 2015 CBC, CBC, OAC, CFC,
 DEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

SITE DATA

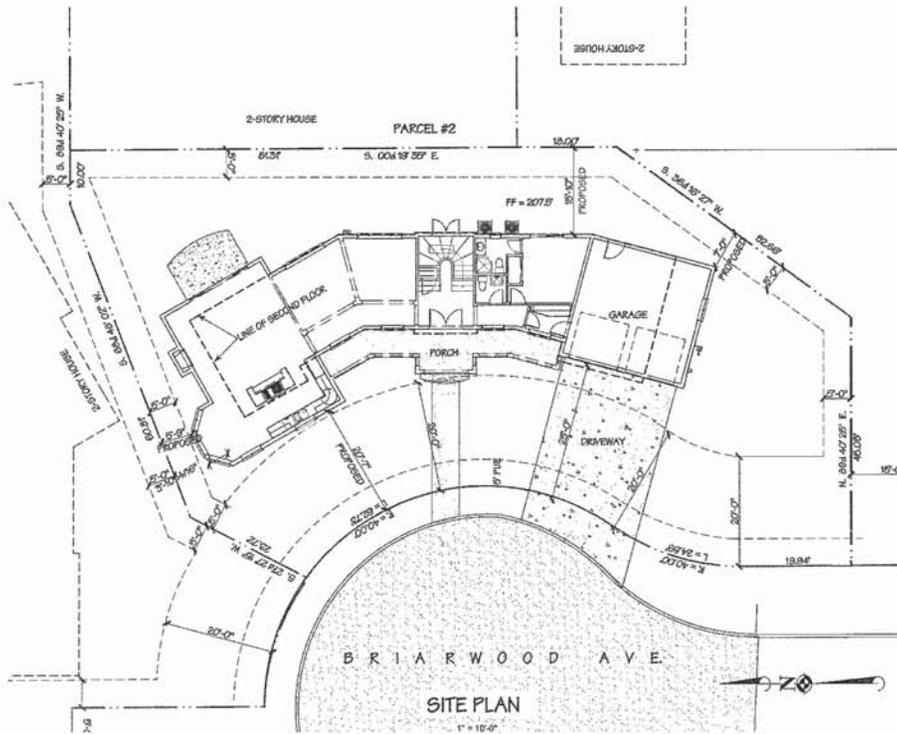
- SHEET INDEX
- 2A-1 SITE PLAN
 - 2A-2 FIRST FLOOR PLAN
 - 2A-3 SECOND FLOOR PLAN
 - 2A-4 ELEVATIONS
 - 2A-5 ELEVATION SECTION
 - 2A-6 SECTION STREET SCAPE
 - 2A-7 ROOF PLAN, AREA CALC
 - 2A-1 LANDSCAPE PLAN
 - C-1 TILES SHEET
 - 12C-2 GRADING AND DRAINAGE PLAN
 - C-4 ON-SITE STORM DRAIN PLAN/PEDFORME
 - 12C-5 EROSION CONTROL PLAN
 - C-7 BLUEPRINT FOR A-CLEAN BAY
 - C-8 TREE REMOVAL PLAN
 - C-9 TREE REMOVAL PLAN

Comment #2: Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 1,000 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. NOTE: The owner(s), occupant(s) and any contractor (s) or subcontractor(s) are responsible for consulting with the water purveyor of record to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-36) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to the department for review and approval prior to beginning their work. CFC, Sec. 213.2 as adopted and amended by CRLMAC.

Comment #3: Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractor and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection system, and/or fire suppression water supply system or storage container that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor or record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC, Sec. 903.5.5 and Health and Safety Code 13114.7

Comment #4: Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification 51.7, provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chap. 33

Comment #5: Address Identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1

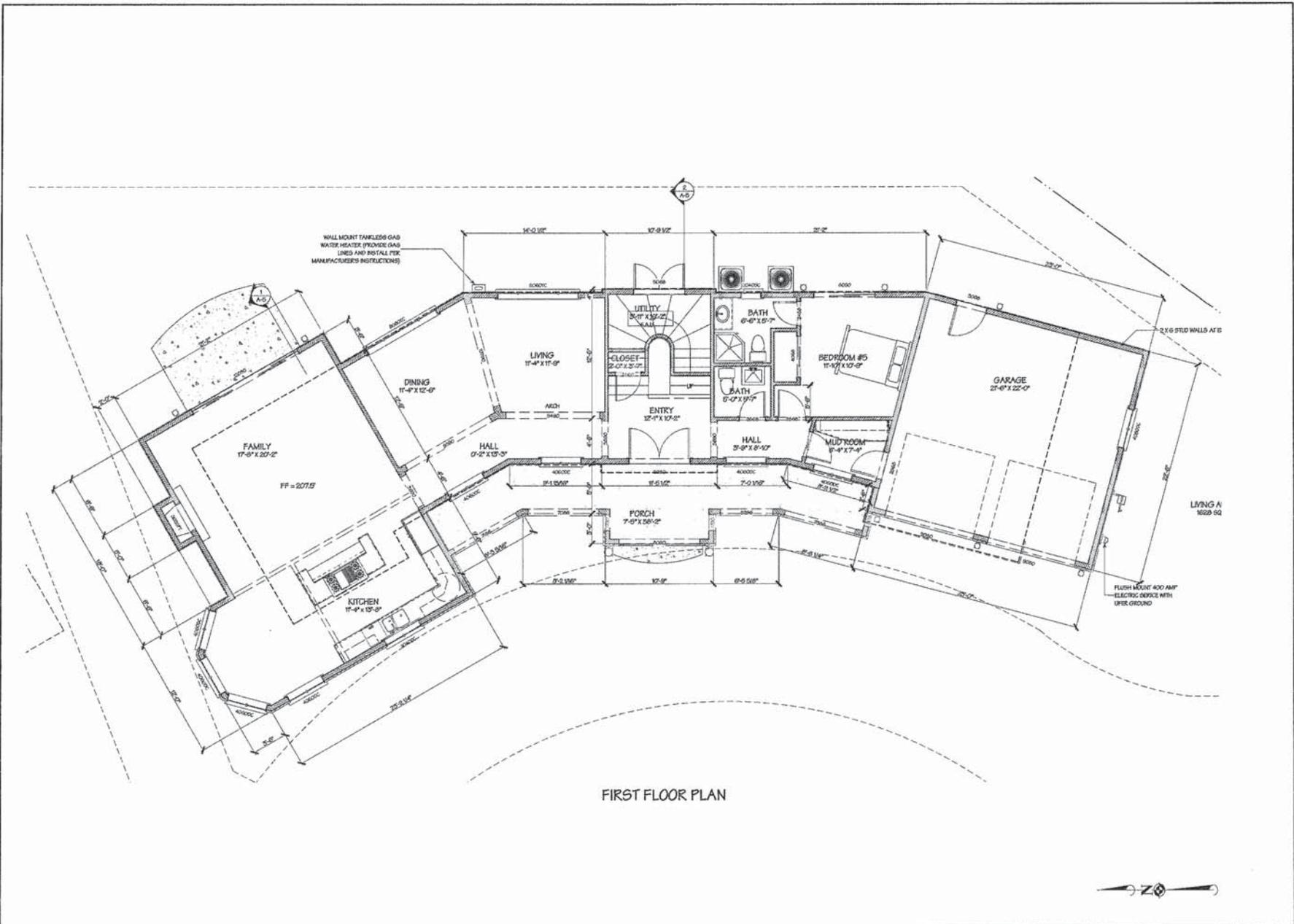


REVISIONS	BY
PLANNING 5-24-15	▲
PLANNING 6-25-15	▲
PLANNING 9-1-15	▲

RICHARD A. HARTMAN
 ALIA
 ARCHITECTURE, INC.
 418 NORTH FIRST STREET, SAN JOSE, CA 95112

NEW HOUSE FOR:
TERRY FRIES
 PARCEL #2, BRIARWOOD, CAMPBELL, CA

Date: 8-20-16
 Scale: 1" = 10'-0"
 Drawn: RAH
 Job: 15-016
 Sheet:
2A-1
 of Sheets



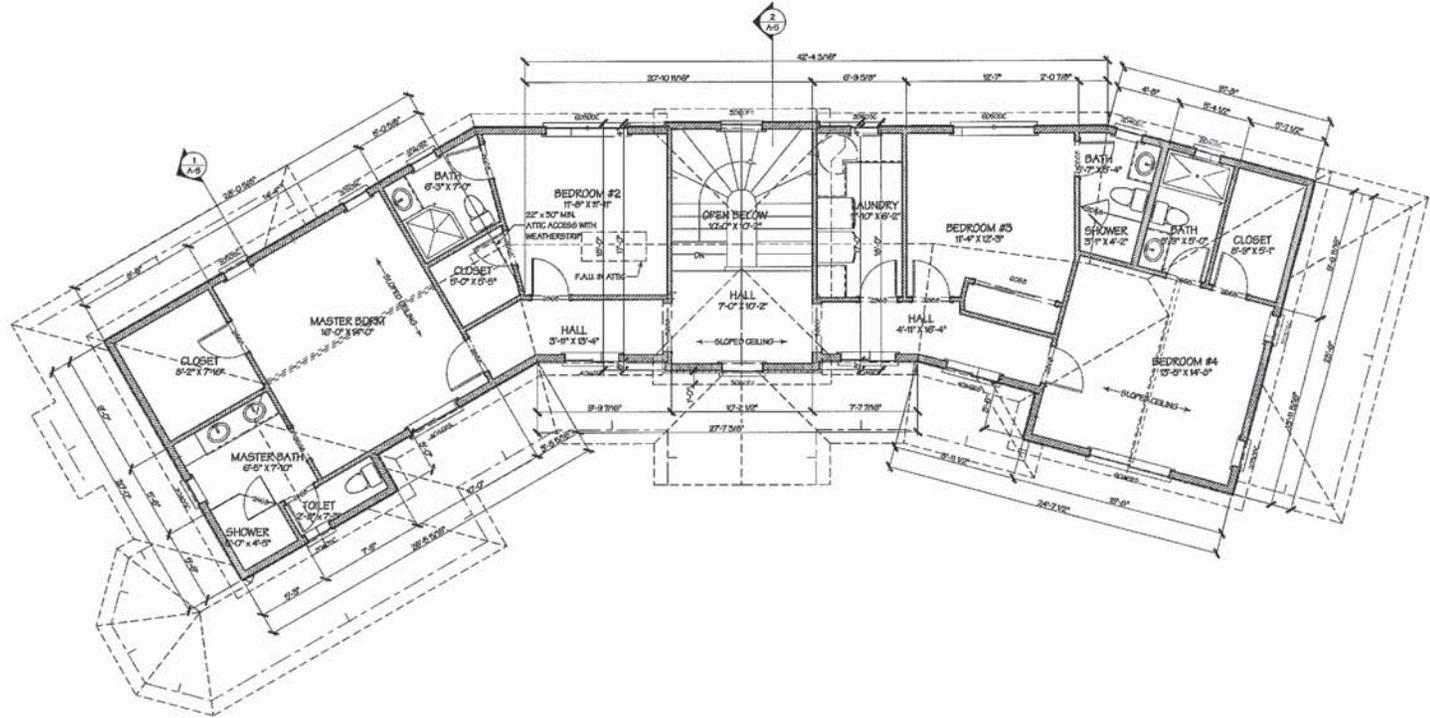
FIRST FLOOR PLAN

REVISIONS	BY
PLANNING	1
PLANNING	2
PLANNING	3
PLANNING	4

HOMETEC ARCHITECTURE, INC. 810 NORTH FIRST STREET, SAN JOSE, CA 95114	
RICHARD A. HARTMAN A.L.A. 48810000 richard@hometec.com	NEW HOUSE FOR TERRY PRIES PARCEL #2, BRIARWOOD, CAMPBELL, CA
Date: 5-28-10	Scale: 1/4" = 1'-0"
Drawn: RAH	Job: 10-010
Sheet:	2A-2

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
2. ADJUST DIMENSIONS TO ALIGN WITH EXISTING CONDITIONS IN THE FIELD WHERE APPLICABLE.
3. CONSTRUCTION TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY.
4. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE POSTED AND PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.
5. SLOPE FLOOR GRADE AT 1/8" PER FOOT FOR 10' AWAY FROM HOUSE & 1/4" PER FOOT TO AN APPROVED FACILITY.
6. PROVIDE NON-RETURNABLE BACKFLOW PROTECTION AT ALL EXTERIOR HOSE TAPS.
7. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN. WIDTH OPENINGS OF 20" MIN. CLEAR HEIGHT, 20" MIN. CLEAR WIDTH, 5.7 SQ. FT. MIN. AREA WITH 4" MINIMUM TO BOTTOM.
8. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (I.E., DRYERS, BATH & CLOSET FANS, ETC.) SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (DOORS, WINDOWS, OPENINGS TO PATIOS, OR ATTICWAYS).
9. ALL AIR DUCTS PENETRATING A DEPRESSION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 36" OR MINIMUM.
10. ALL EXHAUST FANS SHALL BE "ENERGY STAR" AND SEPARATELY WIRED WITH TRACER OR HUMIDITY SENSORS AND CAPABLE OF 5 AIC CHANGES PER HOUR (MIN. 50 CFM) AT BATHS, KITCHENS, AND LAUNDRY.
11. ALL WIRE CLOSETS SHALL BE MINIMUM 1/2" WALLS FOR FLOOR.
12. PROVIDE A SMOOTH, HARD, NON-ABRASIVE SURFACE OVER "TERRAZZO" FLOOR BOARD TO A MINIMUM HEIGHT OF 3/4" ABOVE THE FINISH FLOOR & 1/4" ABOVE THE FINISH FLOOR. INSTALL FOR MANUFACTURER'S INSTRUCTIONS.
13. SHOWER AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE ANTI-SCALD VALVES TO 120°F MAX. 5.0 GPM FLOW @ 80 PSI. SHOWER HEADS MAX. 1.5 GPM FLOW @ 80 PSI.
14. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 1.50 SQUARE METERS, SHALL ALSO BE CAPABLE OF DRAINING AND 1.50 INCHES. ALL DRAINING SHALL BE TO THE FLOOR.
15. ALL UNDERFLOOR PLUMBING CLEANOUTS SHALL BE WITHIN 20' OF THE UNDERFLOOR ACCESS, OR EXTENDED TO THE EXTERIOR.
16. SWITCHES SHALL HAVE SEPARATE CIRCUITS FOR DISPOSAL, DISHWASHER, & TWO 20 AMP CIRCUITS LIMITED TO PLUMBING WALL AND COUNTER SPACE OUTLETS.
17. ELECTRIC DRYERS AND COOKTOPS SHALL HAVE DEDICATED 30 AMP CIRCUIT. PROVIDE WIRING WITH INSULATED WIRE.
18. LAUNDRY ROOM AND BATHROOM CLEANOUTS OUTLETS SHALL BE EACH SUPPLIED WITH A DEDICATED 20 AMP CIRCUIT.
19. ALL ELECTRIC SWITCHES SHALL BE OF THE BROWN TYPE GROUND.
20. ALL BRANCH CIRCUITS IN ALL ROOMS OTHER THAN KITCHEN & BATHS SHALL BE PROVIDED BY COMBINATION BREAKER CIRCUIT INTERRUPTERS (C.B.C.I. 2012.12).
21. LIGHT FIXTURES LOCATED OVER OR WITHIN 3' OF TUBS OR SHOWERS SHALL BE LABELED "WATERPROOF OR GAMP LIGHT FIXTURE".
22. A PERMANENT LABEL SHALL IDENTIFY EACH TYPE OF SAFETY GLAZING.
23. 1-34 INSTALLATION CERTIFICATE (CP-02-10-04-02) SHALL BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTION.
24. RECESSED LAMINATED BY INSULATED CEILING SHALL BE AT A I.C. PANEL. ELECTRIC SHALL NOT BE INSTALLED IN ANY RECESSED AREA.
25. DRYER EXHAUST VENTS SHALL BE PER MANUF. REQUIREMENTS OR MAX. 1/4" IN LENGTH, TERMINATING 3' CLEAR OF ANY OPENING.
26. Joints AND SEAMS OF CEILING SHALL BE SEALED WITH 1/4" IN UNLISTED DUCT TAPE, AND INSULATED WITH 6" MIN.
27. ALL PENETRATIONS INTO UNCOMPLETED SPACE (ATTIC, UNDERFLOOR, ETC.) SHALL BE SEALED, GASKETED, OR PROPERLY SEALED TO PREVENT AIR INFILTRATION AND EXFILTRATION.
28. ALL PENETRATIONS IN TOP PLATES, FLOORS, ETC. SHALL BE CALLED WITH A RESIDENTIAL FIRE RATED CALL. WITH AN ASTM E886 OR E84 RATING.
29. EXPOSED WINDOWS WITH MULTIPLE LATCHES SHALL HAVE THEM INTERCONNECTED AND OPERABLE FROM THE INSIDE LATCH.
30. SHOWER ENCLOSURE COVERS SHALL OPEN OUT WITH A CLEAR OPENING OF 2" MIN. IN THE OPEN POSITION.
31. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS AND AT POINTS LEADING TO BEDROOMS.
32. ALL 15 AMP AND 20 AMP PHELLER UNIT RECEPTACLE OUTLETS SHALL BE LISTED PARTNER-RECORD RECEPTACLES (SEE 408.14).
33. MAIN ENTRY DOOR SHALL BE OPERABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR FORCE.
34. KITCHEN FACETS SHALL HAVE A MINIMUM FLOW RATE NOT TO EXCEED 1.0 GPM AT 60 PSI. (CGC SEC. 4.203.14.4)
35. VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE A MINIMUM FRESH AIR INTAKE.
36. PROVIDE STATE AND DIRECT CERTIFIED BATTERY-ACTIVATED GAS SHUT OFF VALVES AT ALL MAIN RELOCATED, AND REPLACED GAS UTILITY METERS.
37. PROVIDE A DEDICATED 30 AMP CIRCUIT FOR EACH FAN MOTOR (FAN, EXHAUST, ETC.).
38. PROVIDE GARAGE SMOKE DETECTOR DETECTORS AT WALLS ON EACH LEVEL AND OUTSIDE OF BEDROOMS.
39. A GAS FILING LAYOUT PLAN SHALL BE PROVIDED TO THE FIELD INSPECTOR BY THE CONTRACTOR AT TIME OF INSPECTION.
40. FOR ANY LED LIGHTS TO QUALIFY AS HIGH EFFICIENCY LIGHTS, THEY MUST BE CERTIFIED BY THE ENERGY COMMISSION AND LISTED ON THE DISPENSARY AT <http://www.energy.commission.ca.gov>. PROVIDE TO THE FIELD INSPECTOR EVIDENCE OF CERTIFICATION FOR ALL HIGH EFFICIENCY LED LIGHTS AS SELECTED BY THE OWNER.
41. ALL PLASTIC PIPE AND FITTINGS SHALL MEET THE NATIONAL UNDERGROUND PIPELINES AND SERVICES REFERRED IN TYPICAL NOTES OF THE SETS OR SHALL.
42. ALL PIPE, TUBS, BOUVERIE, CEMENT, THIS AND SEALANT, GROUT AND OTHER MATERIALS FOR POTABLE WATER SYSTEMS SHALL MEET THE NATIONAL UNDERGROUND PIPELINES AND SERVICES AND OF THE SETS OR SHALL.
43. ALL GAS LINE PRESSURE TESTING SHALL BE AT 10 PSI FOR 1 HOUR MINIMUM AND HELD FOR 15-60 MINUTES FOR 30 MINUTES, ETC. (SEE 408.14)



SECOND FLOOR PLAN



REVISIONS	BY
PLANNING 5-24-15	▲
PLANNING 6-22-15	▲
PLANNING 8-1-15	▲

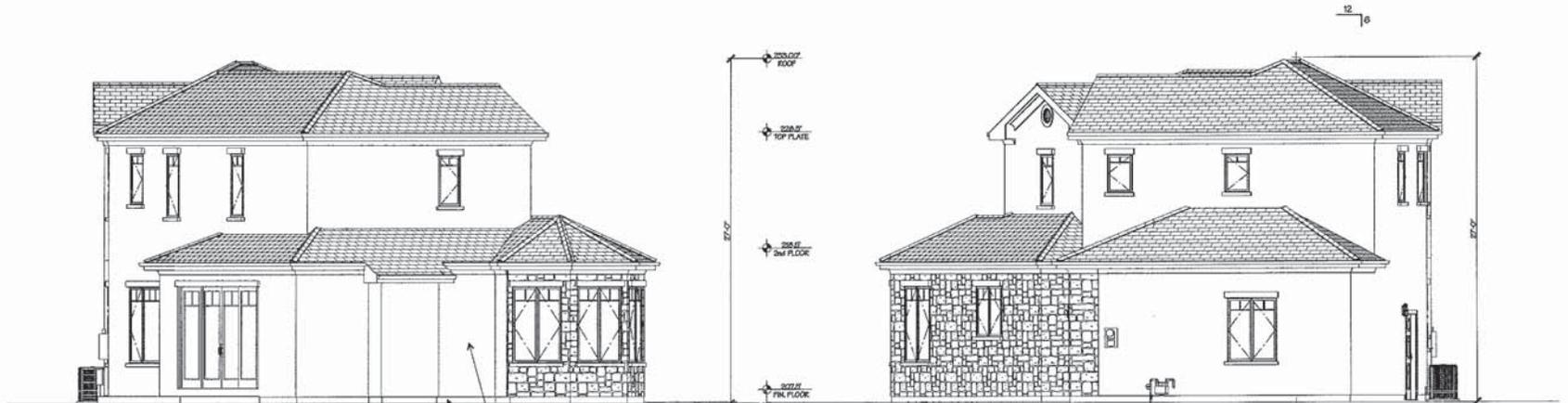
HOMETEC
 ARCHITECTURE, INC.
 RICHARD A. HARTMAN
 ALIA
 618 NORTH FIRST STREET, SAN JOSE, CA 95112

NEW HOUSE FOR:
TERRY FRIES
 PARCEL #2, BRANWOOD, CAMPBELL, CA

Date	5-24-15
Scale	1/4" = 1'-0"
Drawn	RAN
Job	15-018
Sheet	2A-3
of	3 Sheets



WEST ELEVATION



NORTH ELEVATION

SOUTH ELEVATION

REVISIONS	BY
PLANNING	5-24-05
PLANNING	6-20-05
PLANNING	9-4-05

HOMETEC
 ARCHITECTURE, INC.
 615 NORTH FIRST STREET, SAN JOSE, CA 95112
 RICHARD A. EARTMAN
 AIA
 408 WEST 4TH
 HEANON, WASHINGTON

NEW HOUSE FOR:
TERRY PRIES
 PARCEL #2, BRIARWOOD, CAMPBELL, CA.

Date: 5-20-05
 Scale: 1/4" = 1'-0"
 Drawn: RAV
 Job: 15-019
 Sheet:
2A-4
 of Sheets

PROVIDE CROSS-VENTING OPENINGS OF 1/80 ATIC AREA (COVER WITH 26 GA. GALV. 1/4" MESH) SOL VENTS TO BE 56" ABOVE CEILING PER C.A.C. 1205.2

PROVIDE CROSS-VENTING OPENINGS OF 1/80 UNDERFLOOR AREA (COVER WITH 26 GA. GALV. 1/4" MESH) PER C.A.C. 1205.3



EAST ELEVATION



1 SECTION



2 SECTION

REVISIONS	BY
PLANNING 3-24-05	△
PLANNING 6-20-05	△
PLANNING 9-1-05	△

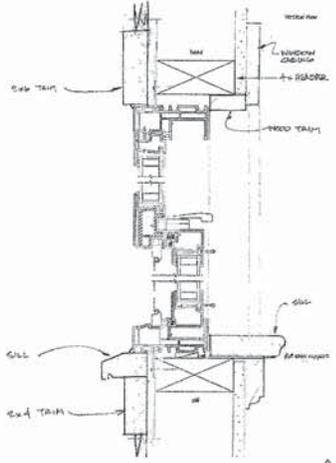
HOMETEC
 ARCHITECTURE, INC.
 RICHARD A. HARTMAN
 AIA
 405 W. 50th St.
 #1000
 Houston, TX 77057
 610 NORTH FIRST STREET, S.W. DORIE, CA 95112

NEW HOUSE FOR:
TERRY PRIES
 PARCEL #2, BRANWOOD, CAMPBELL, CA.

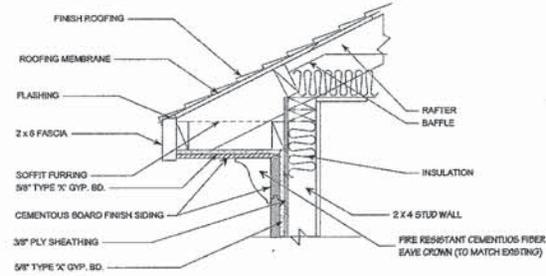
Date: 8-20-05
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 Job: 13-076
 Sheet:
2A-5
 of Sheets



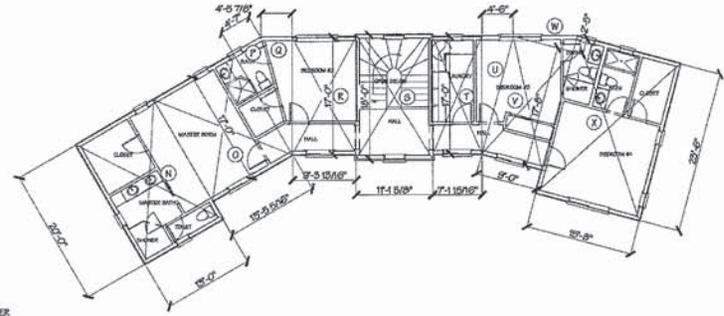
STREET SCAPE
SCALE: 1" = 10'-0"



1 TYPICAL WINDOW TRIM



2 TYPICAL EAVE TRIM

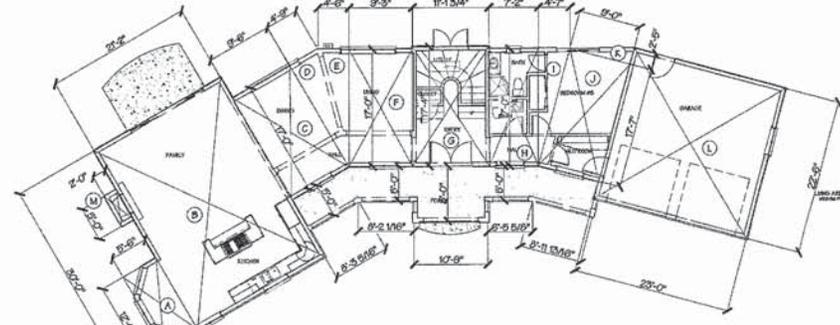


FIRST FLOOR

- A: 8.5 X 12 = 102.00
- B: 25.10 X 30 = 753.00
- C: 9.5 X 17 = 161.50
- D: 4.75 X 17 / 2 = 40.31
- E: 4.5 X 17 / 2 = 38.25
- F: 0.25 X 17 = 4.25
- G: 1.54 X 17.33 = 26.69
- H: 7.18 X 17 = 122.06
- I: 7.55 X 17 / 2 = 64.43
- J: 9 X 17.50 = 157.50
- K: 9 X 2.41 / 2 = 10.84
- L: 25 X 22.5 = 562.50
- M: 2 X 5 = 10

TOTAL = 2,161.66 S.F.

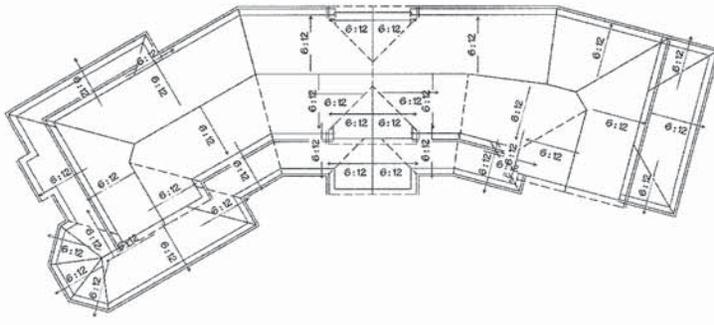
FIRST FLOOR = 2,161.66 S.F.
SECOND FLOOR = 1,621.66 S.F.
TOTAL BUILDING = 3,783.34 S.F.



SECOND FLOOR

- N: 15 X 20 = 300
- O: 13.45 X 17 = 228.65
- P: 4.50 X 17 / 2 = 38.25
- Q: 4.5 X 17 / 2 = 38.25
- R: 0.25 X 17 = 4.25
- S: 1.15 X 18 = 20.70
- T: 7.16 X 17 = 121.72
- U: 4.5 X 17 / 2 = 38.25
- V: 9 X 17.50 = 157.50
- W: 9 X 2.41 / 2 = 10.84
- X: 15.66 X 23.5 = 368.01

TOTAL = 1,621.66 S.F.



ROOF PLAN
1/8" = 1'-0"

REVISIONS	BY
PLANNING	5-24-16
PLANNING	8-23-16
PLANNING	9-1-16

HOMETEC
ARCHITECTURE, INC.
415 NORTH FIRST STREET, SAN JOSE, CA 95112

NEW HOUSE FOR:
TERRY PRIES
PARCEL #2, BRUNSMOOD, CAMPBELL, CA.

Date: 5-23-16
Scale: 1/4" = 1'-0"
Drawn: RAH
Job: 13-016
Sheet:
2A-6

Comment #2: Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,000 square feet. **Exception:** A one-time addition to an existing building that does not total more than 1,000 square feet of building area. **NOTE:** The owner, occupant and any contractor (a) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California Licensed (C-10) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 3112 as adopted and amended by CRLAC.

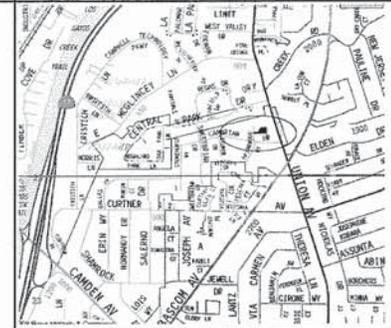
Comment #3: Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC Sec. 803.5 and Health and Safety Code 13141.7

Comment #4: Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 30 and our Standard Detail and Specification 01-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33

Comment #5: Address Identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 905.1



SCOPE OF WORK:
NEW 2-STORY HOME WITH 4 BEDROOMS AND
ATTACHED 2 CAR GARAGE.



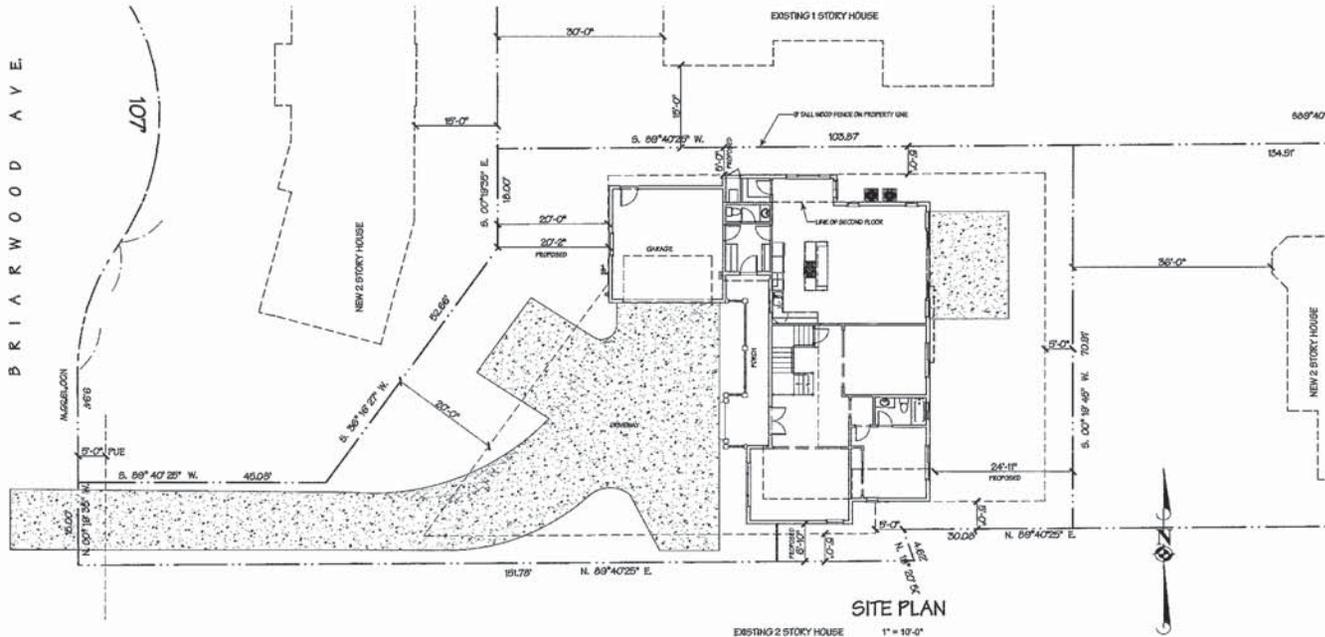
VICINITY MAP

APN:	412-37-009	
ZONING:	R1-B	
LOT SIZE:	8,501 S.F. (GRDS)	⚠️
	8,824.8 S.F. (NET)	
NEW HOUSE:	(F.A.R.)	⚠️
FIRST FLOOR:	2,200.5 S.F.	⚠️
SECOND FLOOR:	1,677.96 S.F.	
TOTAL BUILDING:	3,878.46 S.F.	
F.A.R. ALLOWED:	8,824 X .45 = 3,971 S.F.	
PROPOSED:	4,009.16 = 40%	
LOT COV. PROPOSED:	2,528 = 29.6%	⚠️
PAVING PROPOSED:	2,759 = 31%	
LANDSCAPE PROPOSED:	3597 = 40.2%	
TYPE OF CONSTRUCTION:	1:0	
OCCUPANCY GROUP:	R-3, U	

THIS PROJECT SHALL COMPLY WITH 2015 CFC, CMC, CMC, CFC, CEC, CFC, CAL GREEN, CAL ENERGY CODES, AND LOCAL ORD.

SITE DATA

- SHEET INDEX
- 3A-1 SITE PLAN
 - 3A-2 FIRST FLOOR PLAN
 - 3A-3 SECOND FLOOR PLAN
 - 3A-4 ELEVATIONS
 - 3A-5 ELEVATION SECTION
 - 3A-6 SECTION, STREET SCAPE
 - 3A-7 ROOF PLAN, AREA CALLS
 - 3A-8 LANDSCAPE PLAN
 - C-1 TITLE SHEET
 - 3C-5 GRADING AND DRAINAGE PLAN
 - C-4 CROSSLINK SYSTEM PLAN/PROFILE
 - 3C-6 EROSION CONTROL PLAN
 - C-7 BLUEPRINT FOR A CLEAN BAY
 - C-8 TREE REMOVAL PLAN
 - C-9 TREE REPLACEMENT PLAN



SITE PLAN

1" = 10'-0"

REVISIONS	BY
PLANNING	5-24-15
PLANNING	6-22-15
PLANNING	9-9-15

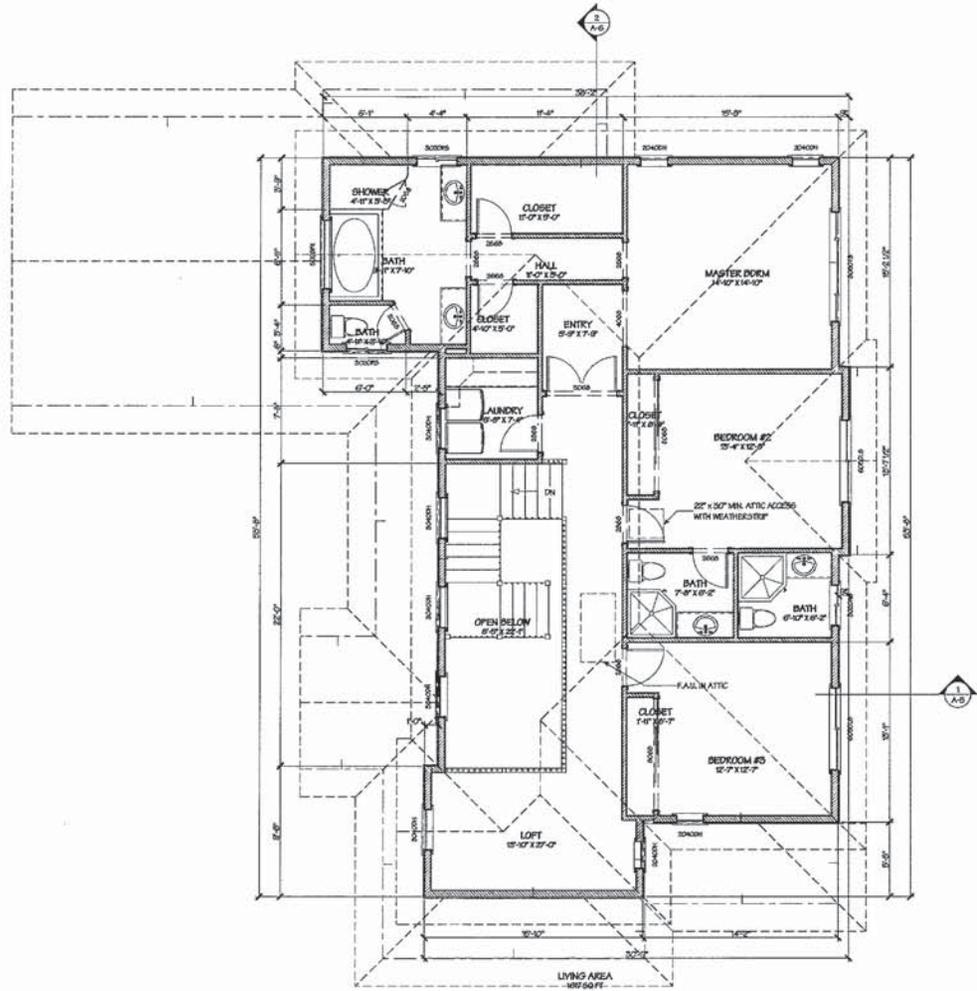
RICHARD A. HARTMAN
ALIA
HOMETEC
ARCHITECTURE, INC.
815 NORTH FIRST STREET, SAN JOSE, CA 95112
Phone: 408.938.0000
www.hometec.com

NEW HOUSE FOR:
TERRY PRIES
PARCEL #2, BRISWOOD, CAMPBELL, CA.

Date: 5-25-15
Scale: 1" = 10'-0"
Drawn: RAH
Job: 15-016
Sheet:
3A-1
of Sheets

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE
2. ADJUST DIMENSIONS TO ALIGN WITH EXISTING CONDITIONS IN THE FIELD, WHERE APPLICABLE.
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY.
4. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE POSTED AND PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.
5. GROUT FINISH GRADE AT 1/8" MIN. FOR 1/2" MIN. FROM HOUSE & 1/4" MIN. TO AN APPROVED FACILITY.
6. PROVIDE NON-REMOVABLE BACKFLOW PROTECTION AT ALL EXTERIOR HOSE TAPS.
7. PROVIDE LABORATORY EVIDENCE FROM SLEEPING ROOMS, MAIN WINDOW OPENINGS OF 24" MIN. CLEAR HEIGHT, 32" MIN. CLEAR WIDTH, 15.7 SQ. FT. MIN. AREA WITH 4" MAXIMUM TO BOTTOM.
8. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (ALL DUCTS, BATH & LINEN FAN EXCS) SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (DOORS, WINDOWS, OPENING REIGHTS, OR ATTIC VENTS).
9. ALL AIR DUCTS PENETRATING A SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 20 GA. MINIMUM.
10. ALL EXHAUST FANS SHALL BE "ENERGY STAR" AND SEPARATELY SWITCHED WITH TIMER OR HUMIDISTAT. SWITCHES AND CAPABLE OF 1/3 AIR CHANGES PER HOUR (MAX. 50 CFM) AT BATHS, TOILETS, AND LAUNDRY.
11. ALL WETTER CLOSETS SHALL BE HAVING A 1/8" DRAINAGE PIT FLOOR.
12. PROVIDE A FINISH, UNPAID NON-ADHESIVE SURFACE OVER "HORIZONTAL" PIPES ROOFED TO A MINIMUM HEIGHT OF 72" ABOVE THE FINISH FLOOR AT SHOWER & TUB ENCLOSURE (NOT GREEN BOARD). INSTALL PER MANUFACTURER'S INSTRUCTIONS.
13. SHOWER AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRECIPITATION BALANCE AND LOCAL VENTS TO 20" MAX WITH MAX. 2.0 CFM FLOW @ 70% RH. PROVIDE 1/8" DRAIN @ 1/2" DIA.
14. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 5.0 SQ. FT. SHALL ALSO BE CAPABLE OF EXHAUSTING A 5.0-CFM DUCT, AND CAPPED WITH 22" DIA. DUCT.
15. ALL UNDERLOOR PLUMBING CLEANOUTS SHALL BE WITHIN 20" OF THE UNDERLOOR ACCESS, OR EXTENDED TO THE EXTERIOR.
16. KITCHEN SHALL HAVE SEPARATE CIRCUITS FOR DISPOSAL, DOWNSHAKE, & TWO (2) 20 AMP CIRCUITS LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS.
17. ELECTRIC DRYERS AND COOKTOPS SHALL HAVE A DEDICATED 30 AMP CIRCUIT PROVIDED WITH INSULATED VENTING.
18. LAUNDRY ROOM AND BATHROOM COUNTERTOP OUTLETS SHALL BE EACH SUPPLIED WITH A DEDICATED 20 AMP CIRCUIT.
19. ALL ELECTRIC SWITCHES SHALL BE OF THE SILENT TYPE OR GROUND.
20. ALL BRANCH CIRCUITS IN ALL ROOMS OTHER THAN EXTERIOR LIGHTS SHALL BE PROTECTED BY COMBINATION AIR-LEAK CIRCUIT INTERRUPTERS (A.C.I. 2012.2).
21. LIGHT FIXTURES LOCATED OVER OR WITHIN 3' OF TUBS OR SHOWERS ENCLOSURES SHALL BE LABELED "DANGER FOR SHARP LIGHTNING".
22. A PERMANENT LABEL SHALL IDENTIFY EACH USE OF SAFETY GLAZING.
23. T-94 INSTALLATION CERTIFICATE (T-94-1215-01-01) SHALL BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTION.
24. RECESSED LUMENED IN INSULATED CEILING SHALL BE A.T. & T.C. RATED. ELECTRIC SHALL BE CALLED AIR-TIGHT.
25. DRYER EXHAUST VENTS SHALL BE PEX MARK, REQUIREMENTS OF MAX. 8" IN LENGTH, TERMINATING 3' CLEAR OF ANY OPENING.
26. Joints and seals of duct systems shall be sealed with UL LISTED DUCT TAPE, AND INSULATED WITH 3/4" MIN.
27. ALL PENETRATIONS INTO UNCONDITIONED SPACE (ATTIC, UNDERFLOORS, ETC) SHALL BE CALLED, GUARDED, REINFORCED, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
28. ALL PENETRATIONS IN TOP PLATES, FLOORS, ETC. SHALL BE CALLED WITH A RECREATIONAL FIRE-RESISTANT GASKET WITH AN ASYM. EDGE OR 60# RAYON.
29. EXTERIOR WINDOWS WITH MULTIPLE LOCKS SHALL HAVE THEM INTERCONNECTED AND OPERABLE FROM THE LIVING AREA.
30. SHOWER ENCLOSURE DOORS SHALL OPEN OUT WITH A CLEAR OPENING OF 22" MIN. IN THE OPEN POSITION.
31. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS AND AT HEADS END TO BEDROOMS.
32. ALL 15-AMP AND 20-AMP DRILLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES (SEE 400.10).
33. MAIN ENTRY DOOR SHALL BE OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR DEVICE.
34. KITCHEN FAUCETS SHALL HAVE A MINIMUM FLOW RATE NOT TO EXCEED 1.0 GPM AT 80 PSI. (ASSESS. SECT. A320.1.4)
35. VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE A MINIMUM FLOW OF 0.15 L/S.
36. PROVIDE SILENT ARCHITECT QUARTERED LATCHING-ACTIVATED GAS SHUT OFF VALVES AT ALL NEW, RELOCATED, AND REPLACED GAS UTILITY METERS.
37. PROVIDE A DEDICATED 20 AMP CIRCUIT FOR EACH FAN MOTOR (F.A.U., EXHAUST, ETC.).
38. PROVIDE COMB. SMOKE/CO MONITOR DEVICES AT HALLWAYS OR BATHS AND OUTSIDE OF BEDROOMS.
39. A GAS PIPING LAYOUT PLAN SHALL BE PROVIDED TO THE FIELD INSPECTOR BY THE CONTRACTOR AT TIME OF INSPECTION.
40. FOR ANY LED LIGHTS TO QUALIFY AS HIGH EFFICIENCY LIGHTING, THEY MUST BE CERTIFIED BY THE ENERGY COMMISSION AND LISTED IN THE DATABASE AT <http://www.energy.commission.ca.gov>. PROVIDE TO THE FIELD INSPECTOR EVIDENCE OF CERTIFICATION FOR ALL HIGH EFFICIENCY LED LIGHTS AS SELECTED BY THE OWNER.
41. ALL PLASTIC PIPE AND FITTINGS SHALL MEET THE NATIONAL SANITATION FOUNDATION AND SCHEDULES REFERENCED IN TABLE MOU OF THE CODE. (CFC 901.1)
42. ALL PIPE, TUBE, SOLVENT CEMENT, THREAD SEALANT, SOLDER, ANNY OR FLUX AND RETAINS FOR PORTABLE WATER SYSTEMS SHALL MEET THE NATIONAL SANITATION FOUNDATION (NSF) STANDARDS AND OF THE CODE. (CFC 904)
43. ALL GAS LINE PRESSURE TESTING SHALL BE AT 10 PSI FOR 15 MINUTES AND RELEASED PERIOD IS 40 PSI FOR 30 MINUTES. (CFC 903.3)



SECOND FLOOR PLAN

REVISIONS	BY
PLANNING	AS
0-24-15	
PLANNING	AS
6-22-15	
PLANNING	AS
9-1-15	

RICHARD A. HARTMAN ALIA ARCHITECTURE, INC. 4410 1/2 10th St San Jose, CA 95128	
HOMETEC ARCHITECTURE, INC.	
419 NORTH FIRST STREET, SAN JOSE, CA 95112	

NEW HOUSE FOR	TERRY PRIES
PARCEL #5, BRANWOOD, CAMPBELL, CA.	
Date	8-22-15
Scale	1/4" = 1'-0"
Drawn	R/H
Job	15-016
Sheet	
3A-3	
of Sheets	



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

REVISIONS	BY
PLANNING 8-24-15	RAH
PLANNING 8-20-15	RAH
PLANNING 8-19-15	RAH

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 RICHARD A. HARTMAN
 AIA
 415 NORTH FIRST STREET, SAN JOSE, CA 95112
 408.995.0496
 Home@hometec.com

NEW HOUSE FOR:
TERRY PRIES
 PARCEL #3, BRUSWOOD, CAMPBELL, CA

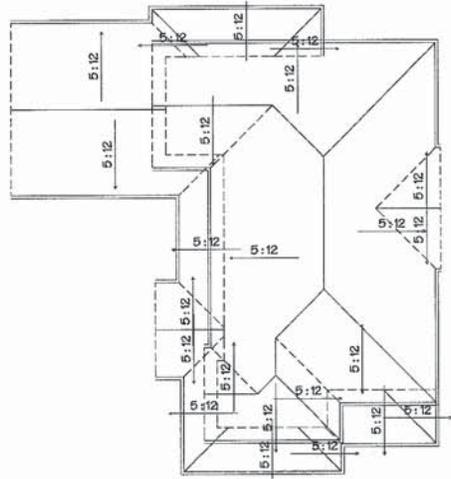
Date 8-25-15
 Scale 1/4" = 1'-0"
 Drawn RAH
 Job 15-016
 Sheet

PROVIDE CROSS-VENTING OPENINGS OF 1/800
ATRIC AREA (COVER WITH 20 GA. GALV. 1/4"
MESH) SOG VENTS TO BE 56" ABOVE CEILING
PER C.C.C. 120A2



NORTH ELEVATION

PROVIDE CROSS-VENTING
OPENINGS OF 1/800 UNDERFLOOR
AREA (COVER WITH 20 GA. GALV. 1/4"
MESH) PER C.C.C. 120B3



ROOF PLAN

1/8" = 1'-0"



1 SECTION

REVISIONS	BY
PLANNING	5-24-15
PLANNING	6-22-15
PLANNING	8-18

HOMETEC
ARCHITECTURE, INC.
RICHARD A. HARTMAN
A.L.A.
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408.997.0406
HomeTec@hometec.com

NEW HOUSE FOR:
TERRY PRIES
PARCEL #3, BRANWOOD, CAMPBELL, CA.

Date 5-25-15
Scale 1/4" = 1'-0"
Drawn RAH
Job 15-016
Sheet
3A-5
of Sheets



FRONT HOUSE NORTH

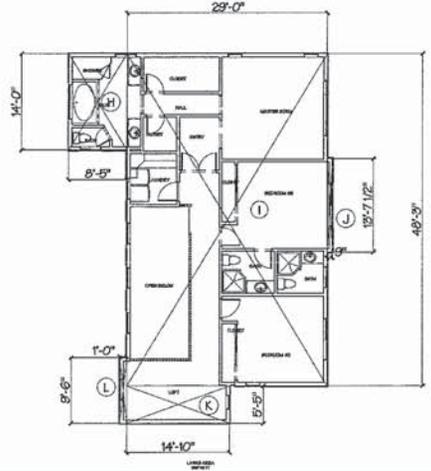
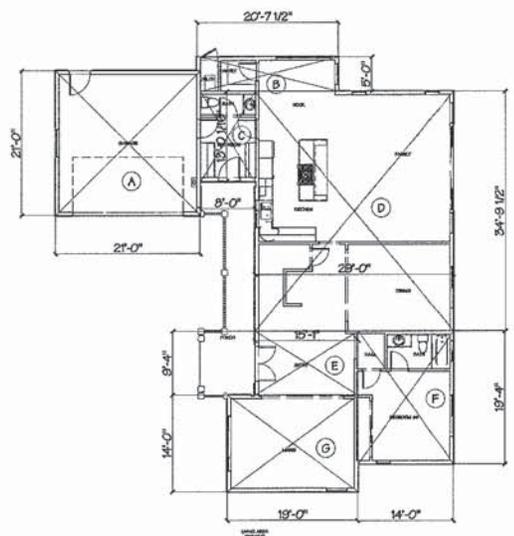
SUBJECT (FLAG LOT)

FRONT HOUSE SOUTH

STREET SCAPE
1/8" = 1'-0"



2 SECTION



FIRST FLOOR

- A: 21 X 21 = 441
- B: 23.62 X 5 = 118.12
- C: 8 X 13 = 104
- D: 29 X 34.65 = 1,004.07
- E: 15.08 X 9.35 = 140.69
- F: 14 X 19.35 = 270.62
- G: 19 X 14 = 266
- TOTAL = 2,336.5 S.F.

SECOND FLOOR

- H: 8.41 X 14 = 117.74
- I: 29 X 48.25 = 1,399.25
- J: 75 X 13.62 = 1,021.5
- K: 14.63 X 5.46 = 79.88
- L: 1 X 9.5 = 9.5
- TOTAL = 1,677.96 S.F.

FIRST FLOOR = 2,336.5 S.F.
SECOND FLOOR = 1,677.96 S.F.
TOTAL BUILDING = 4,014.46 S.F.

AREA CALCULATIONS

REVISIONS	BY
PLANNING	13-24-15
PLANNING	6-25-15
PLANNING	9-1-15

RICHARD A. HARTMAN
 A.L.A.
 ARCHITECT OF RECORD
 65 NORTH FIRST STREET, SAN JOSE, CA 95112
 HOMETEC ARCHITECTURE, INC.

NEW HOUSE FOR
TERRY PRIES
 PARCEL #3, BRUARWOOD, CAMPBELL, CA

Date: 6-25-15
 Scale: 1/4" = 1'-0"
 Drawn: KAH
 Job: 15-016
 Sheet: 3A-6 of 3

GRADING AND DRAINAGE NOTES

- CALIFORNIA BUILDING CODE**
ALL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE.
- C.S.H.A. REGULATIONS**
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE C.S.H.A. REGULATIONS.
- GEOTECHNICAL (G.O.B.S) REPORT**
THE ENGINEER OF WORK HAS DESIGNED THIS PROJECT TO COMPLY WITH THE GRADING RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL (G.O.B.S) REPORT PREPARED BY STEVEN F. FORNICE & ASSOCIATES ENGINEERING COMPANY, INC. DATED JUNE 28, 2016, PROJECT NO. 16-0044.
- SPECIFICATIONS AND OBSERVATIONS**
ALL GRADING AND DRAINAGE WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON. THE SOILS IDENTIFICATION OF WORK ARE CITY (S&S-20) SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNAPPROVED GRADING WORK SHALL BE STOPPED AND REPAIRED UNDER OBSERVATION.
- NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM**
IN THE EVENT OF ANY GRADING OR BUILDING PERMITS, THE APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS AND THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK PREPARED BY THE STORM WATER QUALITY TASK FORCE, SANTA CLARA VALLEY WATER DISTRICT AND THE CITY OF CAMPBELL MUNICIPAL CODE REGARDING STORM WATER POLLUTION PREVENTION.
- LOCAL NON-POINT SOURCE ORDINANCE**
COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- UNDERGROUND UTILITIES AND STRUCTURES**
THE EXISTING AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY. THE CITY OF CAMPBELL WARNS NO CLAIMS OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- EROSION CONTROL**
EROSION CONTROL PLANNING AND OTHER SOIL RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL EXPOSED AREAS. SEE LANDSCAPE PLAN FOR APPROVED FIELD WORK GUIDES.
- UTILITY ELEVATION VERIFICATION**
THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS FOR DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND THOSE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- UTILITY CROSSINGS**
THE CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ACHIEVE THE MINIMUM CLEARANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- GRADING REQUIREMENTS**
DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL REMOVE AREAS THAT WILL NOT COMPLY WITH GRADING. THE GROUND SURFACE SHALL BE MAINTAINED AT A MINIMUM SLOPE OF 2% FOR AT LEAST 5 FEET. MINIMUM SLOPE SHALL OTHER CASES SHALL BE 10:1 LESS THAN 1%.
- GRADED SITE ELEVATIONS**
ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET CURB AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 10 INCHES (USE AND PLUS 2 INCHES). THE CONTRACTOR SHALL VERIFY THE EXISTING ELEVATIONS. PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- CLEAN, SAFE AND USABLE PUBLIC RIGHT-OF-WAY AND PRIVATE PROPERTY**
THE PERMITEE SHALL MAINTAIN THE ORIGINAL ORIGINAL GRADE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY AND OFF-ROAD PORTION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- TOPOGRAPHY SURVEY**
THE TOPOGRAPHY SURVEY MADE BY TUCKER ENGINEERING, INC. 1776 TECHNOLOGY DRIVE SAN JOSE, CA. 95110 ON 10/16/2015.
- TREE REMOVAL AND PRESERVATION**
THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE PLANNING DEPARTMENT.
- PROJECT PLANS**
THIS PLAN IS PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE. FOR DETAILS AND DIMENSIONS. PORTALS AND WALLS ARE NOT PART OF THESE PLANS.
- FINAL LETTER OF INSPECTION**
THE SOLE ENGINEER OR ENGINEER OF WORK SHALL PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING.
- GRADE EVENING**
THE CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- APPROVAL OF PLANS**
APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT, AND CONNECTION OF NATURAL SAND OR NATURAL MATERIAL. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPECTIVE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- WELL LOCATIONS**
ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN IDENTIFIED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY THE SANTA CLARA VALLEY WATER DISTRICT. CALL 408-253-8000 FOR INFORMATION AS TO APPROVED POLYURETHANE CEMENT CEMENTS OF ALL WELL ABANDONMENTS.
- EARTHWORK QUANTITIES**
THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE GRADING PLAN REVENUE AND PERMIT FEES.
- ELEVATION ADJUSTMENTS**
ADJUSTMENTS OF PAVES OR PAVING LOT ELEVATIONS TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER OF WORK AND THE CITY OF CAMPBELL BUILDING DEPARTMENT.
- TRUCK ROUTE**
THE TRUCK ROUTE SHALL BE:
USION ARE SOUTH TO BACON AVE. SOUTHWEST TO CAMDEN AVE. NORTH TO HIGHWAY 17.
- CONTRACTOR RESPONSIBILITIES**
THE PERMITEE DRAFTER AND/OR ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR THE PRACTICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTORS OF THE CONTRACTOR OR SUBCONTRACTORS' NEGLIGENCE OR ACCIDENTS ON WORK ON THIS PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- NEAT AND CLEAN PREMISES**
DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION. DEPOSITS OF REFUSE IN A SATISFACTORY MANNER AS OTHER DIRECTED, SHALL BE NECESSARY SO THAT THESE SHALL AT NO TIME BE NEARER THAN 10 FEET FROM A HOUSE OR

ON-SITE GRADING & DRAINAGE PLANS

PROJECT STREET ADDRESS: 738 BRIARWOOD WAY
BUILDING PERMIT NO. BLD 2016-00844
ASSESSORS PARCEL NO. 412-37-009
PARCEL MAP



CITY OF CAMPBELL
DEPARTMENT OF PUBLIC WORKS



AGENCY INDEX

SANTA CLARA COUNTY FIRE DEPARTMENT	(408) 378-4010
CITY OF CAMPBELL - PUBLIC WORKS	(408) 866-2150
CITY OF CAMPBELL - POLICE	(408) 866-2121
S&S TELEPHONE	(408) 911-3000
PACIFIC GAS & ELECTRIC	(408) 973-6980
SAN JOSE WATER COMPANY	(408) 279-7600
SANTA CLARA VALLEY WATER DISTRICT	(408) 253-8000
COMCAST CABLE TELEVISION	(408) 452-9100
WEST VALLEY SANITATION DISTRICT	(408) 378-2407

ABBREVIATIONS

AB	AGGREGATE BASE	L0L	LAYOUT LINE
AC	ASPHALT CONCRETE	MAX	MAXIMUM
BC	BEGIN CURVE	MH	MANHOLE
BCR	BEGIN CURBS RETURN	MIN	MINIMUM
CL	CLASS	OG	ORIGINAL GRADE
DA	DIAMETER	PB	PULL BOX
DWY	DRIVEWAY	PCC	PORTLAND CEMENT CONCRETE
ED	EDGE DRAIN	PVC	POLYVINYL CHLORIDE
EX	EXISTING	R	RADIUS
FC	FACE OF CURB	RCP	REINFORCED CONCRETE PIPE
FG	FINISH GRADE	RAW	RIGHT-OF-WAY
PC	PORTLAND CEMENT CONCRETE	STA	STATION
PH	FIRE HYDRANT	TC	TOP OF CURB
INV	INVERT	TEMP	TEMPORARY
IRR	IRRIGATION	TYP	TYPICAL

26. ANY ABANDONED UNDERGROUND PIPES
THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.

27. HUMAN REMAINS
IF HUMAN REMAINS ARE DISCOVERED DURING THE CONSTRUCTION UNLESS THE CONTRACTOR HAS NOTICED THE PERMITEE IN WRITING THAT THE REMAINS DISCOVERED HAVE BEEN DETERMINED NOT TO BE NATIVE AMERICAN, THE PERMITEE SHALL NOTIFY ALL PERSONS ON THE CITY'S NATIVE AMERICAN NOTIFICATION LIST OF SUCH DISCOVERY. SUCH NOTIFICATION SHALL BE SENT BY FIRST CLASS U.S. MAIL WITHIN 24 HOURS OF THE DATE ON WHICH THE PERMITEE NOTICED THE CONTRACTOR AND SHALL STATE THAT THE CONTRACTOR HAS BEEN NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW.

28. MAINTENANCE PROCEDURES
THE CONTRACTOR SHALL ADVISE THE OWNER OF APPROPRIATE MAINTENANCE PROCEDURES OF THE DRAINAGE SYSTEMS.

29. DUST CONTROL
ALL EXPOSED OR EXCAVATED SOIL SURFACES SHALL BE WATERED AS NECESSARY, BUT NOT LESS THAN TWICE DAILY TO CONTROL DUST. AREAS OF EXCAVATION AND GRADING OPERATIONS SHALL BE CONTINUOUSLY WATERED TO CONTROL DUST. GRADING OR OTHER DUST-PRODUCING ACTIVITIES SHALL BE SUSPENDED DURING PERIODS OF HIGH WIND WHEN DUST IS HEAVILY VISIBLE IN THE AIR. STOCKPILES OF SOIL, DEBRIS, SAND, OR OTHER DUST-PRODUCING MATERIALS SHALL BE WATERED OR COVERED. THE CONTRACTOR SHALL WATER THE SURROUNDING STREETS SHALL BE SWEEPED (NO WATER) AS NECESSARY, BUT NOT LESS THAN TWICE DAILY.

30. CONSTRUCTION MITIGATION MEASURE
HOURS OF CONSTRUCTION SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. MONDAY THROUGH FRIDAY, AND 8:00 A.M. TO 4:00 P.M. ON SATURDAY. CONSTRUCTION ACTIVITIES SHALL NOT TAKE PLACE ON SUNDAYS AND HOLIDAYS.

31. CONSTRUCTION PERIMETER RETENTION WALLS
ALL PROPERTY LINE RETENTION WALLS SHALL BE MADE OF CONCRETE OR MASONRY.

32. STORMWATER TREATMENT FACILITIES
ALL STORMWATER TREATMENT FACILITIES REQUIRING PUBLIC WORKS INSPECTIONS, CALL 408-866-2170 TO SCHEDULE INSPECTIONS #84-OURS 1902.

Earthwork Quantities

FILL:	87 CY
CUT:	207 CY
IMPORT:	-
EXPORT:	130 CY

CITY OF CAMPBELL
PLANNING DIVISION CLEARANCE

PLAN CHECK # _____
APPROVED BY: _____
DATE: _____

THESE PLANS HAVE BEEN REVIEWED AND FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE DESIGN AND PURPOSE OF THE ENVIRONMENTAL REGULATORY SCHEME OR _____ IN CAMPBELL, CALIFORNIA. INSPECT AND SIGNATURE OF THE CITY ENGINEER OF WORK SHALL BE OBTAINED FROM THE BUILDING DEPARTMENT BEFORE ANY PERMITS ARE ISSUED.

DATE: _____

DATE: _____

CITY OF CAMPBELL
PUBLIC WORKS DEPARTMENT CLEARANCE

THIS PLAN WITH ATTACHED DOCUMENTS HAS BEEN REVIEWED FOR CONFORMANCE WITH THE CITY OF CAMPBELL AND STATE OF CALIFORNIA, CODES AND THE CONSTRUCTION REGULATORY SCHEME. THE CITY ENGINEER OF WORK HAS REVIEWED THIS PLAN AND HAS NOTICED NO DEFICIENCIES. THIS PLAN SHALL NOT BE CHANGED OR MODIFIED WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER OF WORK. ANY CHANGES TO THIS PLAN SHALL BE MADE IN ACCORDANCE WITH THE PLAN AND ALL APPLICABLE CODES. THIS APPROVAL SHALL NOT BE HELD TO PREVENT OR DETERMINE AS TO BE AN APPROVAL OF A VIOLATION OF ANY CITY OR STATE LAW.

DATE: _____

INDEX OF DRAWINGS

TITLE	SHEET
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LEGEND

EXISTING	PROPOSED
SIDEWALK, CURB AND GUTTER	
CENTER LINE	
PROPERTY LINE	
EDGE OF PAVEMENT	
DRIVEWAY	
POC OR AC REMOVAL	
STANDARD CITY MONUMENT	
BENCH MARK	
MANHOLE	
STORM DRAIN INLET	
WATER METER VALVE	
FIRE HYDRANT	
STREET LIGHT	
POWER POLE	
PULL BOX	
CABLE TELEVISION LINE	
ELECTRICAL LINE	
IRRIGATION LINE	
NATURAL GAS LINE	
OVERHEAD LINE	
SANITARY SEWER LINE	
STORM DRAIN LINE	
TELEPHONE LINE	
WATER LINE	
TRAFFIC SIGNAL CONDUIT	
LIGHTING CONDUIT	
ROADSIDE SIGN & SIGN CODE	
FENCE	
TREE/SHRUB	

BENCHMARK

ELEVATION: 207.79
LOCATION: 840 MCCLINGEY LN. @ UNION AVE.
DESCRIPTION: 2"X 4" BRASS DISK IN TOP OF CURB.

SEAL OF ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXTENDED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS EXPRESSED IN THIS SEAL OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSIDERED WITH CURRENT STANDARDS.

THE DESIGN SHOWS DESIGN IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY NATURAL DRAINAGE PLOTS FROM ASSUMED PROPOSED JOB INCREASE DRAINAGE TO ADJACENT PROPERTIES.

THE DESIGN INCLUDES PRINCIPLES AND TECHNIQUES TO SERVICE QUANTITY AND IMPROVE THE QUALITY OF STORM WATER INFLOW, AS REQUIRED BY NPDES.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

TERENCE J. SEKOWITZ, P.E., C.E.C. 38327
1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110
(408) 452-6588

EXPIRATION DATE: 09/30/17

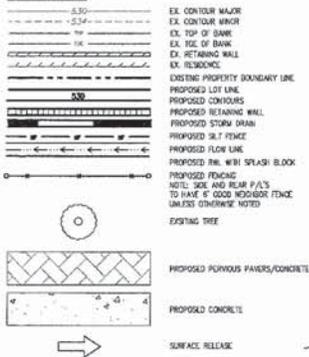
Revision: _____
Date: 9-15-16
No. _____
Title: GRADING AND DRAINAGE PLANS
Drawn By: TJS
Designed By: TJS

TUCKER ENGINEERING, INC.
1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110
(408) 452-6588
TUCKER ENGINEERING, INC. CIVIL ENGINEERING
TUCKER ENGINEERING, INC. CIVIL ENGINEERING
TUCKER ENGINEERING, INC. CIVIL ENGINEERING

TITLE SHEET
GRADING AND DRAINAGE PLANS
738 BRIARWOOD WAY CAMPBELL, CA
APN: 412-37-009 BUILDING PERMIT NO. BLD 2016-00844

SCALE: AS NOTED
SHEET: C-1
OF 7

LEGEND



DESIGNED UNDER THE SUPERVISION OF

 THOMAS S. SWEENEY
 CIVIL ENGINEER
 EXPIRES 12/15/18

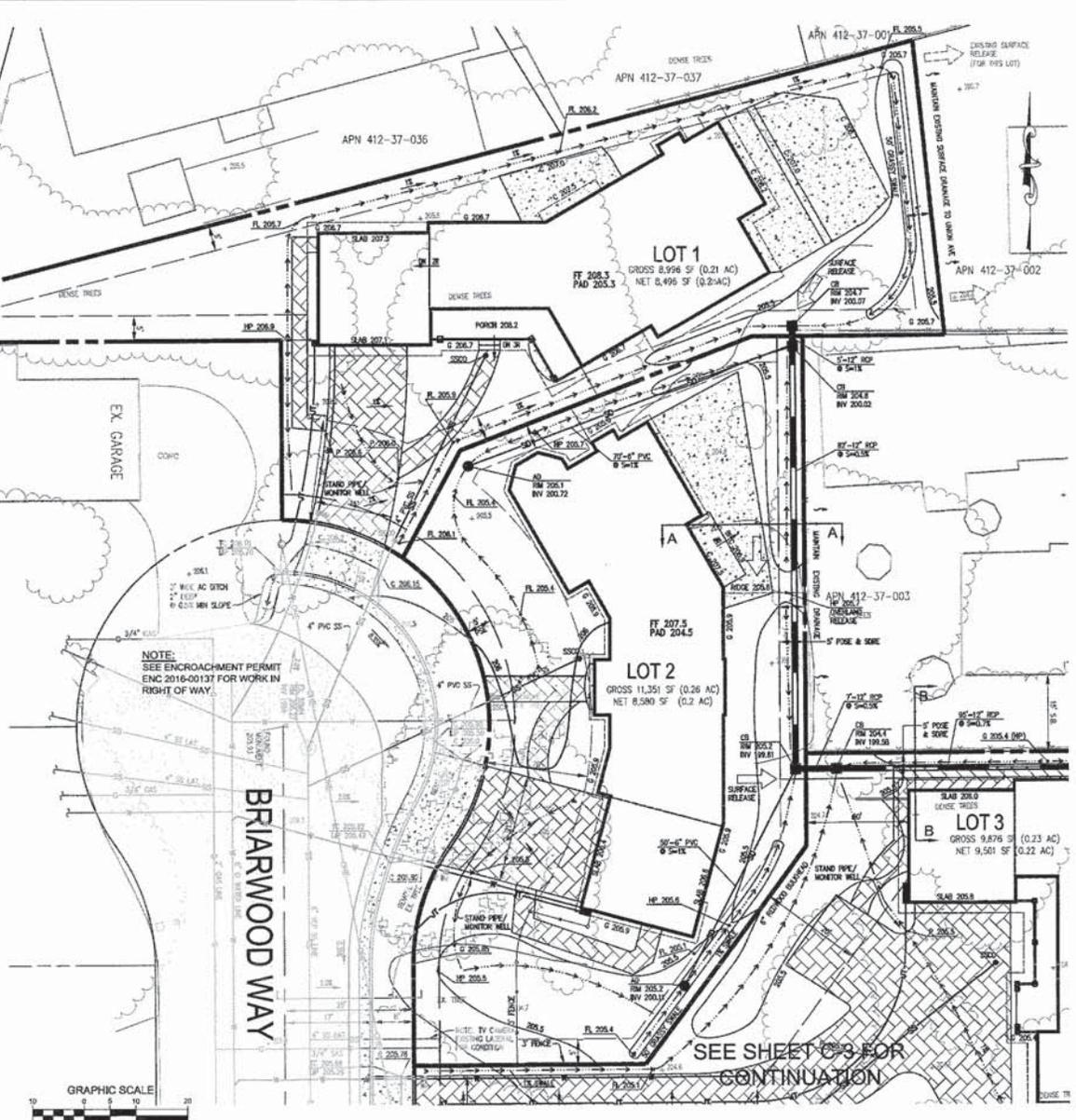
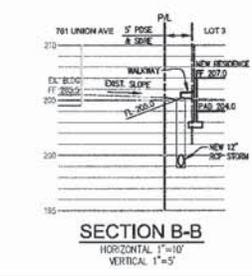
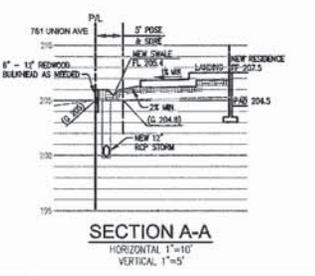
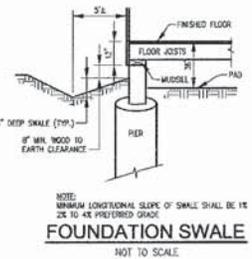
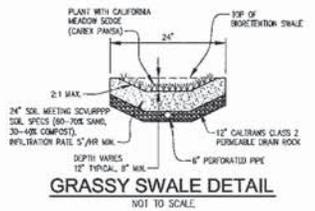
EARTHWORK SUMMARY

	CUT (CY)	FILL (CY)
DRIVEWAY	0	20
GARAGE	0	10
HOUSE	207	0
REAR YARD	0	67
TOTAL	207	97

*110 CY TO BE HAULED OFF TO LEGAL DUMP SITE

IMPERVIOUS COVERAGE

	EXISTING CONDITION SITE (SQ. FT.)	PROPOSED CONDITION SITE (SQ. FT.)
DRIVEWAY	0	0
RESIDENCE	3,380	7,163
CONC. PATIOS	2,254	1,899
TOTAL	5,634	9,052
PERCENTAGE	21.2%	34.1%

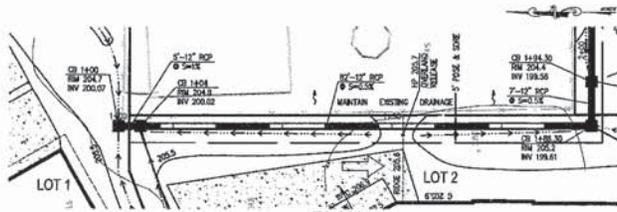


GRADING AND DRAINAGE PLAN
 GRADING AND DRAINAGE PLANS
 750 BRIDGEMAN AVENUE, SUITE 100
 SAN ANTONIO, TEXAS 78205
 APN: 412-37-009 BUILDING PERMIT NO. BLD-2016-00844

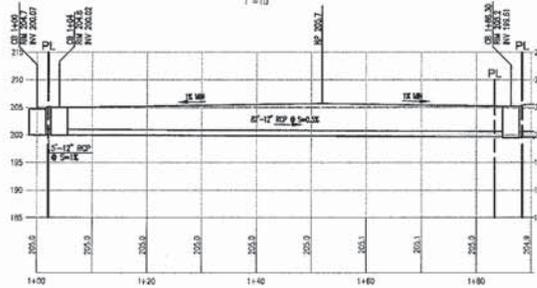
DATE: 9-15-16
 DRAWN BY: DKE
 CHECKED BY: JES

SCALE: AS NOTED
 SHEET: 12C-2
 OF 7

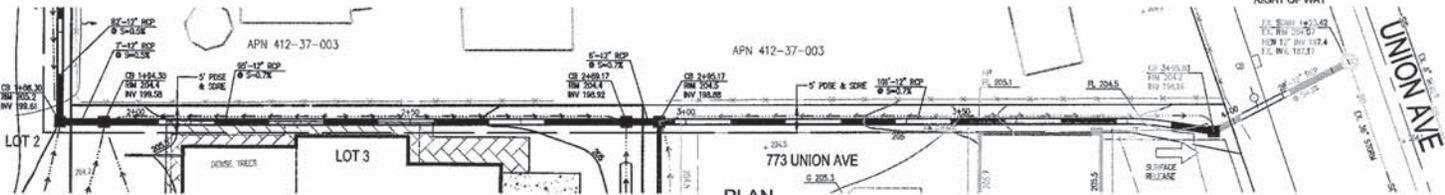
THOMAS SWEENEY, INC.
 15222
 CIVIL ENGINEERING
 15222
 15222
 15222



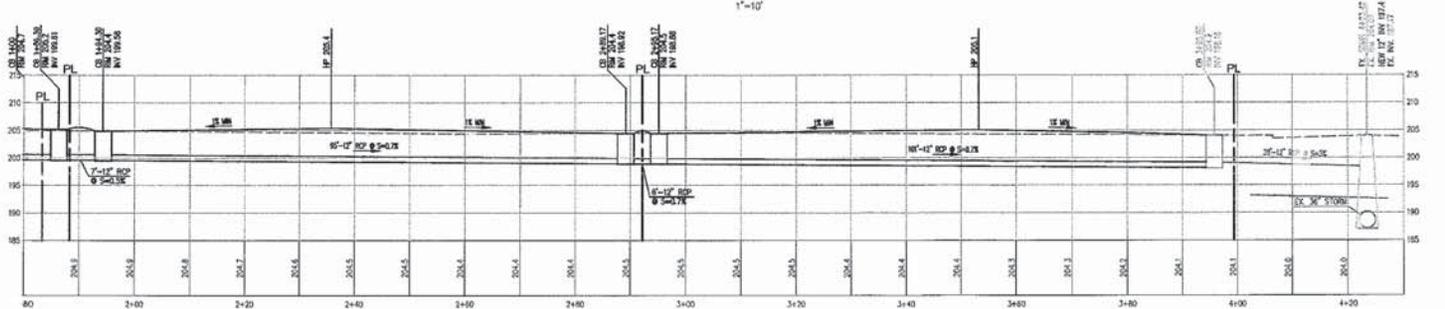
PLAN
1"=10'



PROFILE
1"=10'



PLAN
1"=10'



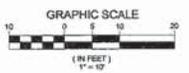
PROFILE
1"=10'

NOTE:
SEE ENCROACHMENT PERMIT
ENC 2016-00145 FOR WORK IN
RIGHT OF WAY

UNION AVE
D. 2' 0.00'
D. 2' 0.00'



DATE: 9-15-10	NO.:	BY: CHAD
DRAWN BY: DKE	REVISION:	
DESIGNED BY: TJS		
TRAVIS ENGINEERING, INC. 4915 TECHNOLOGY DRIVE SUITE 200 SAN ANTONIO, TEXAS 78238 TEL: 214.512.2200 FAX: 214.512.2201		
TRAVIS ENGINEERING CIVIL ENGINEERING		
ONSITE STORM DRAIN PLAN/PROFILE 738 BIRCHWOOD WAY CAMPBELL CA APN: 412-37-009 BUILDING PERMIT NO BID 2016-00944		
SCALE: 1"=10' SHEET: 7 OF 7		



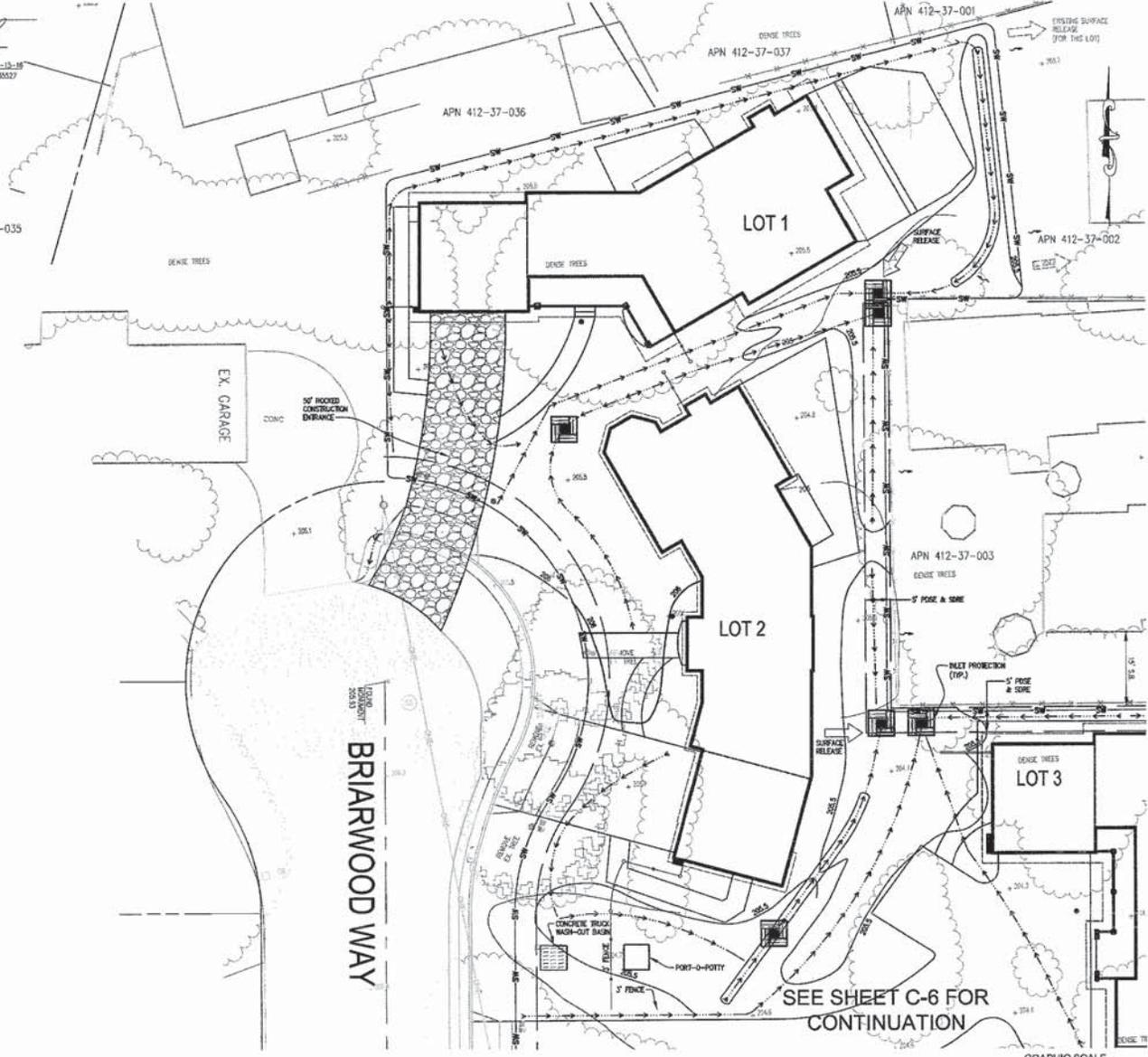
EROSION CONTROL LEGEND

-  ROOVED CONSTRUCTION ENTRANCE
-  CONCRETE TRUCK WASH-OUT BASIN
-  STRAW BATTLES
-  INLET PROTECTION
-  PORT-O-POTTY

DESIGNED UNDER THE SUPERVISION OF

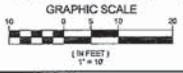
 RESIDENCE & SOLICITORS
 EXPIRATION DATE: 01/31/2025

APN 412-37-035



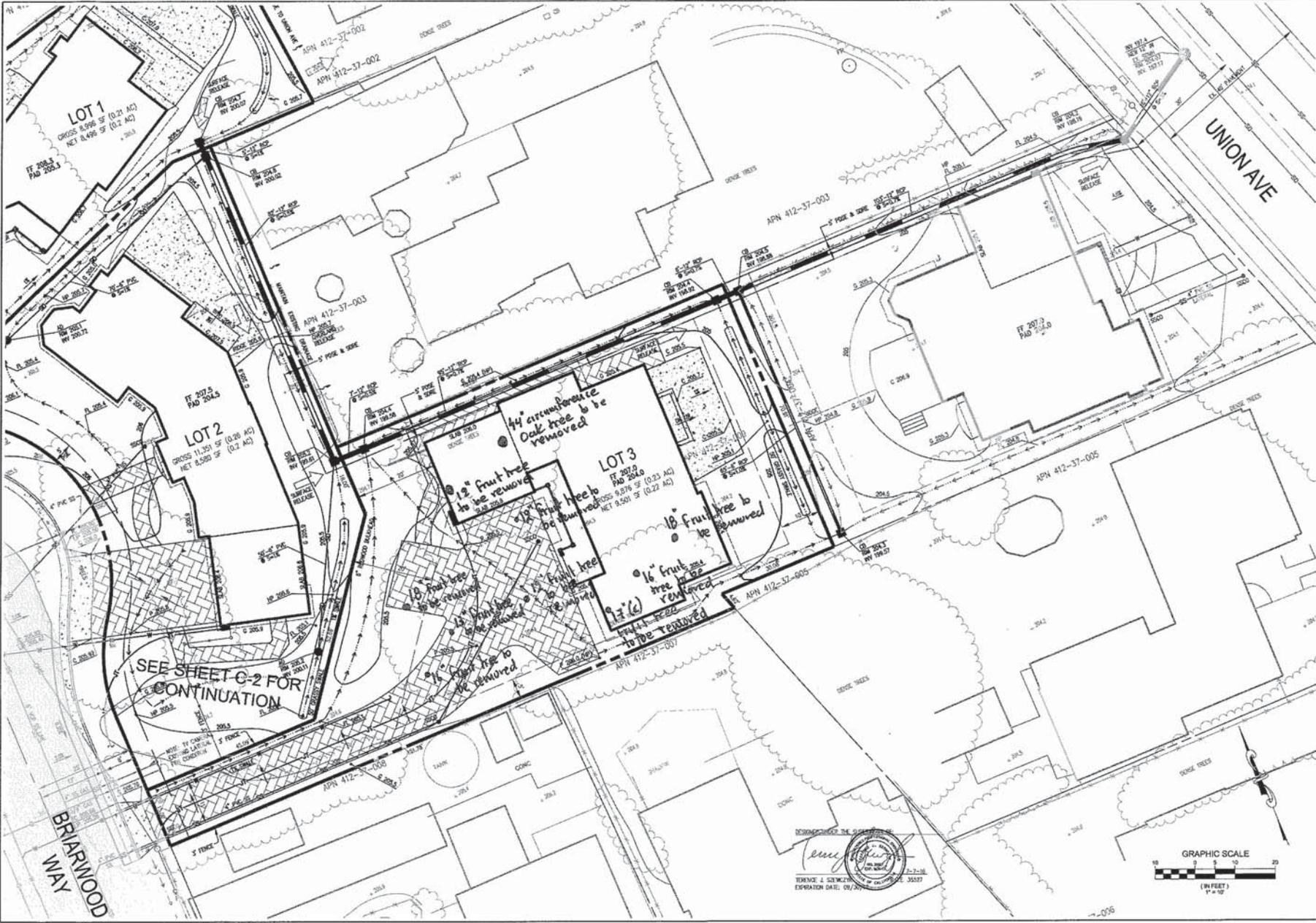
BRIARWOOD WAY

SEE SHEET C-6 FOR CONTINUATION



 TACK ENGINEERING, INC. 3750 SHERIDAN AVE. SUITE 200 SAN JOSE, CA 95128 TEL: (415) 488-2700 FAX: (415) 488-2888 WWW.TACKENGINEERING.COM	No. 9-16-10 Date: 9-16-10 Drawn By: DHE Designed By: TJS	Revision Date By (Initial)
	EROSION CONTROL PLAN GRADING AND DRAINAGE PLANS 738 BRIARWOOD WAY CAMPBELL, CA APN: 412-37-009 BUILDING PERMIT NO BID 2016-00844 09/15/2016 10:45am - R:\2012 jobs\12-238\plan\12-238 ONSITE CS EROSION CONTROL PLAN.dwg - C5	

SCALE:
 AS NOTED
 SHEET:
12C-5
 OF 7



	SCALE: AS NOTED	SHEET: C-A OF C-A
	DATE: 7-7-16 DRAWN BY: DHE DESIGNED BY: JAS	
GRADING AND DRAINAGE PLAN 738 BULLWOOD BUILDING PERMIT NO. CA APN: 412-37-009 BUILDING PERMIT NO.		
TESSA ENGINEERING, INC. 738 BULLWOOD DRIVE SAN FRANCISCO, CA 94111 TEL: (415) 435-2333 FAX: (415) 435-2334		

07/07/2016 2:56pm - R:\2012\2012-236\12-236\0312 C3\0312016\PLN.dwg - C3