



**CITY OF CAMPBELL**  
**Community Development Department**

November 4, 2016

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on **Thursday, November 17, 2016**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Martin East Coast Pizzeria, Inc., for a Conditional Use Permit (PLN2016-320) and a Modification (PLN2016-321) to a previously-approved Administrative Planned Development Permit (PLN2006-71) to allow beer and wine service ("liquor establishment") in conjunction with an existing restaurant (Sal's Pizza) on property located at **533 E. Campbell Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

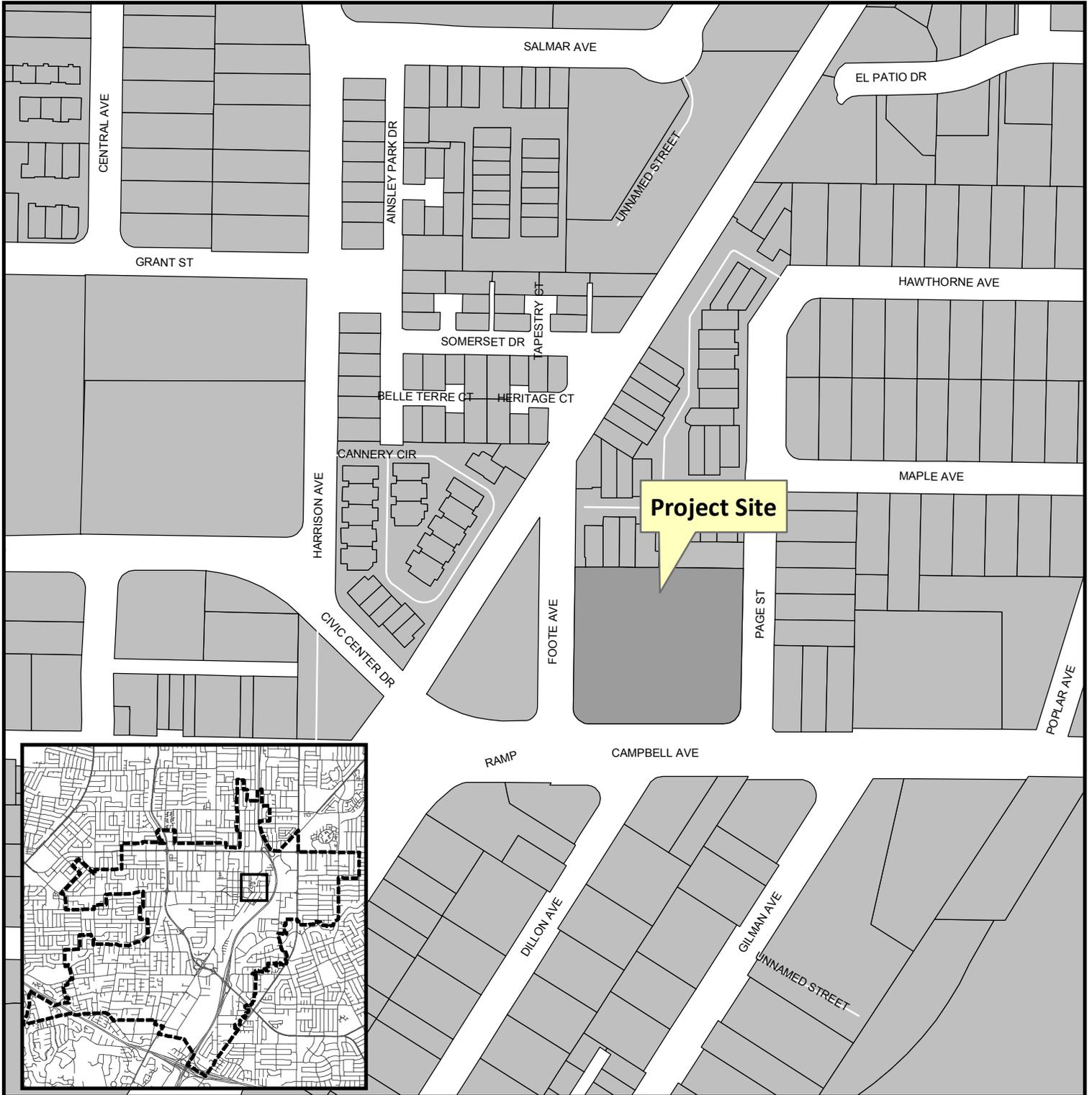
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **533 E. Campbell Avenue**

# Project Location Map

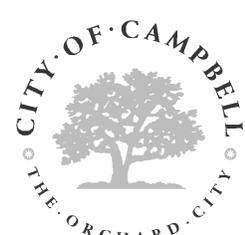


**Project Location:** 533 E. Campbell Ave.

**Application Type:** Conditional Use Permit /  
Mod. to Admin. P-D Permit

**Planning File No.:** PLN2016-320,321

**Description:** Beer and wine service for Sal'z Pizza



Community Development Department  
Planning Division

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CITY OF CAMPBELL  
PLANNING DEPT.

Regarding: Sal's Pizza Beer and wine license

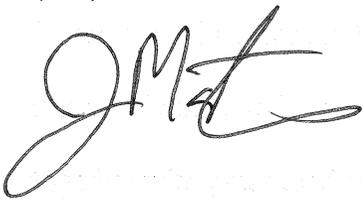
To whom it may concern,

We propose to add beer and wine to our menu in the upcoming months. We would like to grow our retail service and be a restaurant that people from the community can come enjoy a beer and watch sports. We are not changing the layout at all, (we will not exceed 39 seats) we just want to have more of a welcoming feel and better atmosphere. We think this will both benefit us and the community as the plan is to bring the community together with great food and a better ambiance. We do not anticipate an uptake in noise as we will be closing at 10 pm and anticipate more of a sports fans atmosphere. We want to support local breweries and highlight Campbell and the community as well as be a place to bring everyone together. Our intention is to become a place where the Campbell community can be proud of.

Thank you for your time,

Jason Martin

(408) 515-7158





### GENERAL NOTES

- ALL WORK TO BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS, CODES, AND ORDINANCES.
- ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION TO BE DESIGN / BUILT BY SUBCONTRACTORS. ALL SUBCONTRACTORS REQUIRED TO OBTAIN ALL REQUIRED PERMITS AND PROVIDE ANY REQUIRED DOCUMENTATION FOR OBTAINING PERMITS.
- ELECTRICAL SUB TO PROVIDE ALL CODE REQUIRED CONVENIENCE OUTLETS.
- ELECTRICAL SUB TO COORDINATE WITH KITCHEN VENDOR FOR POWER LOCATION FEEDS.
- FIRE PROTECTION SUB TO DESIGN AND RELOCATE SPRINKLER HEADS TO PROVIDE PROPER COVERAGE PER CODE.
- HVAC SUB TO DESIGN AND RELOCATE EXISTING HVAC DUCTWORK, SUPPLY AND RETURN GRILLES AS REQUIRED PER LAYOUT.
- EMERGENCY LIGHTING & EXIT SIGNS NOT SHOWN TO BE DESIGNED BY ELECTRICAL DESIGN / BUILD SUB-CONTRACTOR.

### EQUIPMENT LIST

KEY	DESCRIPTION
1	NSF WALK-IN COOLER
2	BARGO REHEATING OVEN ELECT 110V / 20AMP
3	4FT PIZZA PREP TABLE
4	1/2HP 3 DOOR COKE COOLER ELECT 110V / 20AMP
5	24V7" PIZZA DISPLAY CASE
6	3PKGT SLICE OVEN ELECT 200V / 50AMP
7	24V4" COLD PASTERY CASE ELECT 110V / 20AMP
8	24V7" BRY BAKERY CASE 3P W/HT - TOP OF TRANSACTION TOP ELECT 110V / 20AMP
9	VEGETABLE SINK
10	NSF SINK
11	NSF 3 BAY SINK
12	NSF 1 BAY SINK
13	96 LB GREASE TRAP
14	HOT WATER HEATER
15	ELECTRICAL BOX
16	24X48 PREP TABLE
17	MIXER ELECT T10
18	1/2HP SLICE TABLE
19	24X48 TABLE WITH SLICER ELECT 110V / 20AMP

#### GENERAL NOTE:

- PROVIDE (4) DUPLEX OUTLETS PER OWNER REQUIREMENTS IN KITCHEN AREA - 110V / 20 AMP
- PROVIDE DUPLEX OUTLETS PER CODE IN DINING AREA - 110V / 20 AMP

### TOILET ROOM ACCESSORY SCHEDULE

KEY	DESCRIPTION	MODEL NUMBER	QUANTITY
1	TOILET DISPENSER (ACCESSIBLE)	BORRICE B-279	ONE PER ACCESSIBLE TOILET
2	GRAB BAIL SET (42")	BORRICE B-500	TWO PER ACCESSIBLE TOILET
3	PAPER TOWEL DISPENSER	BORRICE B-5020	ONE PER ACCESSIBLE TOILET
4	MIRROR UNIT	BORRICE B-501	ONE PER ACCESSIBLE TOILET

### ROOM FINISH SCHEDULE

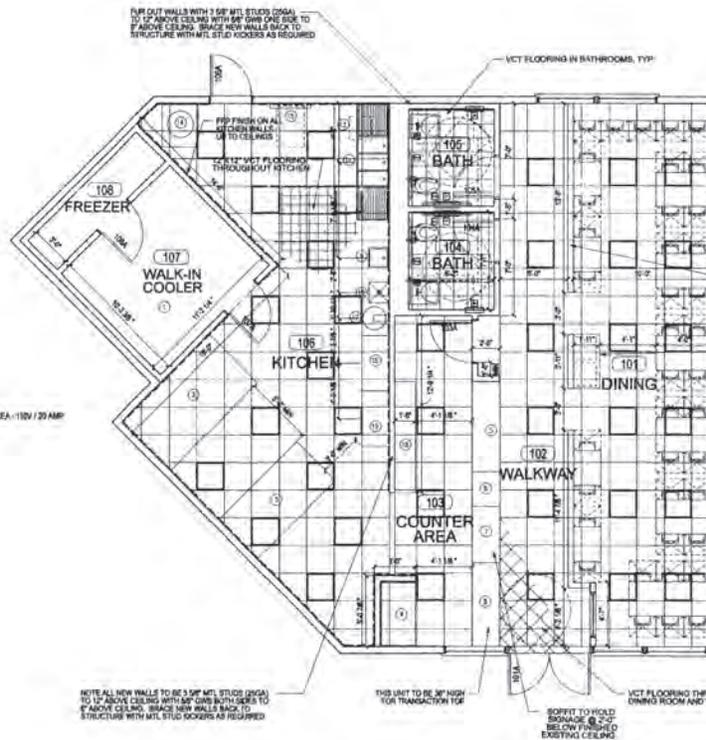
ROOM NUMBER	ROOM NAME	BASE	WALLS				FLOOR	CEILING		ROOM NUMBER
			NORTH	SOUTH	EAST	WEST		MATERIAL	HEIGHT	
101	DINING	FB	PT	PT	PT	PT	VCT	ACT	8'-0"	101
102	WALKWAY	FB	PT	PT	PT	PT	VCT	ACT	8'-0"	102
103	COUNTER AREA	FB	PT	PT	PT	PT	VCT	ACT	8'-0"	103
104	BATHROOM	FB	PT	PT	PT	PT	VCT	ACT	8'-0"	104
105	BATHROOM	FB	PT	PT	PT	PT	VCT	ACT	8'-0"	105
106	KITCHEN	FB	PT	PT	PT	PT	VCT	ACT	8'-0"	106
107	WALK-IN COOLER	-	-	-	-	-	-	-	-	107
108	WALK-IN FREEZER	-	-	-	-	-	-	-	-	108

NOTE:  
VCT TO BE ARMYSTRONG EXCELSON OR EQUAL 204 WITH 15/16" GRID

### DOOR SCHEDULE

DOOR NO.	SIZE	DOOR MATERIAL	ELEVATION	GLAZING	FRAME			HWS	FIRE RATING (MFI)	DOOR NO.	REMARKS
					MATERIAL	ELEVATION	HEAD				
101A	3'0"X7'0"	EXISTING						1		101A	EXISTING
102A	3'0"X7'0"	WOOD	F		HW	A		4		102A	
103A	3'0"X7'0"	WOOD	F		HW	A		3		103A	
104A	3'0"X7'0"	WOOD	F		HW	A		3		104A	
105A	3'0"X7'0"	EXISTING						2		105A	EXISTING
107A	3'0"X7'0"	DOOR SUPPLIED AND INSTALLED WITH WALK-IN COOLER									
108A	3'0"X7'0"	DOOR SUPPLIED AND INSTALLED WITH WALK-IN COOLER									

NOTE: ALL EXTERIOR DOORS ARE CONSIDERED EXISTING



#### HWS 1

- 2 SETS PUSH/PULL (FULL HEIGHT OF DOOR)
- 1 1/2\"/>

#### HWS 2

- 1 1/2\"/>

#### HWS 3

- 1 1/2\"/>

#### HWS 4

- 1 1/2\"/>

\* NOTE: CUBE 3 STUDIO IS NOT LIABLE FOR COMPLIANCE WITH ANY CALIFORNIA BUILDING CODES AND APPLICABLE ACCESSIBILITY CODES. CUBE 3 STUDIO HAS NOT COMPLETED ANY CODE REVIEW OF THIS PROJECT. CUBE 3 STUDIO IS ALSO NOT LIABLE FOR EXISTING SHELL BUILDING DIMENSIONS AND ALL DIMENSIONS SHOULD BE FIELD VERIFIED.

\* NOTE: ALL WORK INCLUDING ALL PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE PROTECTION TO BE DESIGNED AND INSTALLED PER ALL APPLICABLE STATE, LOCAL, & FEDERAL CODES BY DESIGN / BUILD CONTRACTOR