



CITY OF CAMPBELL
Community Development Department

December 12, 2016

NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

File No.:	PLN2016-327
Applicant:	Sheila Brennan
Project Address:	1706 Ebbets Dr
Property Owner:	Sheila Brennan
Zoning District:	R-1-6 (Single-Family Residential)
General Plan:	Low Density Residential
Project Description:	163 square-foot one-story addition to the side of an existing single-family residence.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on December 12, 2016 and ends on December 22, 2016. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **December 22, 2016**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Naz Pouya, Planning Technician, in the Community Development Department, at (408) 866-2144 or by email nazp@cityofcampbell.com.

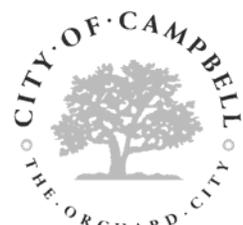
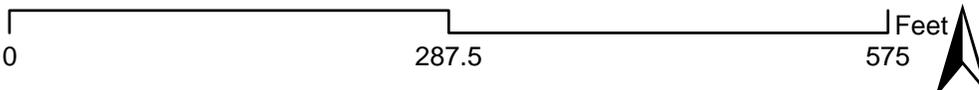
Project Location Map



Project Location: 1706 Ebbets Dr.

Application Type: Admin. Site and Arch. Review Permit

Planning File No.: PLN2016-327



Community Development Department
Planning Division

GREEN BUILDING NOTES

CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING IN COMPLIANCE WITH THE SUNNYVALE CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.

INTERIOR MATERIAL
ALL INSTALLED CARPET AND PAD CARPET SHALL MEET CARPET & RUG GREEN LABEL PLUS PROGRAM AND INDOOR CARPET AND PAD ADHESIVES SHALL NOT EXCEED 50 g/L VOC CONTENT.

COMPOSITE WOOD WOOD PRODUCTS SHALL MEET CARB AIR TOXICX CONTROL MEASURES FOR COMPOSITE WOOD PER CALGREEN TABLE 4.504.5

INTERIOR PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATINGS AND SUGGESTED CONTROL MEASURE AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL PAINTS. - SEE CALGREEN TABLE 4.504.3

LOW VOC PAINTS SHALL MEET BAAQMD VOC LIMITS AND PRODUCT WEIGHTED MIR LIMITS FOR ROC SEE CALGREEN TABLE 4.504.3

LOW VOC CAULKS, CONSTRUCTION ADHESIVES AND SEALANTS SHALL MEET SCAQMD RULE 1168. SEE CALGREEN TABLES 4.504.1 AND 4.504.2

TITLE-24 LIGHTING REQUIREMENT NOTES

- BATHROOMS SHALL HAVE AT LEAST ONE (1) HIGH EFFICACY FIXTURE. ALL OTHER BATHROOM FIXTURES SHALL BE HIGH EFFICACY OR CONTROLLED BY A VACANCY SENSORS.
- GARAGE, UTILITY AND LAUNDRY ROOMS SHALL HAVE HIGH EFFICACY FIXTURES AND SHALL BE CONTROLLED BY VACANCY SENSOR.
- EXTERIOR LIGHTS ATTACHED TO THE BUILDING SHALL BE HIGH EFFICACY OR LOW EFFICACY FIXTURES CONTROLLED BY A MOTION SENSOR IN COMBINATION WITH A PHOTO CONTROL, ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT SYSTEM AND CONTROLLED BY A MANUAL ON / OFF SWITCH.
- ALL OTHER ROOMS, INCLUDING HALLWAYS, SHALL HAVE HIGH EFFICACY FIXTURES, SENSOR OR DIMMER
- ALL RECESSED LUMIAIRES IN INSULATED CEILINGS SHALL BE CERTIFIED AS AIR TIGHT CONSTRUCTION IN ACCORDANCE WITH ASTM E39 IN ADDITION TO BEING IC RATED. CALIFORNIA ENERGY CODE SECTION 150(k)(12) SEPARATE SWITCHING SHALL BE PROVIDE FOR FLUORESCENT OR LED LIGHTING AND EXHAUST FAN COMBINATION UNITS. EXHAUST FANS MUST BE SWITCHED SEPARATELY FROM THE LIGHT FIXTURE OR THE LIGHTING SYSTEM MUST BE ABLE TO BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO TO BE ABLE TO OPERATE FOR AN EXTENDED PERIOD OF TIME. CEC SECTION 481(k)2B

ELECTRICAL NOTES:

- PROVIDE SMOKE DETECTOR IN EACH SLEEPING ROOM AND CENTRALLY LOCATED ON EACH FLOOR. SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACK UP POWER.
- ALL ELECTRICAL OUTLETS WITHIN 6 FEET OF WATER USE AREAS SHALL BE GFI OUTLETS.
- OUTLETS AT BEDROOMS SHALL BE ARC-FAULT INTERRUPTER (AFCI) TYPE
- GENERAL LIGHTING SOURCE IN NEW BATHROOMS AND WATER CLOSETS SHALL BE 40 LUMENS/WATT OR GREATER.
- RECESSED CEILING FIXTURES SHALL BE IC (INSULATION COVER) APPROVED IF APPLICABLE SEPARATE ELEC. CIRCUIT SHALL BE PROVIDED FOR NEW BATHROOM.
- PROVIDE 2 SEPARATE 20 AMP CIRCUITS FOR KITCHEN COUNTER RECEPTACLES.
- ALL 125 VOLT, 15 AND 20 AMP CIRCUITS IN SLEEPING AREAS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. RECEPTACLES SHALL BE LISTED TAMPER RESISTANT. AFFECTED OUTLETS: DUPLEX PLUGS, LIGHTS AND HARDWIRED SMOKE DETECTORS. INSTALL NEW CARBON MONOXIDE DETECTORS ON EACH FLOOR CENTRAL HALL OR COMMON AREA.
- BATHROOM LIGHTING SHALL NOT BE ON A OUTLET CIRCUIT. BATHROOM EXHAUST FAN SHALL BE SWITCHED SEPARATELY FROM LIGHT. EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND SHALL HAVE HUMIDITY CONTROL.

PLUMBING FIXTURE WATER CONSUMPTION REQUIREMENTS

TOILETS: 1.28 GAL. MAX.
SHOWERS: 2.0 GAL. PER MIN. (GPM) MAX
SINKS & LAV: 1.5 GPM MAX.
KITCHEN /UTILITY FAUCETS: 1.8 GPM MAX.

ALL HOT WATER PIPES WITHIN 24" OF WATER HEATER SHALL BE INSULATED W/ R-3 MIN.

PLUMBING / MECHANICAL NOTES:

- ALL EXHAUST DUCTS AND FANS SHALL TERMINATE 36" MIN. FROM PROPERTY LINES AND 36" MIN FROM OPENING IN THE BUILDING EXTERIOR WALL.
- MOISTURE EXHAUST DUCTS SHALL TERMINATE AT BUILDING EXTERIOR AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER.
- INSTALL NEW GAS FURNACE AT ATTIC. 60,000 BTUH, 0.80 AFUE MIN. INSTALL LIGHT AND ACCESS TO UNIT IN ATTIC. INSTALL ELECTRICAL OUTLET AT UNIT AT ACCESS

THIS PROJECT IS SUBJECT TO THE WATER - CONSERVATING PLUMBING FIXTURE REQUIREMENTS OF CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) SECTION 301.1.1 AND SENATE BILL SB 407 (2009)

SMOKE AND CO DETECTORS

INSTALL NEW SMOKE DETECTORS AT ALL BEDROOMS AND COMMON HALLWAY AREA ON FLOOR.

INSTALL NEW CARBON MONOXIDE DETECTOR AT HALLWAY

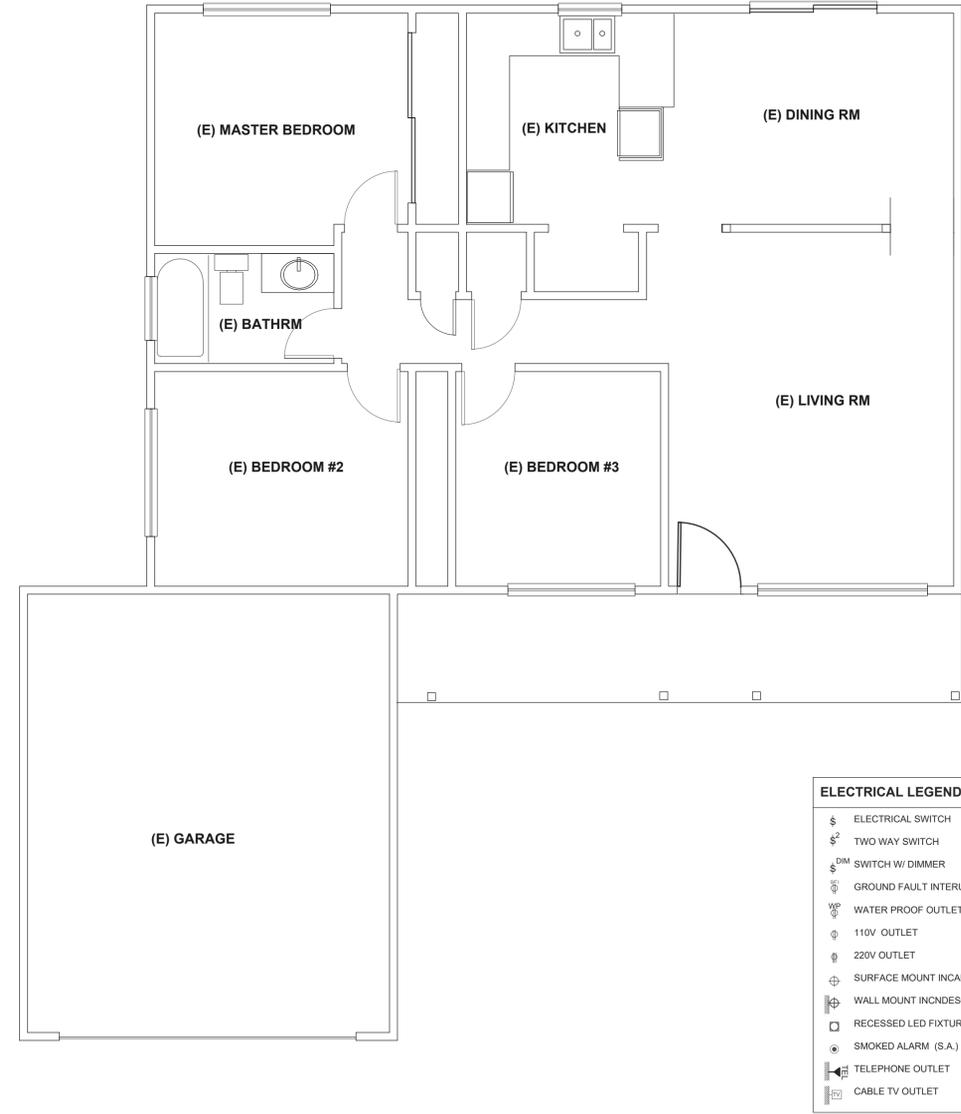
NEW SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP. DETECTORS SHALL BE INTERCONNECTED SO THAT ALL SOUND ALARM UPON ACTIVATION ON ANY ONE DETECTOR.

- PROVIDE WATERPROOF CEMENTIOUS BACKER BOARD WITH TILE TO 70" AROUND TUB / SHOWER STALL AND WATERPROOF "GREENBOARD" GYPSUM BOARD THROUGHOUT BATHROOM WALL AND CEILING
- BATHROOM FLOOR SHALL BE CERAMIC TILES W/ 4" MIN. HIGH TILED BASE WALL AT WALLS (NON ABSORBENT MATERIAL).

AT LEAST 50% OF INSTALLED WATTAGE MUST BE HIGH EFFICACY. INCLUDING NOOK.
ALL HOT WATER PIPES TO KITCHEN AND BATHROOM SHALL BE INSULATED.
BATHROOMS, UTILITY ROOMS, GARAGES, LAUNDRY ROOMS, HALLWAYS, STAIRS, SLOSETS (GREATER THAN 70SF)
ALL HARDWIRED LIGHTING MUST BE HIGH EFFICACY OR CONTROLLED BY A MANUAL OR MOTION ON/SENSOR.
EXTERIOR LIGHTING SHALL BE HIGH EFFICACY OR MOTION SENSOR/PHOTO SENSOR TYPE.
ALL NEW HEATING DUCTS REQUIRED TO BE SEALED AND INSULATED WITH R-6.0 MIN ISULATION.

KITCHEN LIGHTING SUMMARY

Luminaire Type	Efficacy		Watts	x	Quantity	=	High Efficacy Watts	or	Low Efficacy Watts
	High	Low							
L1	☑	☐	10	x	4	=	40	or	0
L2	☑	☐	8	x	3	=	24	or	0
	☐	☐		x		=		or	

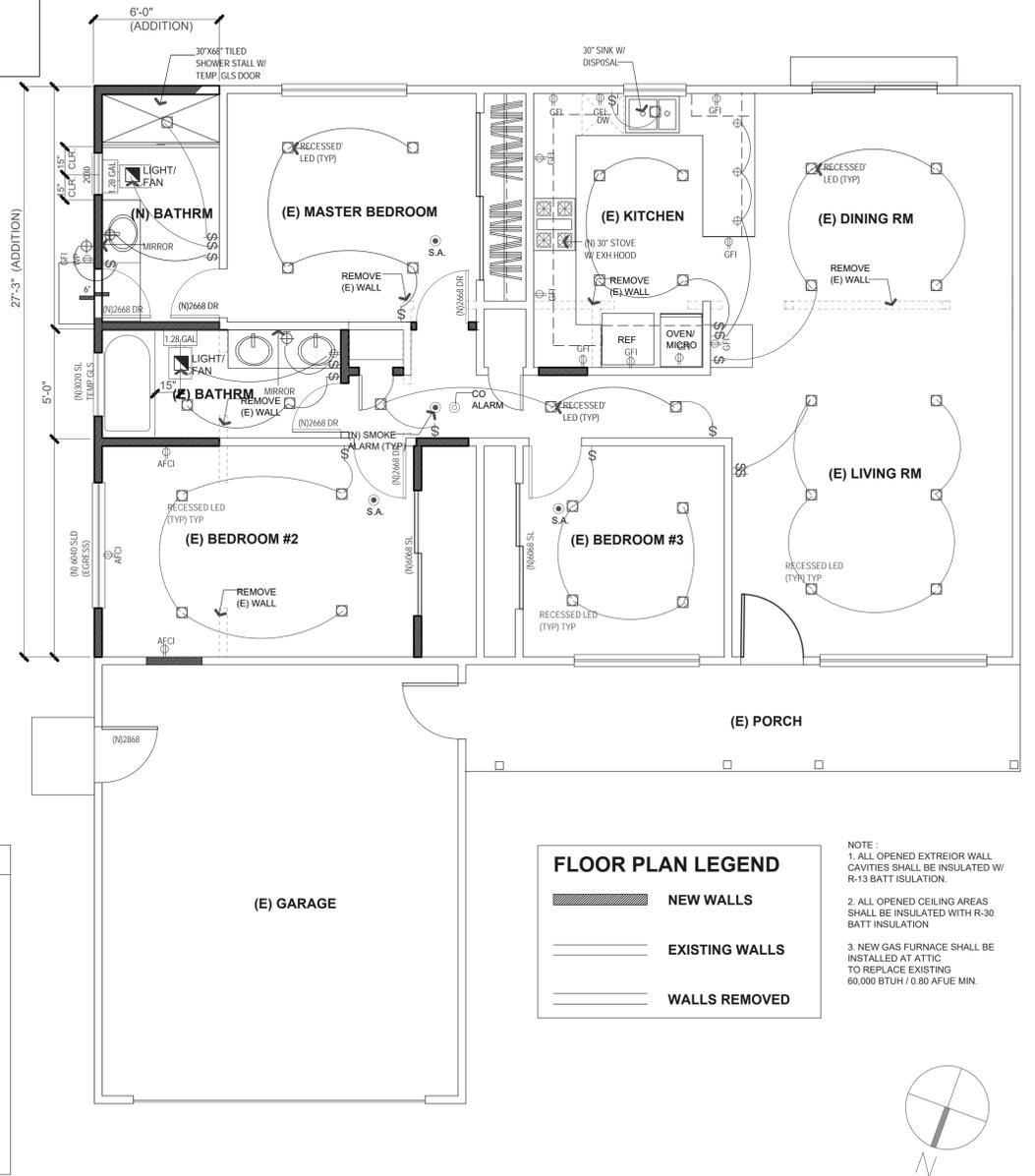


EXISTING FLOOR PLAN

ELECTRICAL LEGEND

- ⊞ ELECTRICAL SWITCH
- ⊞² TWO WAY SWITCH
- ⊞^{DM} SWITCH W/ DIMMER
- ⊞ GROUND FAULT INTERRUPTER
- ⊞ WP WATER PROOF OUTLET
- ⊞ 110V OUTLET
- ⊞ 220V OUTLET
- ⊞ SURFACE MOUNT INCANDESCENT FIXTURE
- ⊞ WALL MOUNT INCANDESCENT FIXTURE
- ⊞ RECESSED LED FIXTURE
- ⊞ SMOKE ALARM (S.A.)
- ⊞ TELEPHONE OUTLET
- ⊞ CABLE TV OUTLET

SCALE: 1/4"=1'-0"



PROPOSED FLOOR PLAN

FLOOR PLAN LEGEND

- ▬ NEW WALLS
- ▬ EXISTING WALLS
- ▬ WALLS REMOVED

NOTE:
1. ALL OPENED EXTERIOR WALL CAVITIES SHALL BE INSULATED W/ R-13 BATT INSULATION.
2. ALL OPENED CEILING AREAS SHALL BE INSULATED WITH R-30 BATT INSULATION
3. NEW GAS FURNACE SHALL BE INSTALLED AT ATTIC TO REPLACE EXISTING 60,000 BTUH / 0.80 AFUE MIN.



SCALE: 1/4"=1'-0"

REVISIONS

Beaumont + Associates
4050 Harlan Street, Emeryville California 94608
Tel: 510/652-4433 Fax: 510/652-5111

PROPOSED FLOOR PLANS

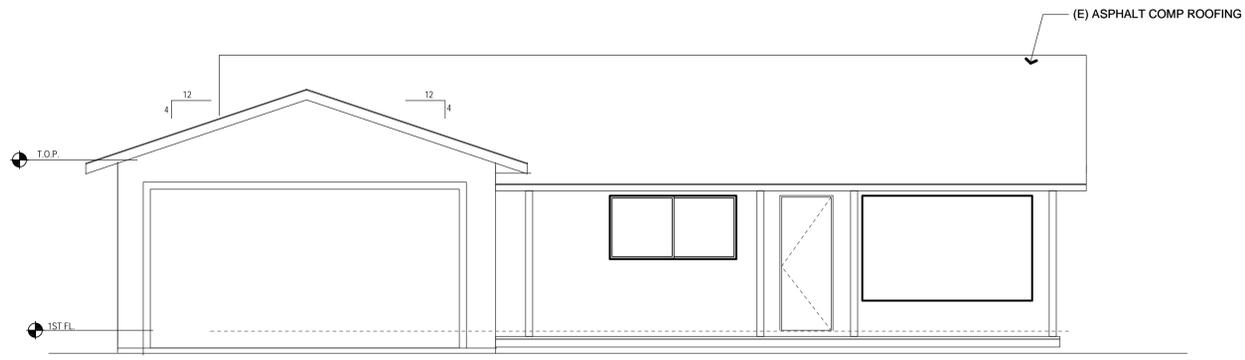
RESIDENCE ADDITION

1706 EBBETS DRIVE
CAMPBELL CALIFORNIA 95008

DATE 08/30/16
DRAWN BY MB

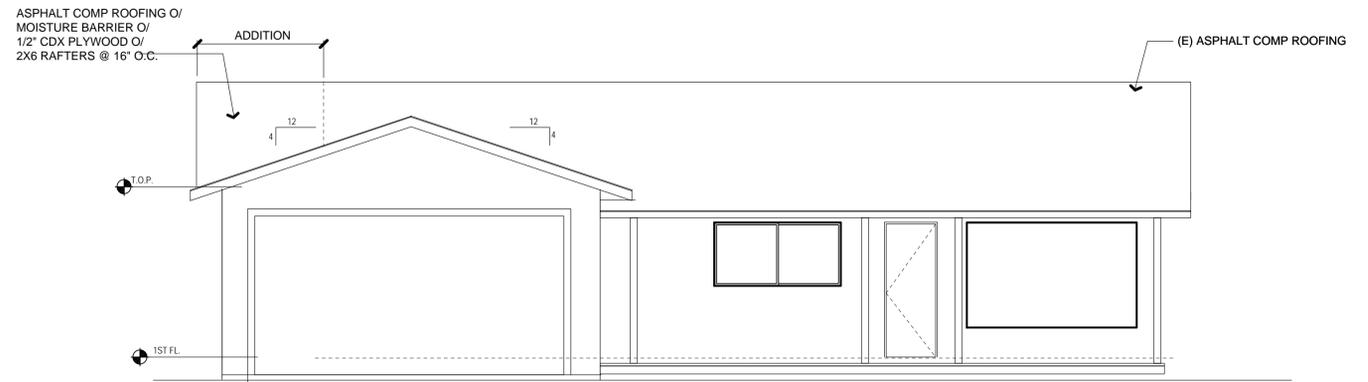
SHEET NO.

A1



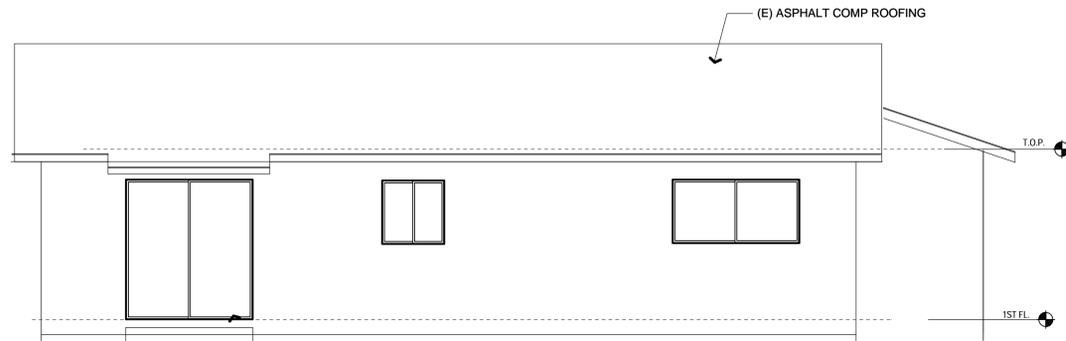
EXISTING FRONT ELEVATION

SCALE: 1/4"=1'-0"



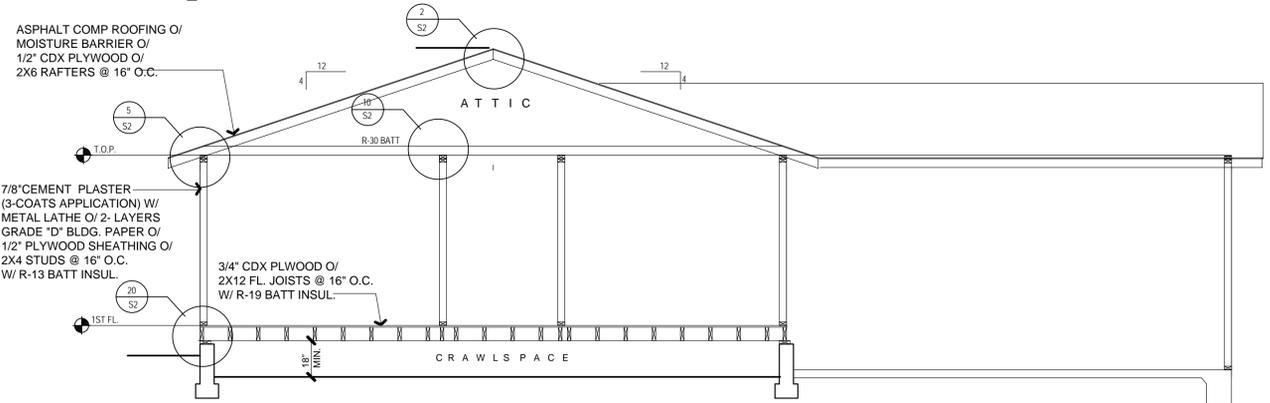
PROPOSED FRONT ELEVATION

SCALE: 1/4"=1'-0"



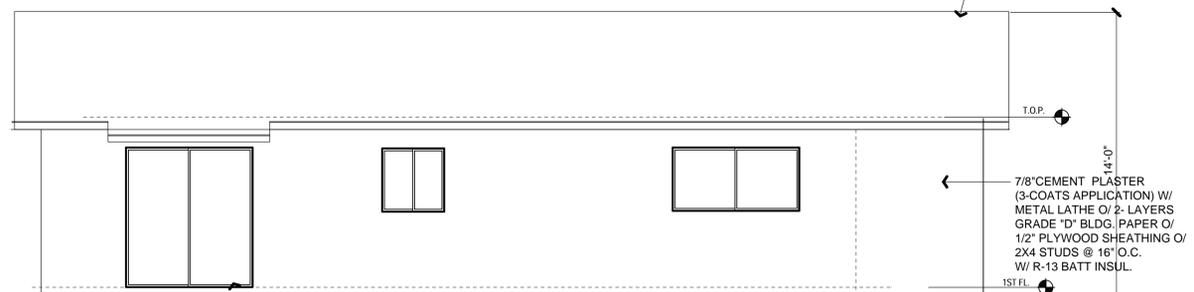
EXISTING REAR ELEVATION

SCALE: 1/4"=1'-0"



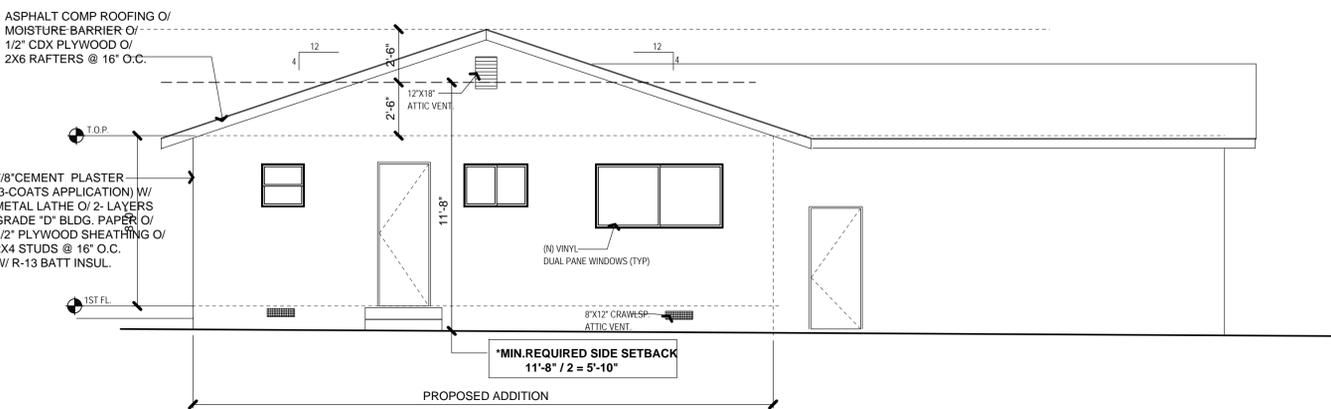
BUILDING SECTION

SCALE: 1/4"=1'-0"



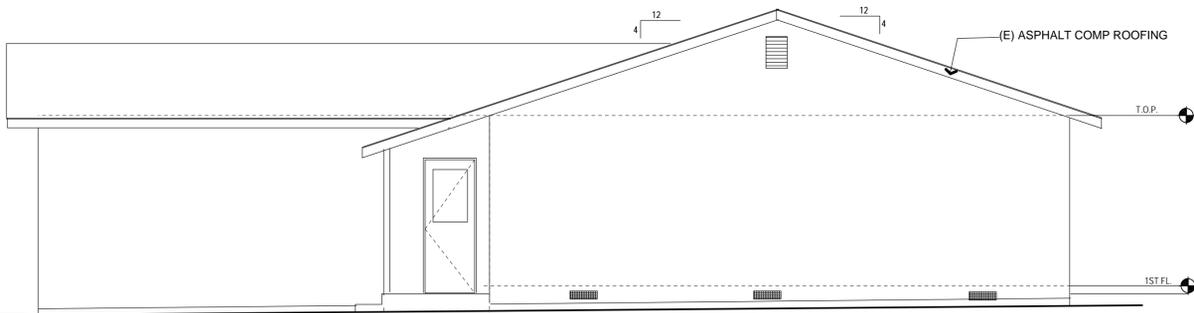
PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"



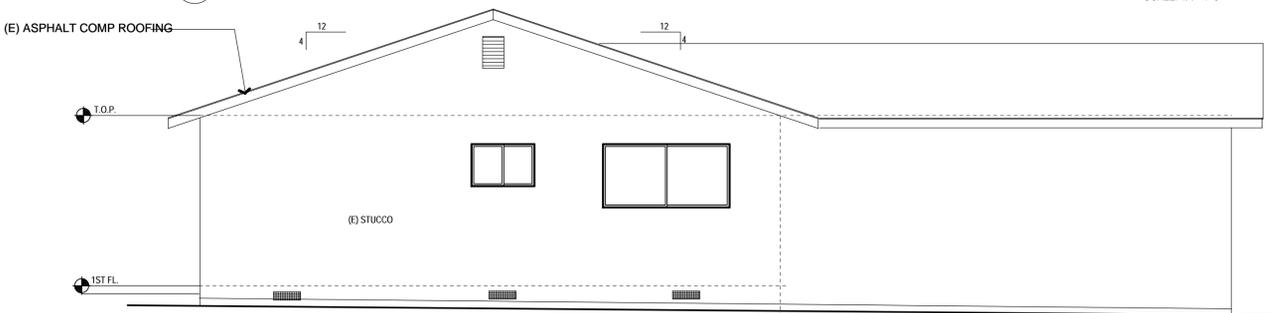
PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



EXISTING / PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



EXISTING LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

REVISIONS

Beaumont + Associates

4050 Harlan Street, Emeryville California 94608
Tel: 510/652-4433 Fax: 510/652-5111

EXTERIOR ELEVATIONS
BUILDING SECTIONS

RESIDENCE ADDITION

1706 EBBETS DRIVE
CAMPBELL CALIFORNIA 95008

DATE 08/30/16

DRAWN BY MB

SHEET NO.

A2

STRUCTURAL NOTES

GENERAL

- THESE NOTES ARE GENERAL AND APPLY TO THE ENTIRE PROJECT EXCEPT WHERE THERE ARE SPECIFIC INDICATIONS TO THE CONTRARY.
- ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE UNIFORM BUILDING CODE. THE ABOVE SHALL GOVERN EXCEPT WHERE OTHER APPLICABLE CODES OF THE FOLLOWING NOTES ARE MORE RESTRICTIVE.
- STRUCTURAL DIMENSIONS CONTROLLED BY OR RELATED TO MECHANICAL AND/OR ELECTRICAL EQUIPMENT SHALL BE CERTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- STRUCTURES HAVE BEEN DESIGNED FOR OPERATIONAL LOADS ON COMPLETED STRUCTURES. DURING CONSTRUCTION, STRUCTURES AND PARTS OF THE STRUCTURE SHALL BE PROTECTED AND OR SUPPORTED BY BRACING AND SHORING WHEREVER EXCESSIVE LOADING MAY OCCUR.
- THE CONTRACTOR ALONE IS RESPONSIBLE FOR JOB SITE SAFETY. SITE REVIEW OF THE CONSTRUCTION BY THE ARCHITECT AND/OR ENGINEER, IF ANY, IS TO DETERMINE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. IT DOES NOT ENCOMPASS SAFETY PROCEDURES OR OPERATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO NOTIFY THE OWNER AND THE ARCHITECT AND/OR ENGINEER OF ANY CONDITIONS FOUND IN THE PLANS, OR OF ERRORS OR OMISSIONS ON THE PLANS WHICH MIGHT AFFECT THE COMPLETION OF THE PROJECT.
- LAYOUT ALL STRUCTURAL WORK BY REFERRING TO DIMENSIONS AND ELEVATION NOTES ON THE ARCHITECTURAL PLANS. DO NOT SCALE STRUCTURAL DRAWINGS: WORK DETAIL DIMENSIONS FROM CONTROLLING SURFACE POINTS AND ACTUAL MATERIAL DIMENSIONS.
- LARGER SCALE DIMENSIONS TAKE PRECEDENCE OVER SMALLER SCALE DETAILS.
- VERIFY TYPE AND SIZE OF METAL WORK AGAINST APPROPRIATE MEMBER SIZE BEFORE ORDERING HARDWARE.
- HARDWARE USE NOTED IS "SIMPSON STRONG-TIE". HARDWARE OF SIMILAR CONSTRUCTION AND EQUAL ICBO VALUE IS ACCEPTABLE.
- FOR HARDWARE USE THE MAXIMUM SIZE BOLTS AND NAILS SPECIFIED IN MANUFACTURER'S CATALOG. NAIL ALL HOLES. USE SPECIAL SHORT-LENGTH NAILS SUPPLIED BY MANUFACTURER WHERE COMMON NAILS WILL EXCEED THE LENGTH OF THE FRAMING MEMBER.
- IN CASE OF CONFLICT BETWEEN STRUCTURAL AND ARCHITECTURAL PLANS, DETAIL AND/OR SPECIFICATIONS THE MORE RESTRICTIVE CONDITION SHALL APPLY.

FRAMING

- ALL WOOD FRAMING SHALL CONFORM TO CHAPTER 23 OF THE 2013 CBC. MINIMUM NAILING SHALL BE PER CBC TABLE 2304.9.1
- ALL NAILS AND HARDWARE EXPOSED TO WEATHER SHALL BE GALVANIZED. NAILS SHALL BE COMMON WIRE U.O.N. SHEATHING BA AS FOLLOWS U.O.N. ROOF: 8d @ 6" O.C. ALONG EDGES, AND 12" O.C. WITHIN THE FIELD. FLOOR: 10d @ 6" O.C. ALONG EDGES, AND 10" WITHIN THE FIELD. EXTERIOR WALLS: 8d @ 6" O.C. ALONG EDGES, AND 12" O.C. WITHIN THE FIELD. GYP BOARD: 5d COLLER @ 7" O.C.
- ALL BOLTS FOR WOOD CONNECTIONS SHALL CONFORM TO ASTM A307 WITH HEAVY HEX HEADS. MALLEABLE IRON WASHERS SHALL BE USED AT ALL PLACES WHERE THE BOLT HEAD OR NUT WOULD BE OTHERWISE BE IN CONTACT WITH THE WOOD SURFACE. BOLT HOLES IN WOOD MEMBERS SHALL NOT BE DRILLED MORE THAN 1/8 INCH LARGER THAN THE BOLT DIAMETER.
- BALLOON FRAME ALL WALLS WITH SLOPED CEILINGS OR WITH RAISED CEILINGS. MAXIMUM HEIGHT FOR 2X4 STUD IN NON-BEARING WALLS IS 14'-0" AND 20'-0" FOR 2X6'S PROVIDE BLOCKING BENEATH ALL PERPENDICULAR PARTITIONS AND DOUBLE THE JOISTS (MIN.) UNDERNEATH ALL PARALLEL PARTITIONS.
- BOLT MULTIPLE JOISTS TOGETHER WITH SINGLE 1/2" DIA. MACHINE BOLTS AT 24" O.C. IN A STAGGERED PATTERN. NAIL DOUBLE JOISTS WITH 16d @ 16" O.C. (SIMILAR PATTERN)
- PROVIDE LATERAL SUPPORT AT ENDS OF JOISTS AND RAFTERS WITH BLOCKING. HOLD-DOWNS THAT ARE ATTACHED TO 4X STUDS AT THE ENDS OF SHEAR WALLS AND EXTEND TO 4X STUDS OR FRAMING BELOW OR WALLS OR FOUNDATION BOLTS (SEE PLAN FOR LOCATION, SIZE AND DETAILS. NAILS ALL DOUBLE RAFTERS OVER ALL SUPPORTS)
- ALL WOOD MEMBERS IN CONTACT WITH CONCRETE OR MASONRY FOUNDATION SURFACES SHALL BE PRESSURE TREATED WITH A PRESERVATIVE.
- SOLID SAWN MEMBERS IN FLOORS SHALL BE PLACED WITH CROWNS AND ANY MAJOR KNOTS UPWARD
- POSTS SHALL BE CONTINUOUS FROM BEAM OR HEADER TO FLOOR OR SILL BELOW.

- PROVIDE AT LEAST A DOUBLE STUD AT BEARING POINTS UNDER BEAMS.
- ALL HEADERS SHALL BE 4X12 UNLESS OTHERWISE NOTED.
- LAP TOP PLATES 48" AND NAIL WITH 32-16d NAILS.
- MAXIMUM ALLOWABLE NOTCH IS 7/8" IN 2X4 STUDS AND 1-3/8" CLEAR TO THE EDGE OF THE STUD.
- USE 1X4 COLLAR TIES AT 48" O.C. WHEREVER POSSIBLE.
- PROVIDE A35 ANCHOR FROM RAFTER TO TOP PLATE AT 32" O.C. U.O.N.
- UNLESS OTHERWISE NOTED, STAGGER ALL PLYWOOD JOISTS IN FLOOR AND ROOF SHEATHING AND LAY FACE GRAIN PERPENDICULAR TO SUPPORTS.
- VERTICAL PLYWOOD SHEATHING SHALL BE BLOCKED AT ALL EDGES AND SHALL EXTEND FROM TOP PLATE TO SILL OF WALL (SINGLE PIECE), WHERE POSSIBLE, BUT VERTICAL SHEATHING ON FLOOR JOISTS OR BLOCKING, LEAVE 3/8" GAP FOR SHRINKAGE. VERTICAL SHEATHING SHALL CONTINUE TO THE FOUNDATION SILL IF REQUIRED ON FIRST FLOOR WALLS.
- ALL DOUBLE STUDS AT HOLD-DOWNS TOGETHER WITH 16d NAILS @ 8" O.C. WHERE SOLID MEMBERS ARE FRAMED INTO GLULAM MEMBERS IN FLOORS, THE TOPS OF THESE MEMBERS SHALL BE HELD 3/8" ABOVE GLULAM.
- MINIMUM GYPSUM BOARD NAILING IS 5d PARKER HEAD NAILS (6d FOR 5/8" BOARD) AT 7" O.C. EDGES AND FIELD.
- ALL BEAMS SHALL BE CONNECTED TO SUPPORTING POST WITH SIMPSON CC CONNECTOR OR EQUAL.
- WOOD POSTS BEARING ON CONCRETE SHALL BE SECURED DIRECTLY TO THE CONCRETE WITH POST ANCHORS FULLY NAILED (I.E. SIMPSON CB FOR MAIN MEMBERS AND SIMPSON PB FOR SECONDARY MEMBERS).
- ALL PLYWOOD SHALL BE D.F.P.A. GRADE MARKED. PLYWOOD SUBJECT TO MOISTURE DURING CONSTRUCTION SHALL HAVE EXTERIOR GRADE GLUE. PLYWOOD SUBJECT TO MOISTURE AFTER CONSTRUCTION SHALL BE EXTERIOR GRADE PLYWOOD.
- IF PRE MANUFACTURED TRUSSES ARE USED, TRUSS MANUFACTURER SHALL SUBMIT PLANS AND CALCULATIONS FOR ALL TRUSSES TO THE ENGINEER AND TO THE BUILDING DEPARTMENT AND SHALL OBTAIN APPROVAL THEREFROM PRIOR TO FABRICATION.
- ALL FRAMING HARDWARE SHALL BE SIMPSON OR ICBO EQUAL.

WOOD

- UNLESS OTHERWISE NOTED FRAMING LUMBER SHALL BE GRADED AS FOLLOWS: FRAMING LUMBER (RAFTERS, JOISTS, PURLINS ETC. DOUGLAS FIR NO.2 OR BETTER BEAMS, HEADERS OR 4" NOMINAL OR THICKER: DOUGLAS FIR NO.1 STUDS: STUD GRADE FOUNDATION STUDS: PRESSURE TREATED DOUGLAS FIR ALL NEW FRAMING LUMBER SHALL HAVE 19% MAS MOISTURE CONTENT AT TIME OF CONSTRUCTION. EXPOSED DECKING: CALIFORNIA REDWOOD NO.1 ALL PLYWOOD SHALL BE CDX UNLESS OTHERWISE NOTED. MINIMUM THICKNESS SHALL BE 1/2 INCH ON ROOF, 5/8 INCH T & G ON FLOORS AND 1/2 INCH ON WALLS UNLESS OTHERWISE NOTED (SEE SHEARWALL SCHEDULE). USE PANEL CLIPS AT UNSUPPORTED EDGES OF BUILT-UP ROOFS.
- GLULAMS BEAMS SHALL BE GRADE 24F-V4, STANDARD CAMBER UNLESS OTHERWISE NOTED (A10-103. PROVIDE COMPLIANCE CERTIFICATION TO BUILDING DEPARTMENT. GLULAM BEAMS SHALL HAVE METAL HARDWARE CONNECTIONS TO POSTS (CAP MINIMUM). CC/CB: COLUMN CAP / COLUMN BASE.

CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE AND THE CALIFORNIA BUILDING CODE (CBC). DETAIL, FABRICATION AND ERECTION OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF STANDARD PRACTICE (ACI-315).
- AGGREGATE FOR THE CONCRETE MIX SHALL CONFORM TO ASTM-C33. THE MAXIMUM SIZE AGGREGATE SHALL BE 3/4 INCH. CONCRETE SHALL CONFORM TO ASTM-C150, TYPE I OR II.
- CONCRETE SHALL HAVE A ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI (28 DAY STRENGTH) WITH A 4 INCH SLUMP (TOLERANCE 1 INCH).
- REINFORCING STEEL SHALL A DEFORMED BARS (ASTM A615) GRADE 40, EXCEPT THAT NO. 6 OR LARGER BARS SHALL BE GRADE 60. WELDED WIRE FABRIC (WWF) SHALL BE ASTM 185.
- REINFORCING STEEL IN CONTINUOUS FOOTING AND GRADE BEAMS SHALL BE SECURELY FASTENED IN PLACE HORIZONTALLY AND VERTICALLY PRIOR TO POURING.
- LAP BARS 48 DIAMETERS AT SPLICES. HOOK BARS 24 DIAMETERS AT CORNERS.
- BEND DOWN TOP BARS AT END OF FOOTINGS OR GRADE BEAMS.
- PROVIDE A MINIMUM OF TWO ANCHOR BOLTS PER SILL PIECE, PROVIDE 12" MAX / 12" MIN END DISTANCE.
- CONCRETE FOOTINGS SHALL BE POURED AGAINST UNDISTURBED EARTH OR EARTH THAT HAS BEEN COMPACTED AND RE-EXCAVATED FOR FOOTINGS. REINFORCING SHALL BE PROTECTED BY THE THICKNESS OF CONCRETE SHOWN ON THE PLANS. WHERE NOT OTHERWISE SHOWN, THE THICKNESS OF CONCRETE OVER THE REINFORCEMENT SHALL BE AS FOLLOWS: A) WHERE CONCRETE IS DEPOSITED AGAINST GROUND WITHOUT THE USE OF FORMS, NOT LESS THAN 3". B) WHERE CONCRETE MAY BE EXPOSED TO BUT IS PLACED IN FORMS NOT LESS THAN 2" C) IN BEAMS, GIRDERS AND COLUMNS NOT EXPOSED TO THE GROUND OR WEATHER, NOT LESS THAN 1 1/2"
- CONSTRUCTION JOINTS NOT INDICATED ON THE PLANS SHALL BE SO MADE AND LOCATED AS TO AT LEAST IMPAIR THE STRENGTH OF THE STRUCTURE. WHERE A JOINT IS TO BE MADE, THE SURFACE OF THE CONCRETE SHALL BE THOROUGHLY CLEANED AND ALL LAITANCE REMOVED.
- BOTTOM OF FOOTING EXCAVATION SHALL BE KEPT CLEAR OF SLOUGH AND DEBRIS. FOOTING EXCAVATION SHALL ALSO BE KEPT MOIST AND FREE OF STANDING WATER BEFORE PLACEMENT OF CONCRETE.
- RETAINING WALLS OR FOOTINGS FACING AN EMBANKMENT THAT MAY DIVERT WATER TOWARDS THE STRUCTURE, SHALL BE FULLY BACK DRAINED.

ATTIC VENTILATION REQUIREMENTS

ATTIC AREA: 163 SF
REQ. VENTILATION AREA: 163 / 150 = 1.08 SF
PROVIDE:
TOTAL AREA PROVIDED = 1.32 SF.
USE 4X12 VENTS AT 4 RAFTER BAYS (3 HOLES PER BAY)

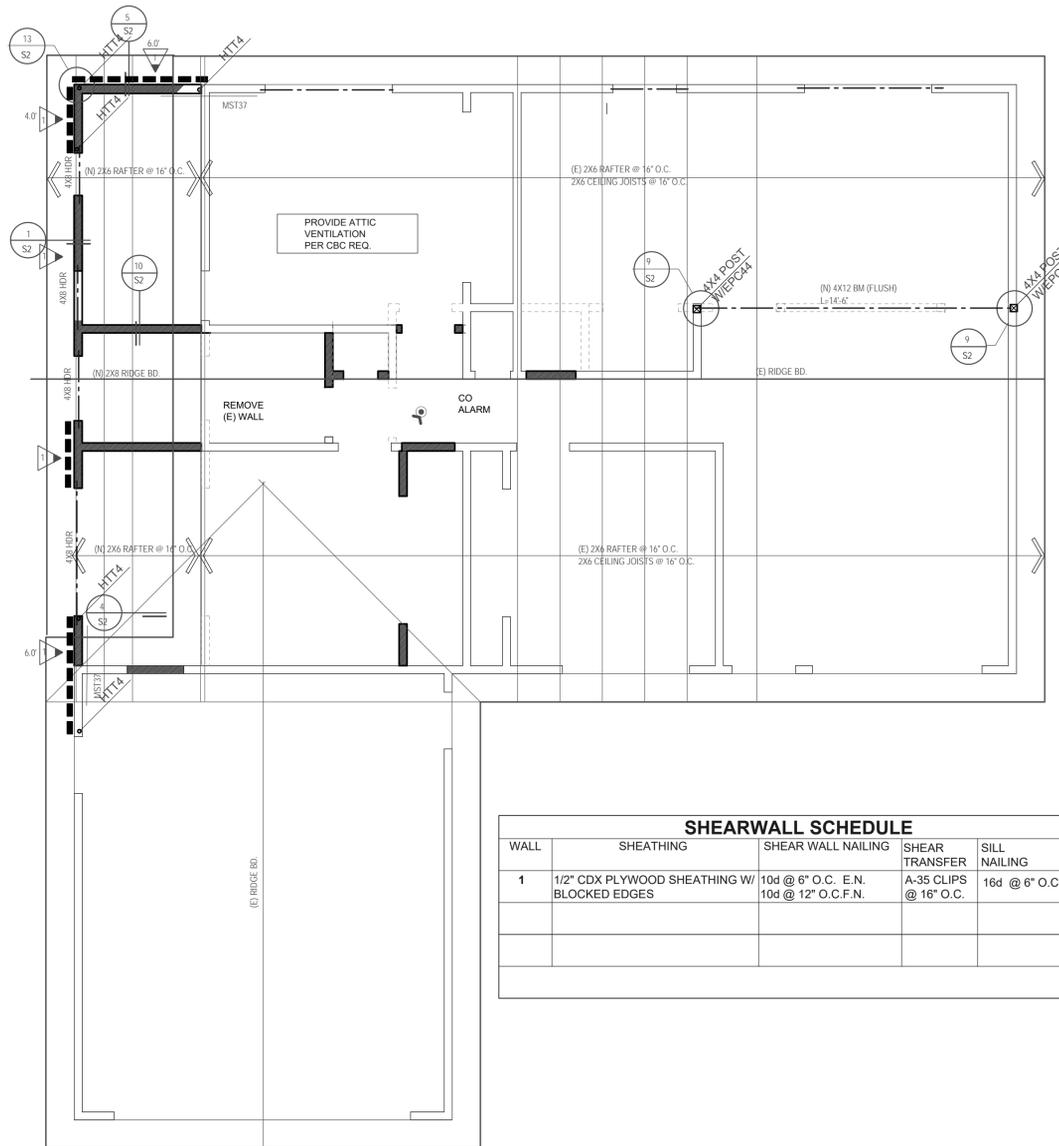
NOTE:
EAVE VENTS SHALL BE LOCATED AND SPACE AS TO PROVIDE PROPER AIR CROSS FLOW VENTILATION TO ALL ATTIC AREAS. PROVIDE ADDITION VENT FOR AREA DISPALCED BY NEW ADDITION
PROVIDE INSULATION BLOCKING AT ALL EAVE VENTS.

CRAWLSPACE VENTILATION REQUIREMENTS

CRAWLSPACE AREA: 163 SF
REQ. VENTILATION AREA: 163 / 150 = 1.08 SF

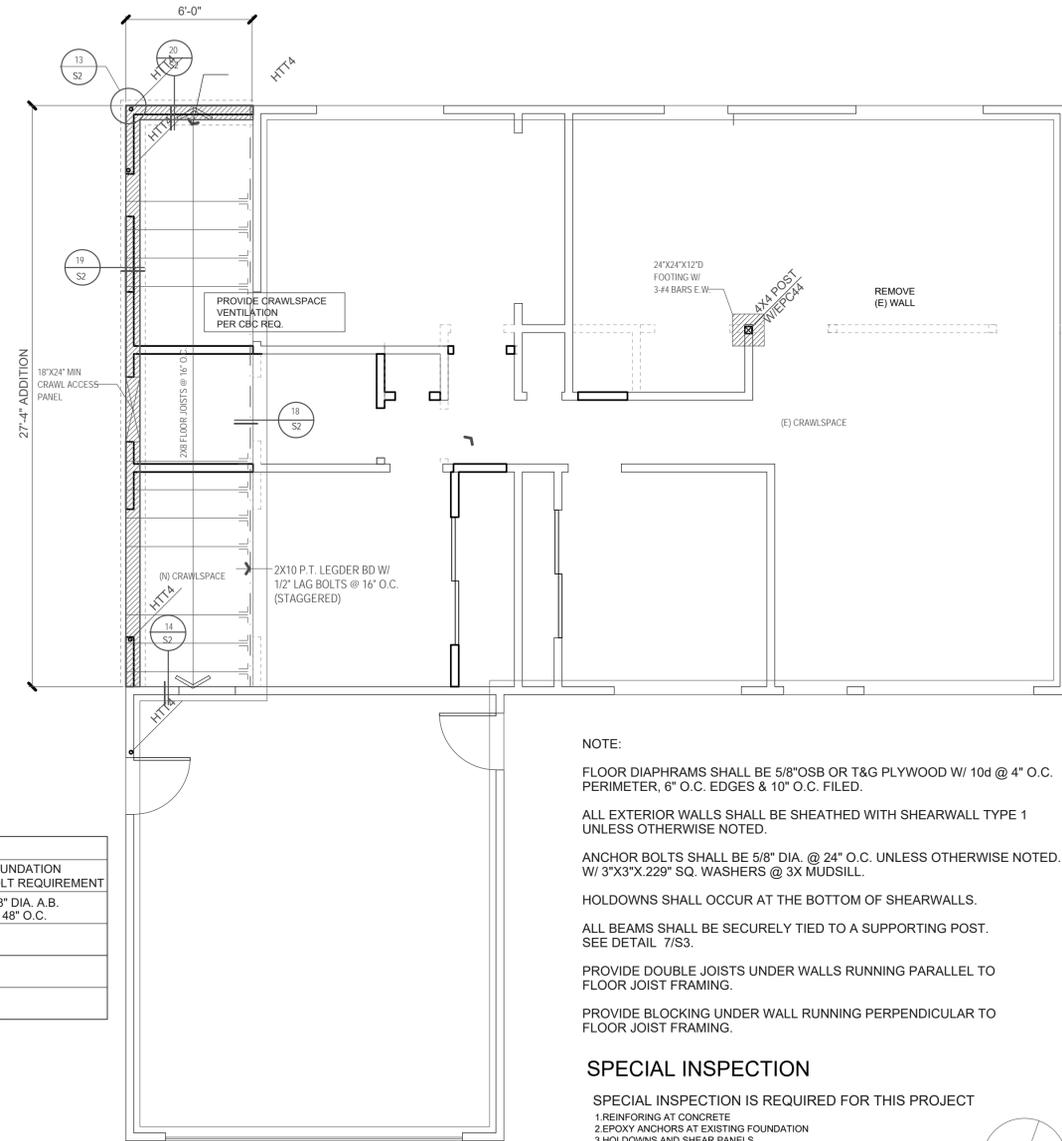
PROVIDE 2- 8"X12 VENTS = 1.32 SF
INCLUDE 2- 8X12 VENTS FOR DISPLACED VENTS AT EXISTING WALL

NOTE:
VENTS SHALL BE LOCATED AND SPACE AS TO PROVIDE PROPER AIR CROSS FLOW VENTILATION TO ALL CRAWLSPACE AREAS.



CEILING / ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTE:

- FLOOR DIAPHRAGMS SHALL BE 5/8" OSB OR T&G PLYWOOD W/ 10d @ 4" O.C. PERIMETER, 6" O.C. EDGES & 10" O.C. FIELD.
- ALL EXTERIOR WALLS SHALL BE SHEATHED WITH SHEARWALL TYPE 1 UNLESS OTHERWISE NOTED.
- ANCHOR BOLTS SHALL BE 5/8" DIA. @ 24" O.C. UNLESS OTHERWISE NOTED. W/ 3"X3"X.229" SQ. WASHERS @ 3X MUDSILL.
- HOLD-DOWNS SHALL OCCUR AT THE BOTTOM OF SHEARWALLS.
- ALL BEAMS SHALL BE SECURELY TIED TO A SUPPORTING POST. SEE DETAIL 7/S3.
- PROVIDE DOUBLE JOISTS UNDER WALLS RUNNING PARALLEL TO FLOOR JOIST FRAMING.
- PROVIDE BLOCKING UNDER WALL RUNNING PERPENDICULAR TO FLOOR JOIST FRAMING.

SPECIAL INSPECTION

- SPECIAL INSPECTION IS REQUIRED FOR THIS PROJECT
- REINFORCING AT CONCRETE
 - EPOXY ANCHORS AT EXISTING FOUNDATION
 - HOLD-DOWNS AND SHEAR PANELS



REVISIONS

Beaumont + Associates

4050 Harlan Street, Emeryville California 94608
Tel: 510/652-4433 Fax: 510/652-5111

FOUNDATION PLAN
FRAMING PLANS
STRUCTURAL NOTES

RESIDENCE ADDITION

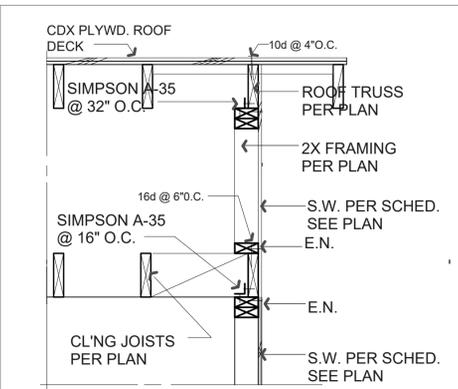
1706 EBBETS DRIVE
CAMPBELL CALIFORNIA 95008

DATE 08/30/16

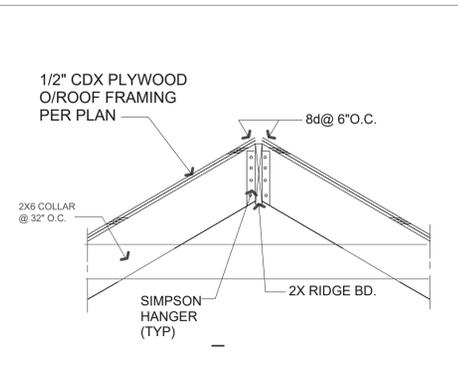
DRAWN BY MB

SHEET NO.

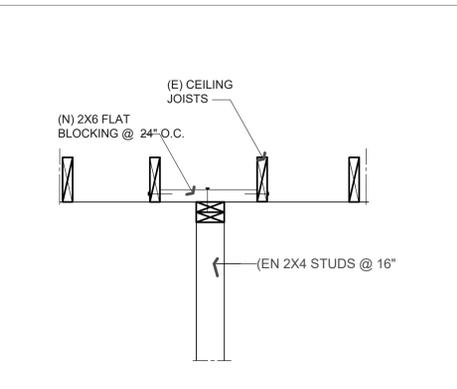
S1



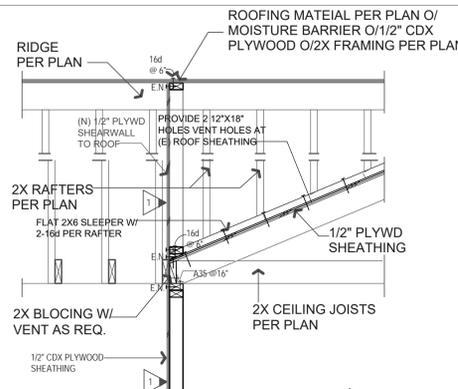
1 SHEARWALL ROOF GABLE



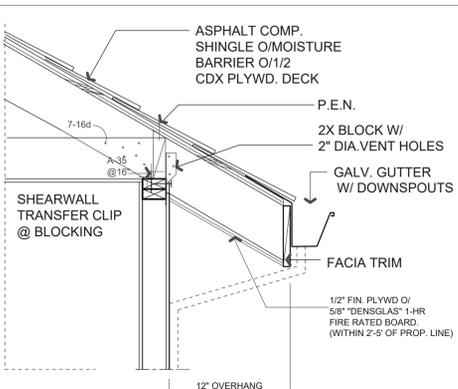
2 ROOF RIDGE DETAIL



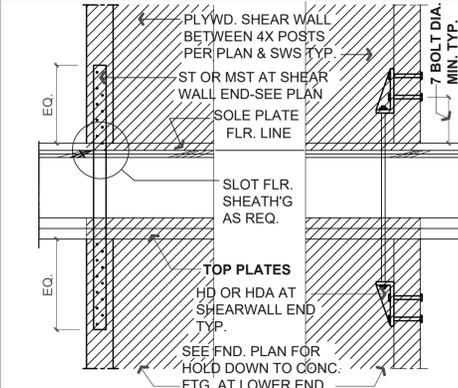
3 (N) INTERIOR WALL @ CEILING



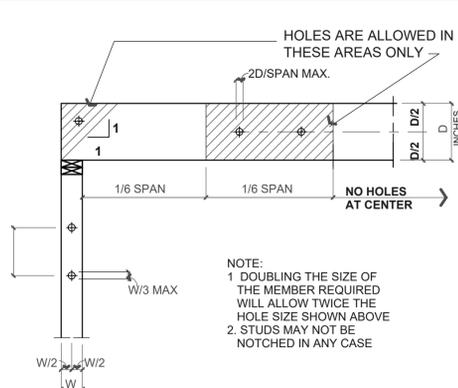
4 CALIFORNIA ROOF DETAIL



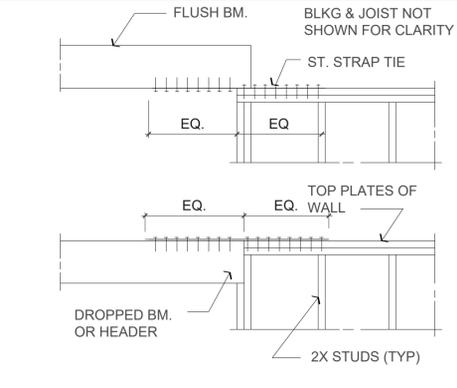
5 ROOF @ EAVE DETAIL



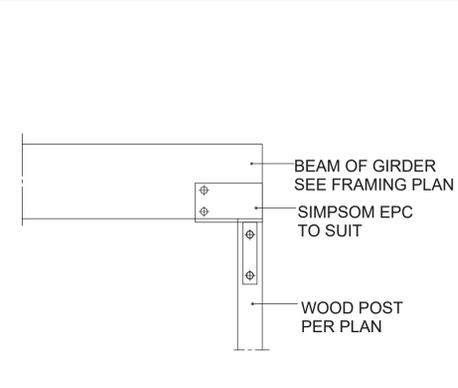
6 HOLDOWN / STRAP TIE @ FLOOR



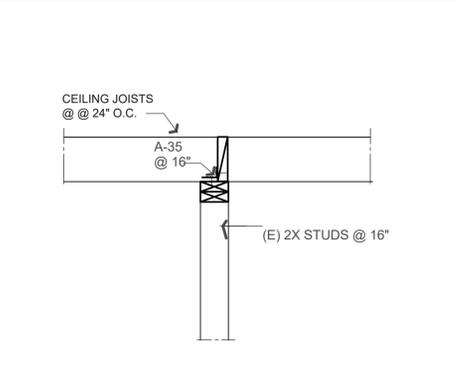
7 HOLES IN JOISTS & STUDS



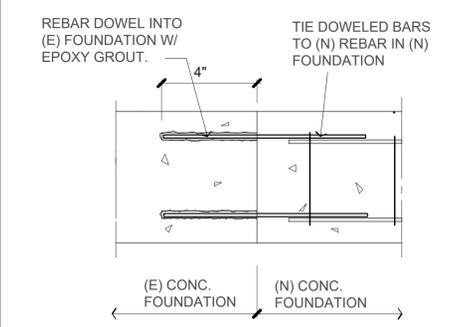
8 BEAM / HEADER DETAIL



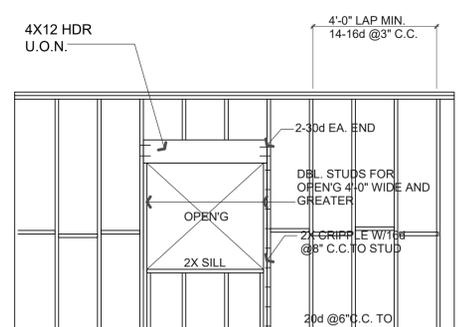
9 POST @ BEAM DETAIL



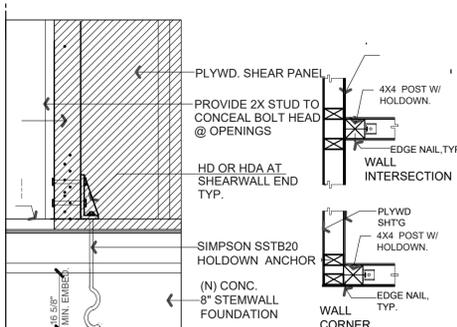
10 (N) INTERIOR WALL @ CEILING



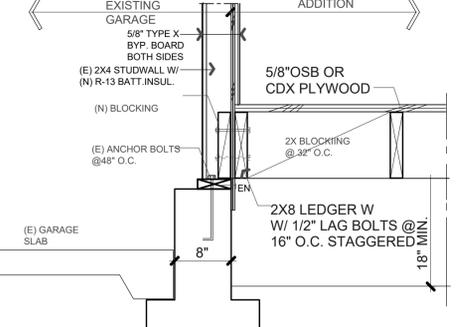
11 NEW @ EXISTING CONCRETE DETAIL



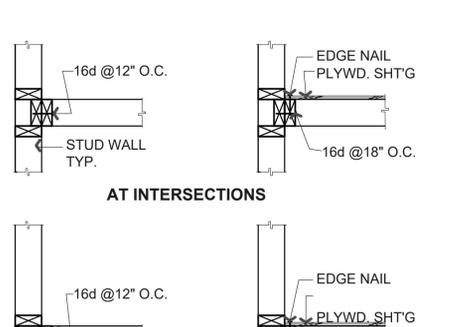
12 WALL FRAMING DETAIL



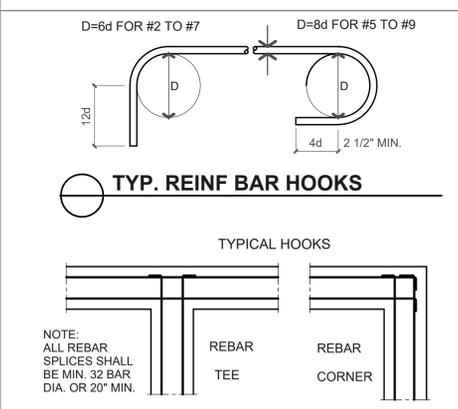
13 HOLDOWN @ NEW FOUNDATION



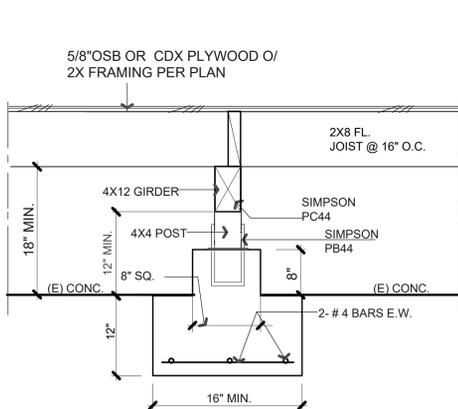
14 EXISTING CONCRETE FOUNDATION



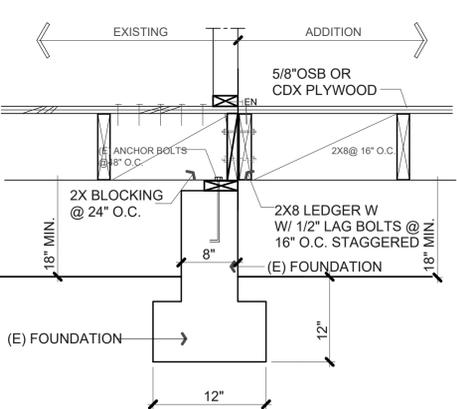
15 TYPICAL STUD WALL CONNECTION



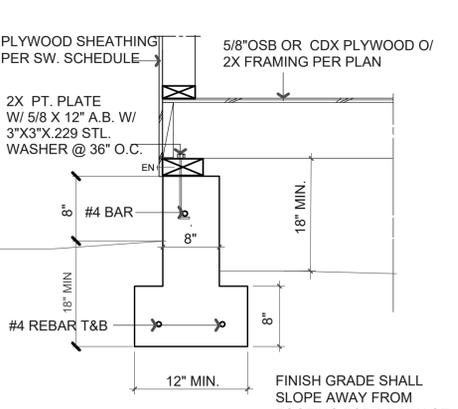
16 TYP. REINF BAR HOOKS



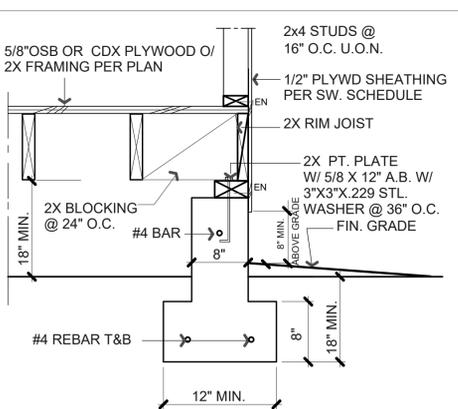
17 TYP CONCRETE PIER DETAIL



18 EXISTING CONCRETE FOUNDATION



19 FOUNDATION DETAIL



20 EXTERIOR WALL @ FLOOR

NO.	REVISIONS

Beaumont + Associates
 4050 Harlan Street, Emeryville California 94608
 Tel: 510/652-4433 Fax: 510/652-5111

STRUCTURAL DETAILS
STRUCTURAL NOTES

RESIDENCE ADDITION
 1706 EBBETS DRIVE
 CAMPBELL CALIFORNIA 95008

DATE 08/30/16
 DRAWN BY MB
 SHEET NO.