



**CITY OF CAMPBELL**  
**Community Development Department**

January 13, 2017

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **January 24, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the **City-initiated Zoning Text Amendment (PLN2016-406)** to amend Campbell Municipal Code Sec. 21.42.020 (Site and architectural review permit required) to add an exception to the site and architectural review process for minor additions and remodels to existing single-family residences in the R-1-8 (Single-Family Residential) zoning district that are located outside of the San Tomas Area Neighborhood Plan. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

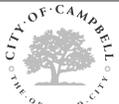
Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

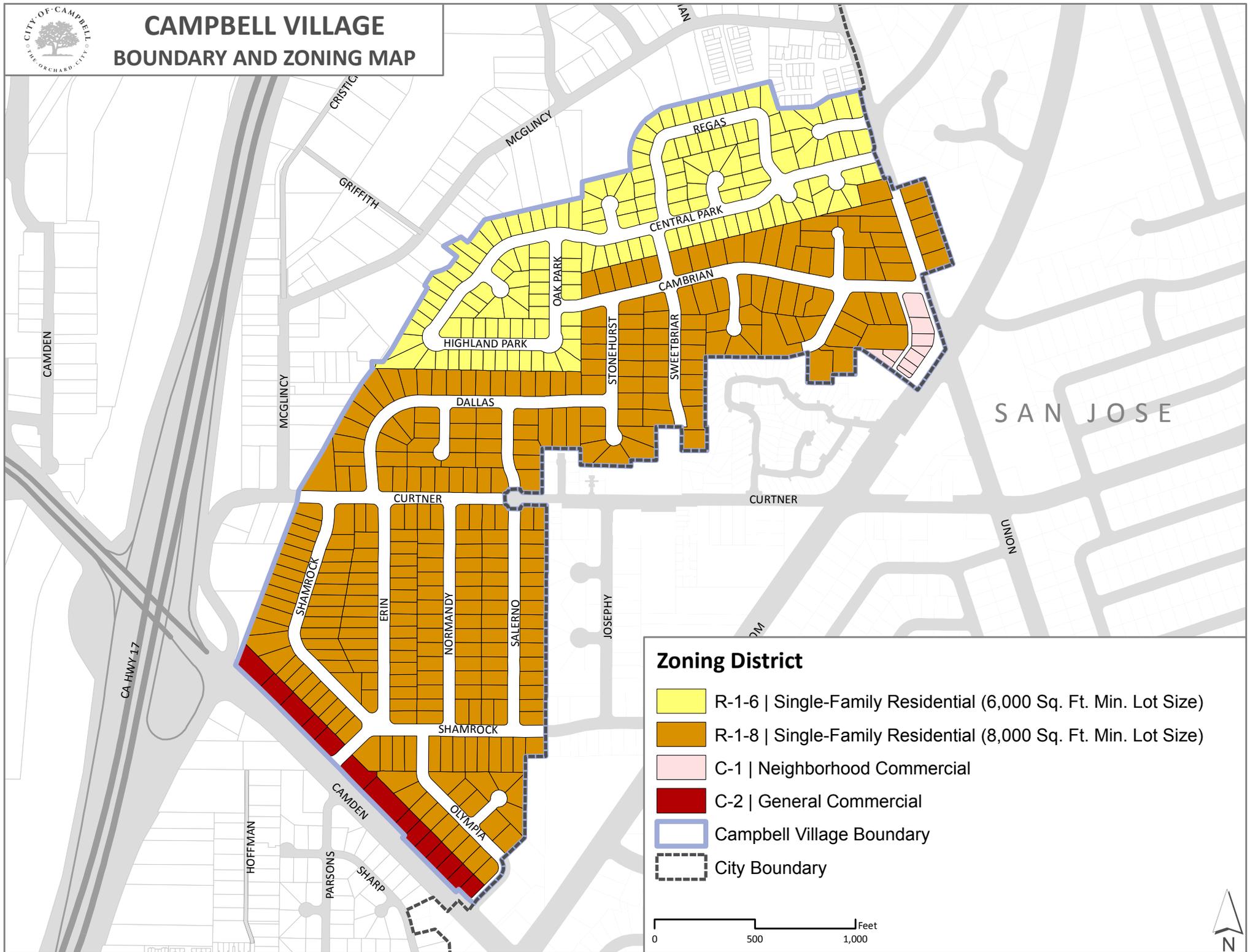
In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: ZTA to CMC Sec. 21.42.020

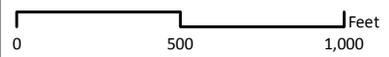


# CAMPBELL VILLAGE BOUNDARY AND ZONING MAP



### Zoning District

-  R-1-6 | Single-Family Residential (6,000 Sq. Ft. Min. Lot Size)
-  R-1-8 | Single-Family Residential (8,000 Sq. Ft. Min. Lot Size)
-  C-1 | Neighborhood Commercial
-  C-2 | General Commercial
-  Campbell Village Boundary
-  City Boundary



21.42.020 - Site and architectural review permit required.

- A. Planning Commission site and architectural review permit required. No use or structure shall be constructed, created, enlarged, erected, installed, maintained, or placed on any property in any zoning district until a site and architectural review permit is approved by the Planning Commission, except as identified in subsections B and C of this section.
- B. Administrative site and architectural review permit required. An administrative site and architectural review permit shall be required for the following:
  1. Stealth wireless telecommunication facilities, pursuant to the requirements of Chapter 21.34, (Wireless Telecommunications Facilities);
  2. Properties located in the R-1-6 zoning district that are subject to the San Tomas area neighborhood plan for:
    - a. Construction of a building or structure on an undeveloped lot,
    - b. Additions to the existing main residence, except additions that exceed .45 FAR which would require a full site and architectural review permit by the Planning Commission.
    - c. The conversion of attic space to living area on an existing single-story single-family residence, and
    - d. The removal or reconstruction of more than fifty percent of the exterior walls of an existing single-family residence.
- C. Exceptions to site and architectural review permit process. No use or structure shall be constructed, created, enlarged, erected, installed, maintained, or placed on any property listed below until the proposed project is found to meet the requirements of the applicable zoning district regulations and a zoning clearance is issued, pursuant to Chapter 21.40, (Zoning Clearances):
  1. Properties located in the R-1-6 (Single-Family Residential) zoning district that are not subject to the San Tomas area neighborhood plan;
  2. Properties located in the R-1-8 (Single-Family Residential) zoning district, that are not subject to the San Tomas Area neighborhood plan, may have an addition or remodel to an existing single-family residence which does not result in a net increase of more than 500 square feet of new floor area and cannot be seen from the public right-of-way (as determined by the Director of Community Development) may be processed as a ministerial action;
  - ~~2-3.~~ Properties located in the R-D (Two-Family District) zoning district; and
  - ~~3-4.~~ Minor additions or alterations to existing structures and minor changes in plans that have previously been approved by the planning commission, provided that these minor changes are limited to modification in the plot plan and elevations that will not substantially change the overall appearance, character, and scale of the proposed development.