



CITY OF CAMPBELL
Community Development Department

February 28, 2017

NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT

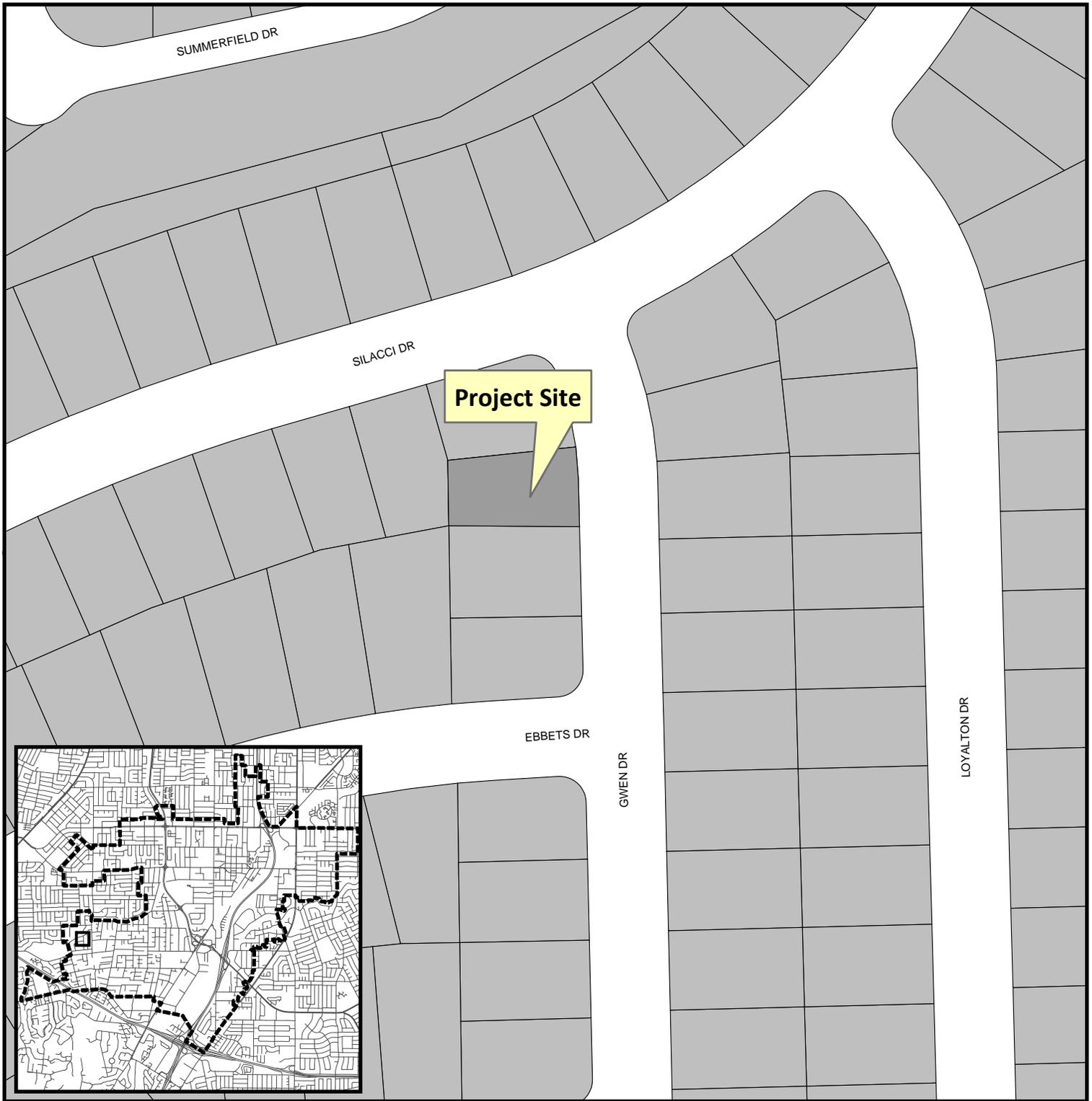
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

File No.: PLN2016-394
Applicant: Diego Valencia
Project Address: 797 Gwen Drive
Property Owner: Tekle Tafari
Zoning District: R-1-6 (Single-Family Residential)
General Plan: Low Density Residential < 6 Units/Gr. Acre
Project Description: 607 SF addition to existing single-story single-family home.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on February 28, 2017 and ends on March 9, 2016. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 9, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Cindy McCormick, Senior Planner, in the Community Development Department, at (408) 871-5103 or by email cindym@cityofcampbell.com.

Project Location Map

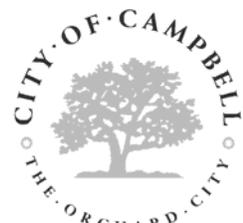
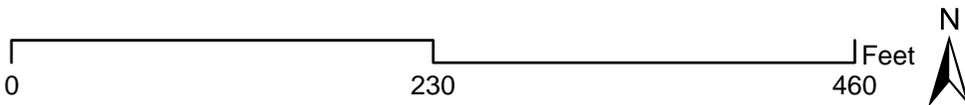


Project Location: 797 Gwen Drive

Application Type: Admin. Site and Arch. Review Permit

Planning File No.: PLN2016-394

Description: Addition to a single-family residence



Community Development Department
Planning Division

2013 CALIFORNIA GREEN BUILDING CODE MANDATORY REQUIREMENTS.

ALL ADDITION AND ALTERATIONS THAT PROPOSE AN INCREASE IN THE CONDITIONED VOLUME OF THE RESIDENCE MUST MEET MANDATORY MEASURES OF THE 2013 CALIFORNIA GREEN BUILDING CODE MANDATORY REQUIREMENTS.

CAL GREEN SECTION 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. PROJECTS, WHICH DISTURBS LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT, WHICH IN TOTAL, DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. IN ORDER TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION, ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.

1. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE.
2. WHERE STORM WATER IS CONVEYED TO PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER, OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF BARBER SYSTEM, WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.
3. COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE.

CAL GREEN SECTION 4.106.3 GRADING AND PAVING. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE:

1. SWALES
2. WATER COLLECTION AND DISPOSAL SYSTEMS.
3. FRENCH DRAINS
4. WATER RETENTION GARDENS
5. OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE, EXCEPTIONS: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

CAL GREEN SECTION 4.305.1 INDOOR WATER USE / WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. (For all building alterations or improvements to a single family residential property, existing plumbing fixtures and fittings in the entire house that do not meet current flow rates will need to be upgraded.) PLUMBING FIXTURES (WATER CLOSURES AND URINALS) AND FITTINGS (FAUCETS AND SHOWER HEADS) SHALL COMPLY WITH THE FOLLOWING:

1. **Water closets.** Shall not exceed 1.28 GPF (Gallons Per Flush). Tank-type water closets shall be certified to performance criteria of the U.S. EPA water sense specification.
2. **Urinals.** Shall not exceed .5 GPF
3. **Showerheads.**
 1. **Single Showerheads.** Shall have a max flow rate of 2.0 GPM at 80 psi. Showerheads shall be certified to the performance criteria of USEPA Water Sense Specifications.
 2. **Multiple Showerheads Serving one Shower.** the combined flow rate for all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 GPM at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. NOTE: A hand-held shower be considered a showerhead.

CAL GREEN SECTION 4.504.1 IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:

1. CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANT'S NEEDS AS WEATHER CONDITIONS CHANGE.
2. WEATHER-BASED CONTROLLER WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR, WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

CAL GREEN SECTION 4.406.1. RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

CAL GREEN SECTION 4.408.1. CONSTRUCTION WASTE REDUCTION OF AT LEAST 50% RECYCLE AND OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE NON HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4, OR MEET A MORE STRINGENT LOCAL CONSTRUCTION REUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.

EXCEPTIONS:

1. EXCAVATED SOIL AND LAND - CLEARING DEBRIS.
2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOB SITE.
3. THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOB SITES ARE LOCATED IN AREAS BEYOND THE HALL BOUNDARIES OF THE DIVERSION FACILITY.

CAL GREEN SECTION 4.410.1 OPERATION AND MAINTENANCE MANUAL. AT THE TIME OF FINAL INSPECTION, A MANUAL, A COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY, WHICH INCLUDES ALL OF THE FOLLOWING, SHALL BE PLACED IN THE BUILDING:

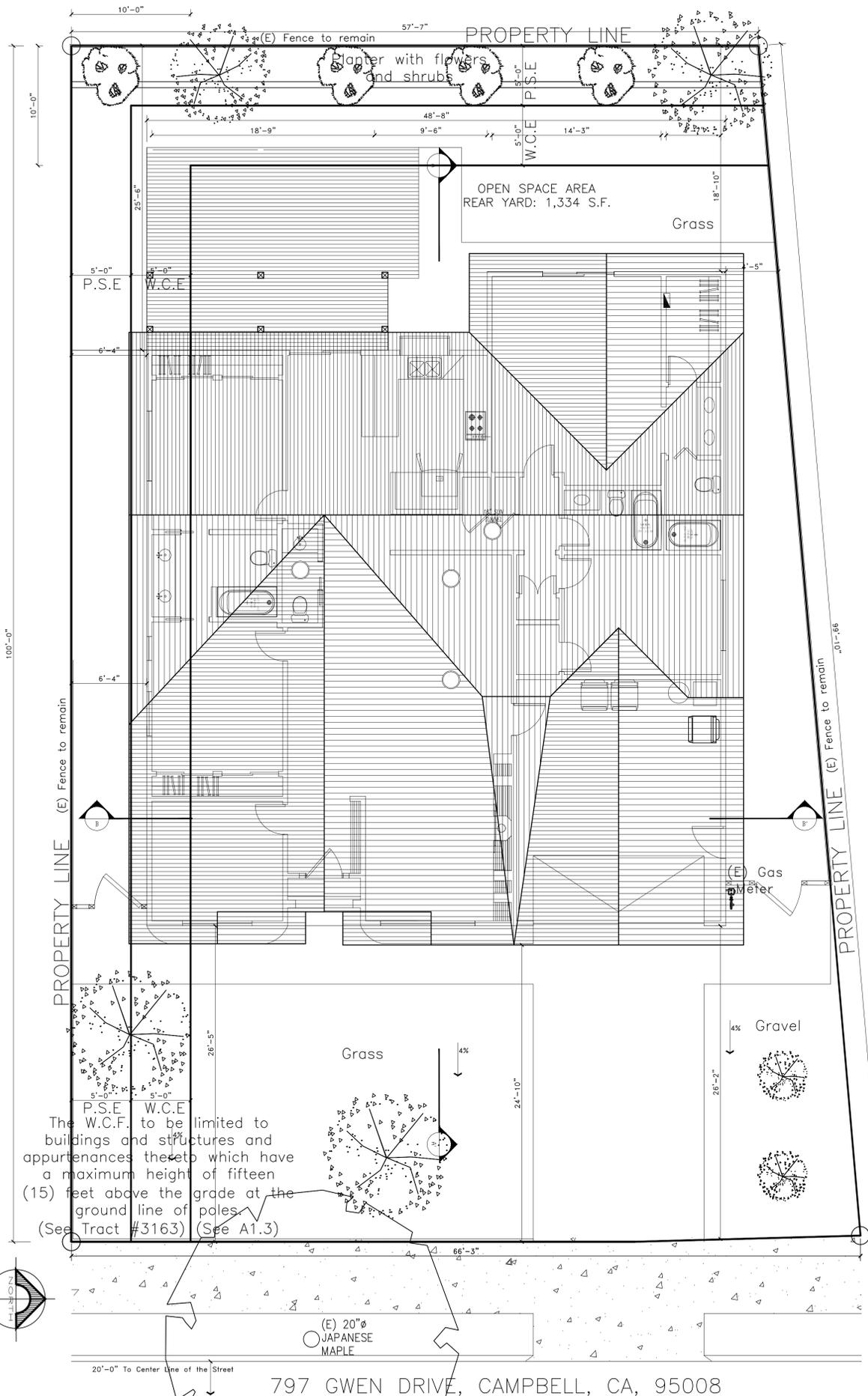
1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 - a. EQUIPMENT AND APPLIANCES, INCLUDING SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
 - b. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
 - c. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSER AND AIR FILTERS.
 - d. LANDSCAPE IRRIGATION SYSTEMS.
 - e. WATER REUSE SYSTEMS.
3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
4. PUBLIC TRANSPORTATION AND OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 50 TO 60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
6. INFORMATION ABOUT WATER CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS, WHICH CONSERVE WATER.
7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM FOUNDATION.
8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CALKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
10. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

CAL GREEN SECTION 4.505.1 FIREPLACE AND WOODSTOVES. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT - VENT SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

CAL GREEN SECTION 4.504.1. POLLUTANT CONTROL / COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELEVANT AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

CAL GREEN SECTION 4.504.2.1. POLLUTANT CONTROL / ADHESIVES, SEALANTS AND CALKS. SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS / PER CAL GREEN TABLES.

- TABLE 4.504.1. ADHESIVE VOC LIMIT
- TABLE 4.504.2. SEALANT VOC LIMIT
- TABLE 4.504.3. VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS

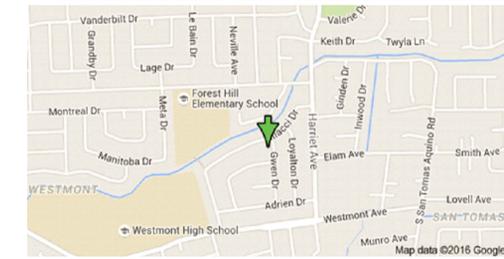


The W.C.F. to be limited to buildings and structures and appurtenances thereto which have a maximum height of fifteen (15) feet above the grade at the ground line of poles. (See Tract #3163) (See A1.3)

797 GWEN DRIVE, CAMPBELL, CA, 95008

TITLE : SITE PLAN, SITE DATA & GENERAL NOTES

SITE LOCATION MAP



SITE DATA AND ZONING

PROJECT LOCATION	: 797 GWEN DR.
JURISDICTION	: CITY OF CAMPBELL
A.P.N.	: 403-43-002
LOT SIZE	: 6,184 S.F.
PARCEL #	:
ZONING	: R-1-G
LOT COVERAGE	: % 29,36
PERMITTED COVERAGE	: 40% (2,473 S.F.)

SQUARE FOOTAGE

DESCRIPTION	EXISTING	ADD PROPOSED	TOTALS
LOT As Assessor's Parcel Map			6,184 S.F.
One Story House	1,457 S.F.	607 S.F.	2,064 S.F.
Garage	359 S.F.		359 S.F.
TOTALS	1,816 S.F.	607 S.F.	2,423 S.F.

DESCRIPTION	EXISTING	PROPOSED	TOTALS
Covered Porch	143 S.F.	24 S.F.	
Paving Front Area	548 S.F.	657 S.F.	
	24%	28%	
Permeable surfaces (grass & gravel) Front Area	1,786 S.F.	1,088 S.F.	
	76%	72%	

LOT COVERAGE	: 29,36%	(1,816 S.F.)
LOT COVERAGE W/PORCH	: 31,67%	(1,959 S.F.)
PROPOSED COVERAGE	: 39,32%	(2,432 S.F.)
PERMITTED COVERAGE	: 40%	(2,473 S.F.)

CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA RESIDENTIAL CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA ENERGY CODE
- 2013 CAL GREEN BUILDING CODE
- CAMPBELL CITY CODE

SHEET INDEX

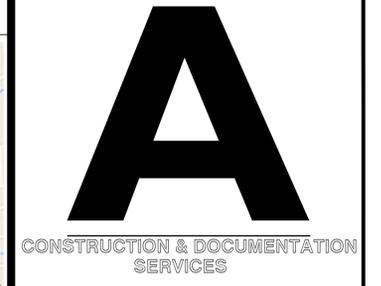
A.0.0	SITE PLAN, SITE DATA & GENERAL NOTES
A.1.0	(E) FLOOR PLAN & (E) ROOF FLOOR PLAN
A.1.1	(N) FLOOR PLAN & (N) ROOF FLOOR PLAN
A.1.2	CONSTRUCTION FLOOR PLAN
A.1.3	(E) & (N) ELEVATIONS
A.1.4	(E) & (N) ELEVATIONS
A.1.5	(E) & (N) SECTIONS
A.2.0	(N) ELECTRICAL FLOOR PLAN

CONSTRUCTION DATA

BUILDING TYPE	: VB
NUMBER OF STORIES	: 1
ZONING	: R-1-G (Single Family)
FIRE SPRINKLER	: NONE
BUILT	: 1962

SCOPE OF WORK

- ADDITION OF 607 S.F. FOR:
- * (N) BEDROOM 4
 - * (N) LIVING ROOM
 - * (N) OFFICE
 - * (N) ENTRANCE & FOYER
- REMODELING OF 380 S.F. FOR:
- * (N) BEDROOM 3
 - * (N) BATH ROOM FOR CHILDREN & (N) HALF BATHROOM
 - * (N) HVAC IN ATTIC (REMOVED FROM HALLWAY CLOSET)



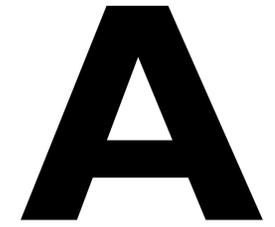
ADDITION & REMODELING FOR:
TAFARI'S RESIDENCE
 797 GWEN DRIVE
 CAMPBELL, CA 95008

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.

REVISION	DATE

SITE PLAN, SITE DATA & GENERAL NOTES

A.0.0



CONSTRUCTION DOCUMENTATION SERVICES

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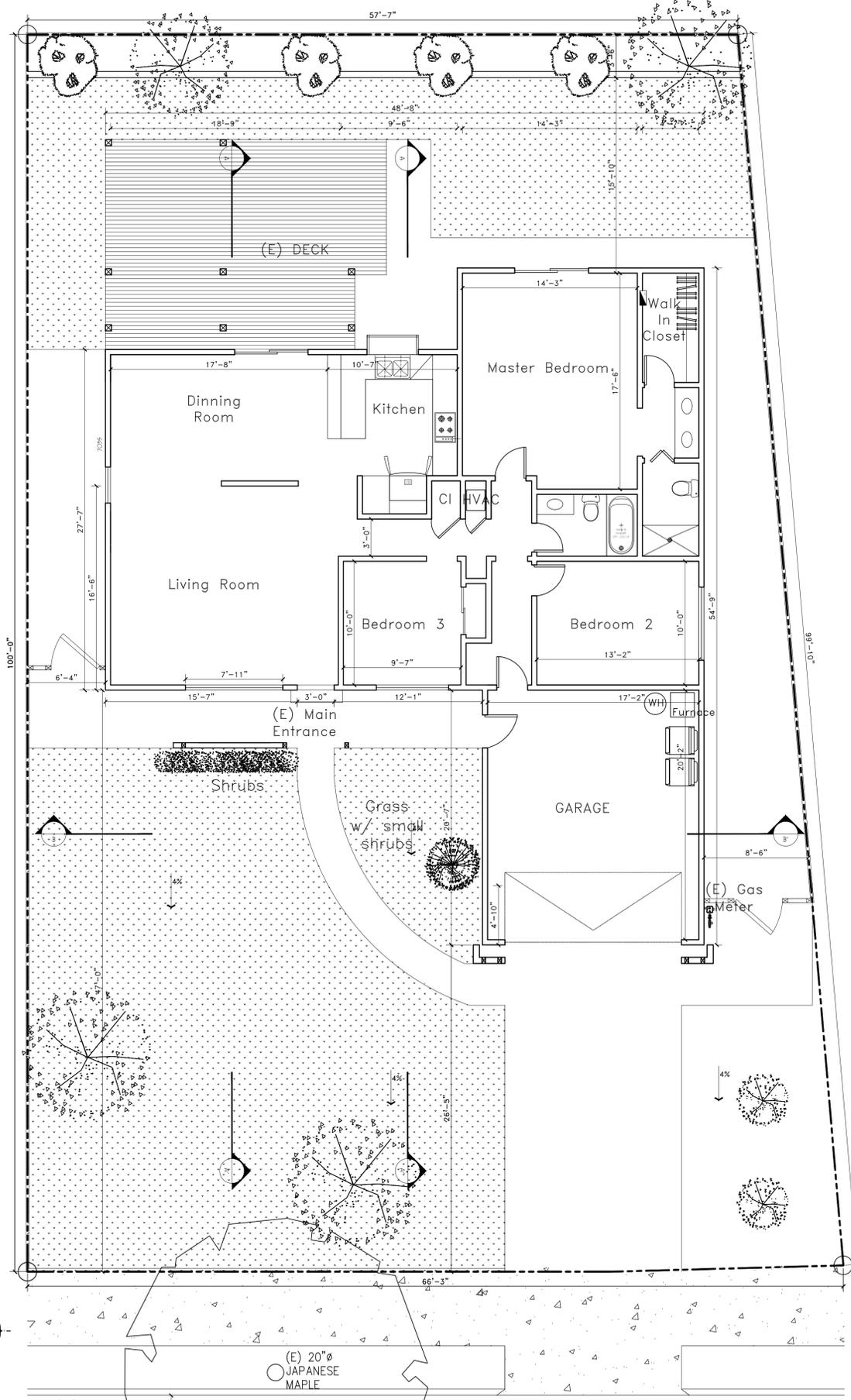
REVISION DATE

DIEGO VALENCIA/DESIGNER

DATE: JANUARY 30, 2017

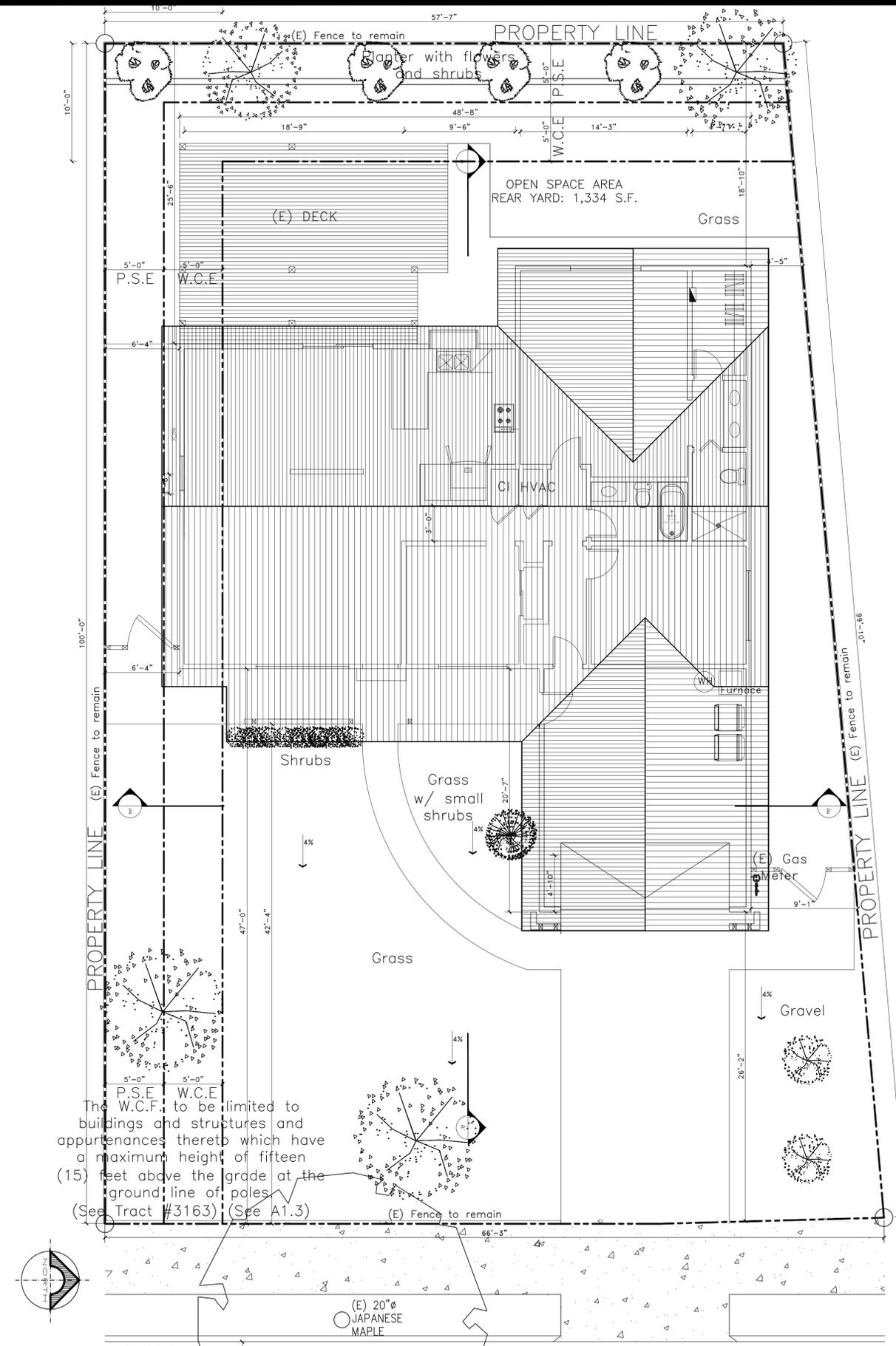
(E) FLOOR PLAN &
(E) ROOF FLOOR PLAN

A.1.0



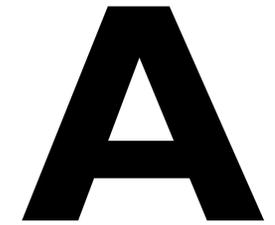
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TITLE : (E) FLOOR PLAN



797 GWEN DRIVE, CAMPBELL, CA, 95008

TITLE : (E) ROOF FLOOR PLAN



CONSTRUCTION DOCUMENTATION SERVICES

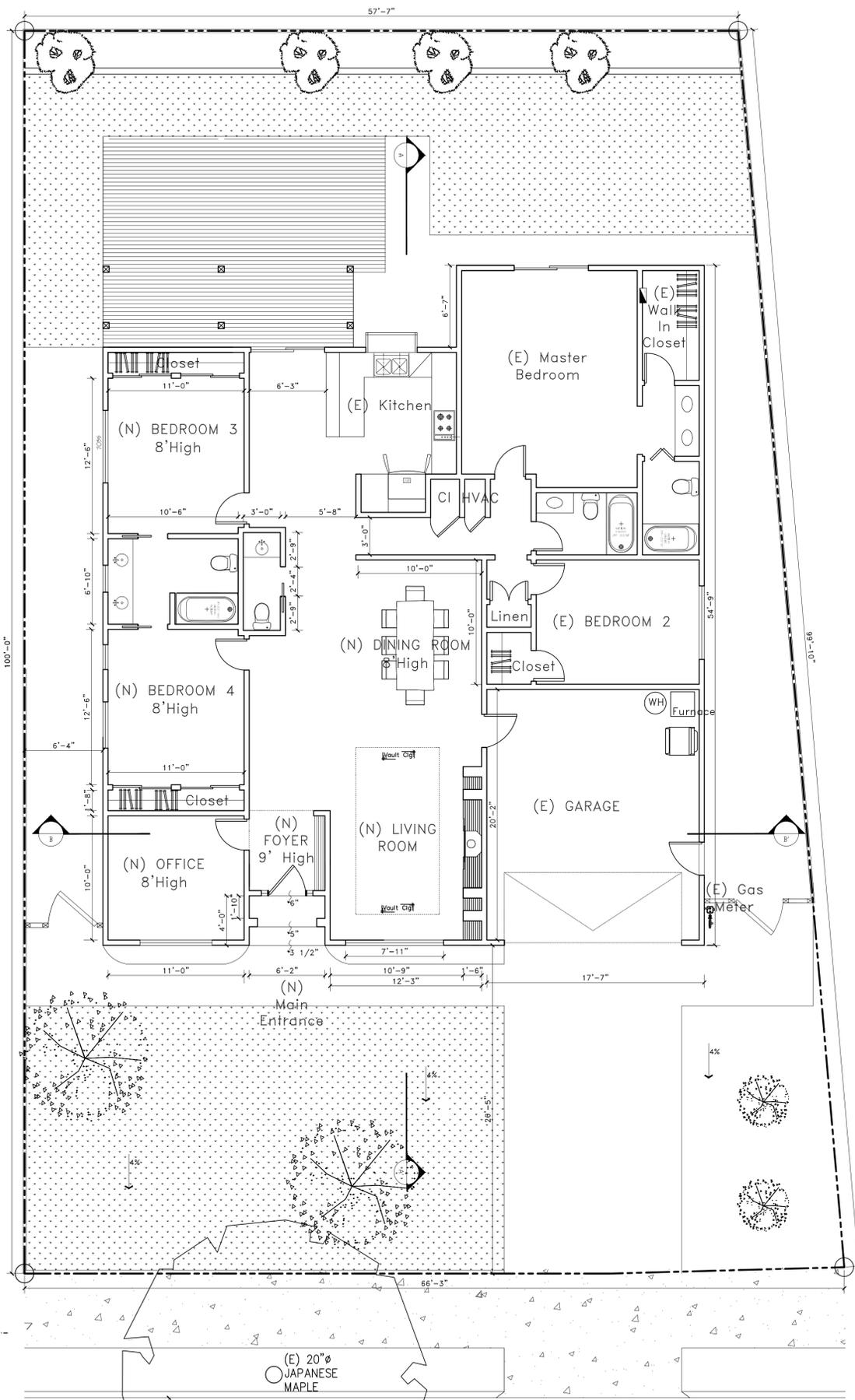
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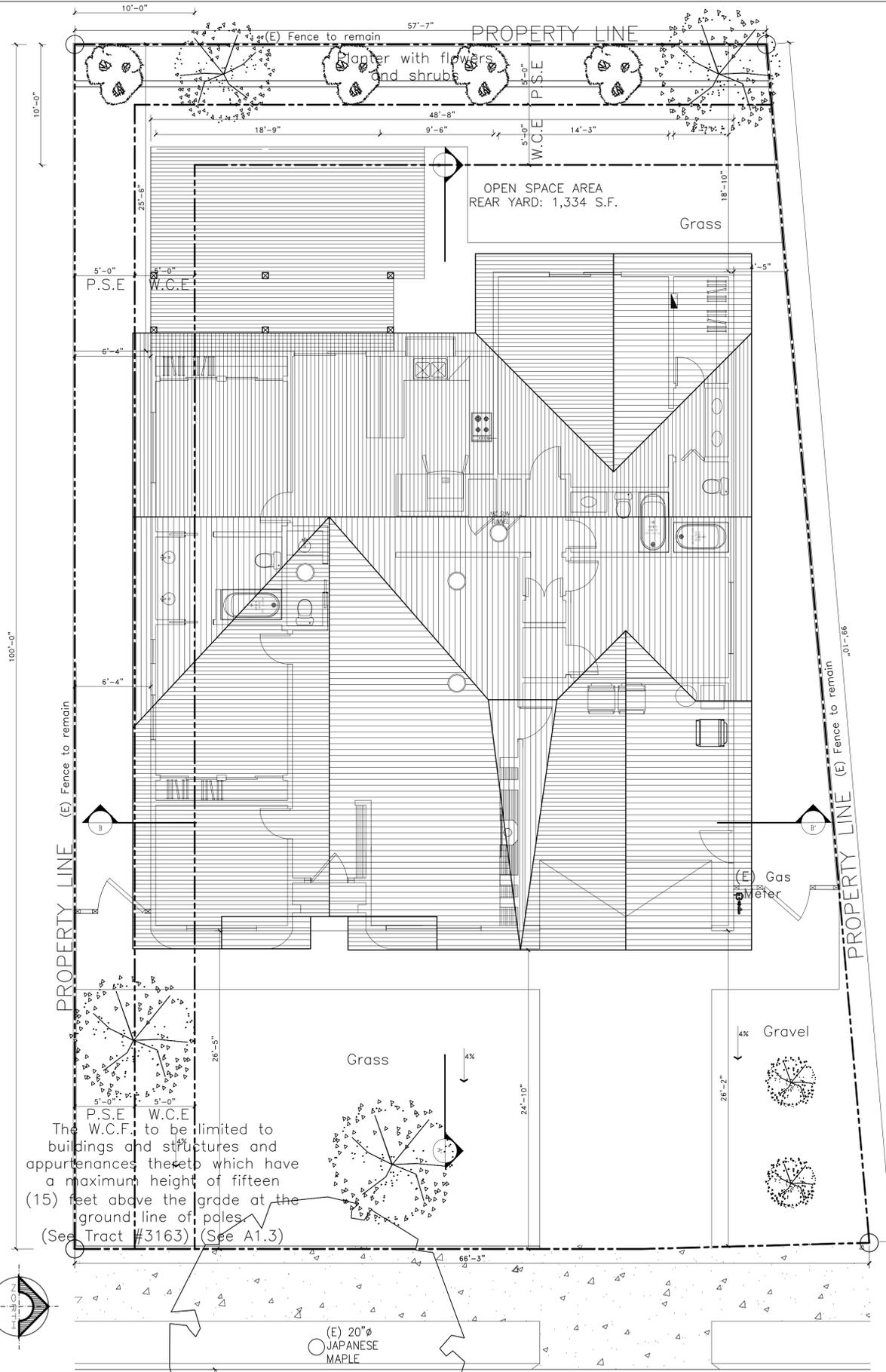
(N) FLOOR PLAN
& (N) ROOF FLOOR PLAN

A.1.1



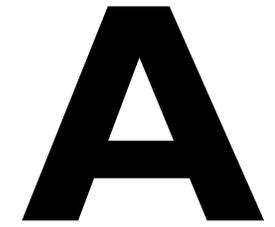
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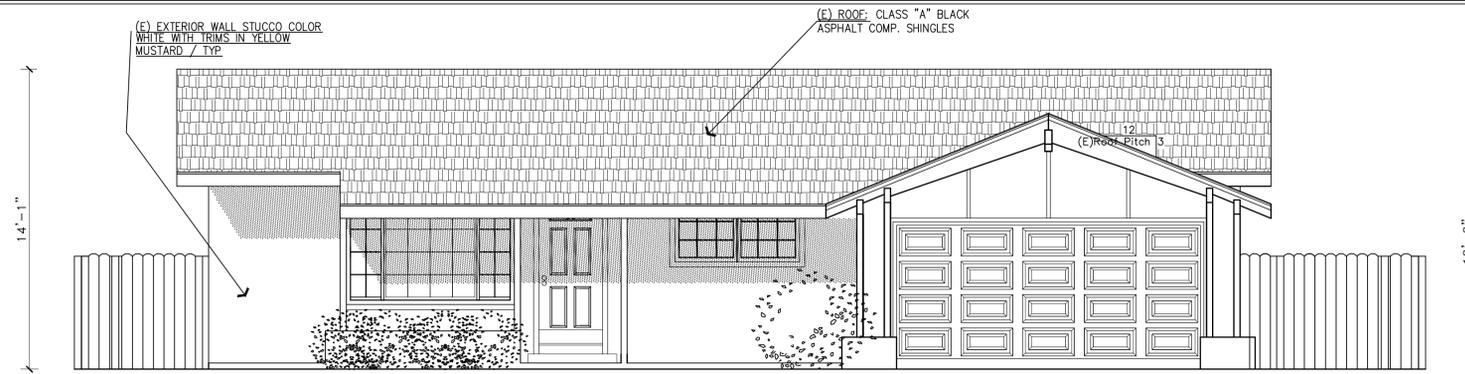


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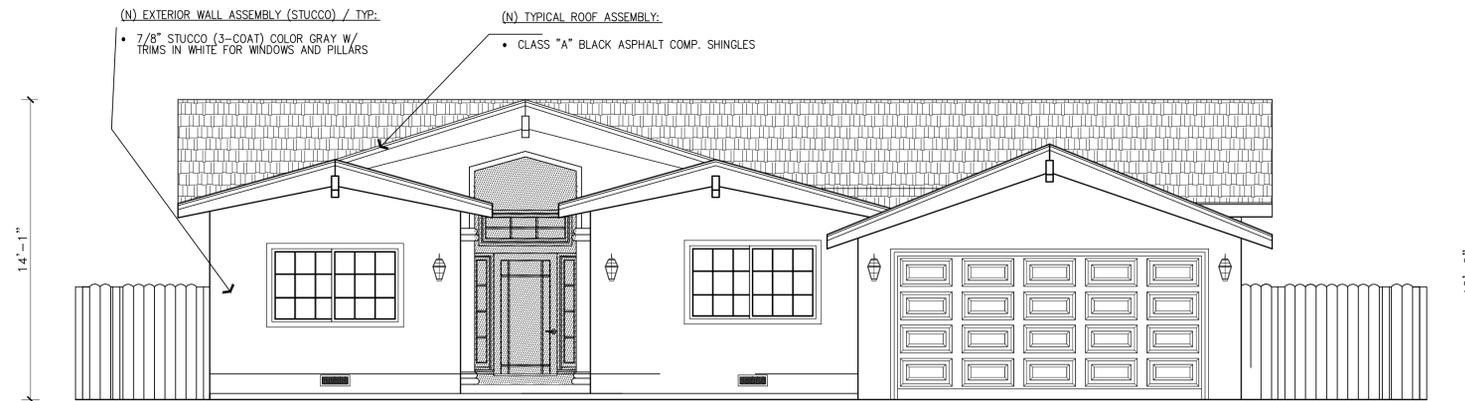
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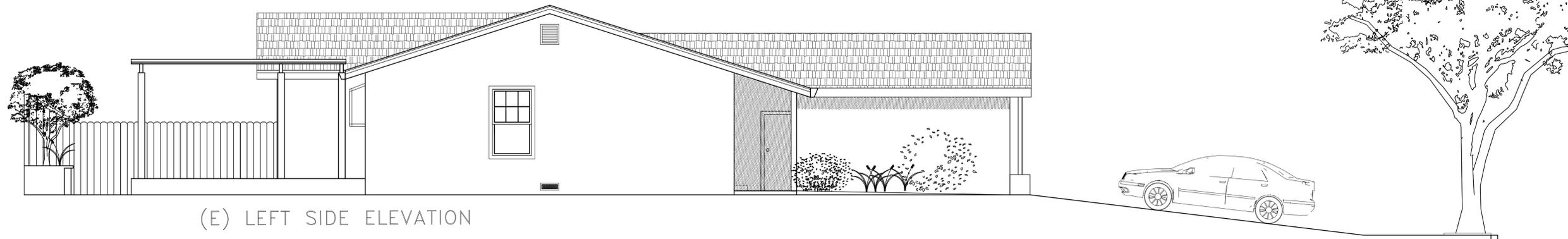
CONSTRUCTION DOCUMENTATION SERVICES



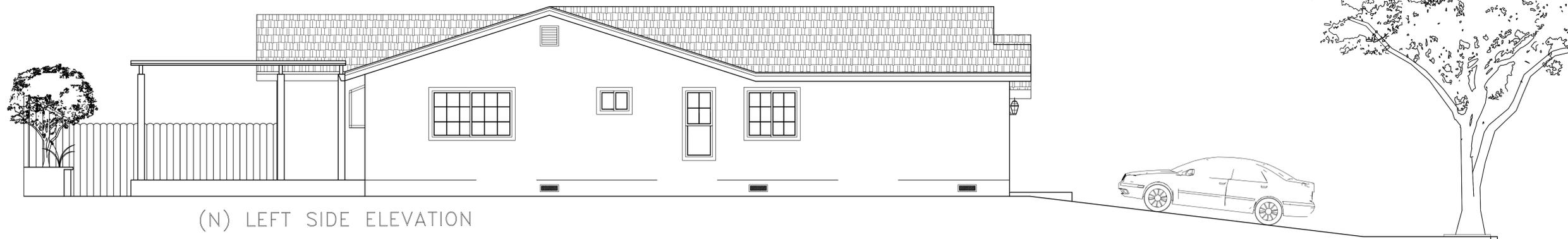
(E) FRONT ELEVATION



(N) FRONT ELEVATION



(E) LEFT SIDE ELEVATION



(N) LEFT SIDE ELEVATION

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(N) & (E) ELEVATIONS

A.1.3

A

CONSTRUCTION DOCUMENTATION
SERVICES

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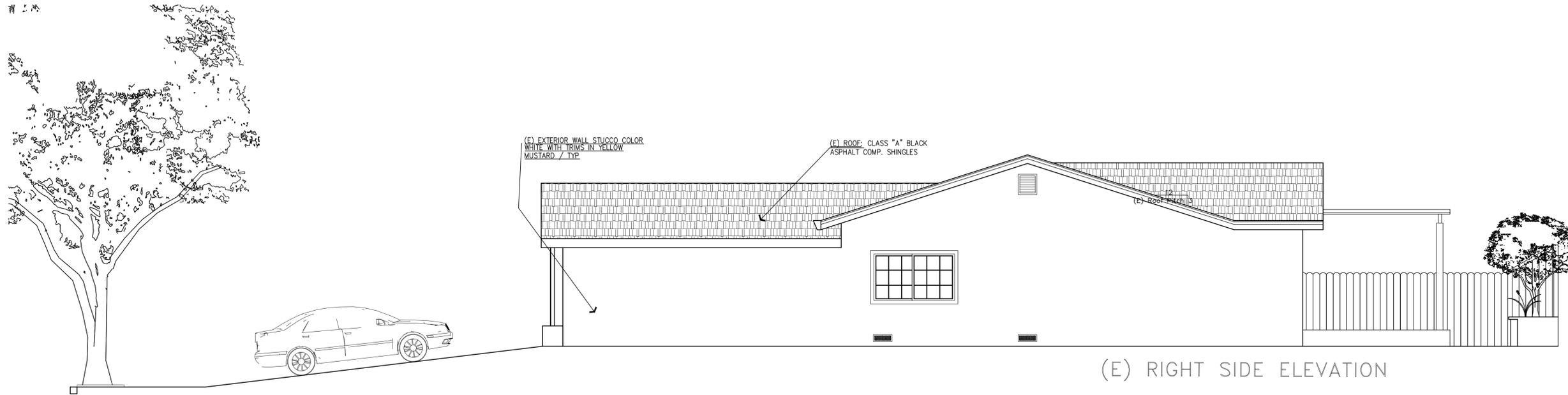
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(E) & (N)
ELEVATIONS

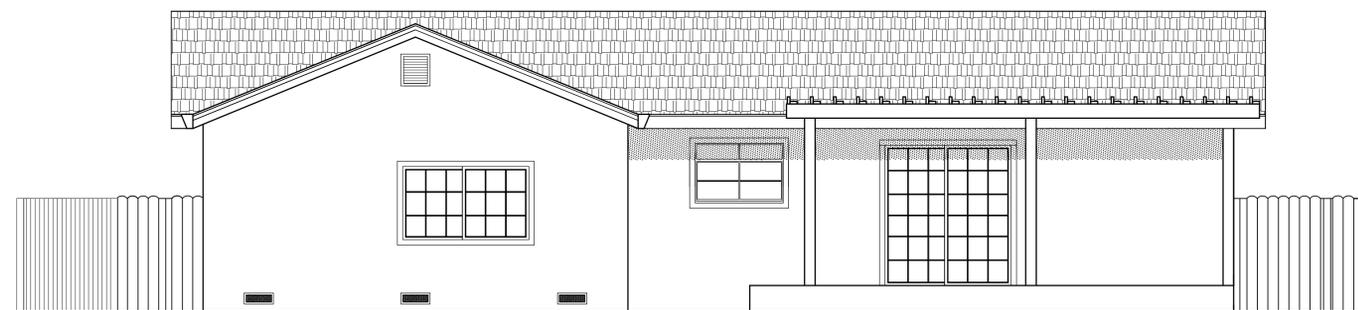
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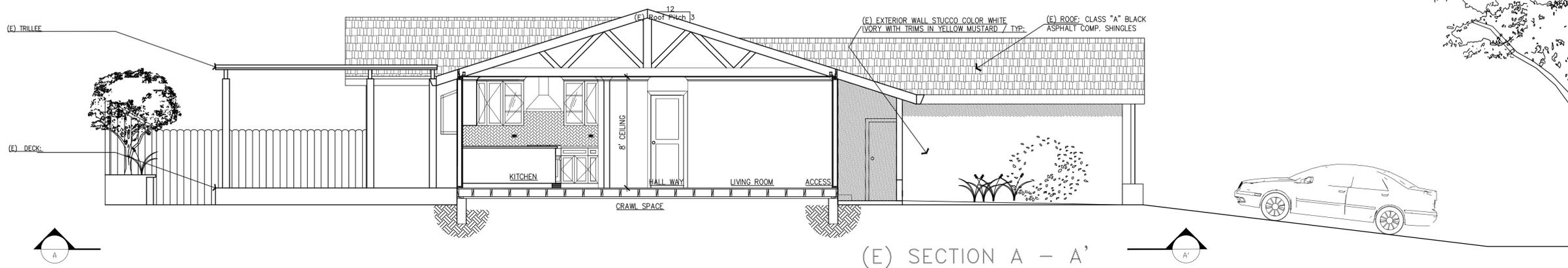
(E) RIGHT SIDE ELEVATION



(N) RIGHT SIDE ELEVATION



(E) BACK ELEVATION



TYPICAL EAVE ASSEMBLY:

- RAFTER TAILS (24" EAVE EXTENSION TYP; SEE ROOF PLAN FOR OVERHANG DIMENSIONS)-
- 2x8 SMOOTH FASCIA BOARD
- 1x4 SMOOTH TRIM
- 4" OGEE GUTTER (GALV; PRIMED & PAINTED)

TYPICAL ARBOR:

- 2x4 REDWOOD
- P.T. FRAMING

TYPICAL DECK:

- 2x6 REDWOOD DECKING
- P.T. FRAMING

(N) TYPICAL ROOF ASSEMBLY TO MATCH EXISTING:

- CLASS "A" BLACK ASPHALT COMP. SHINGLES
- BUILDING PAPER
- PLYWOOD SHEATHING
- ROOF TRUSSES (SEE STRUCTURAL DESIGN)
- R-30 BATT INSULATION BETWEEN JOISTS OVER UNCONDITIONED SPACE/EXT

TYPICAL EAVE ASSEMBLY:

- RAFTER TAILS (24" EAVE EXTENSION TYP; SEE ROOF PLAN FOR OVERHANG DIMENSIONS)-
- 2x8 SMOOTH FASCIA BOARD
- 1x4 SMOOTH TRIM
- 4" OGEE GUTTER (GALV; PRIMED & PAINTED)

EXTERIOR WALL ASSEMBLY (STUCCO) / TYP:

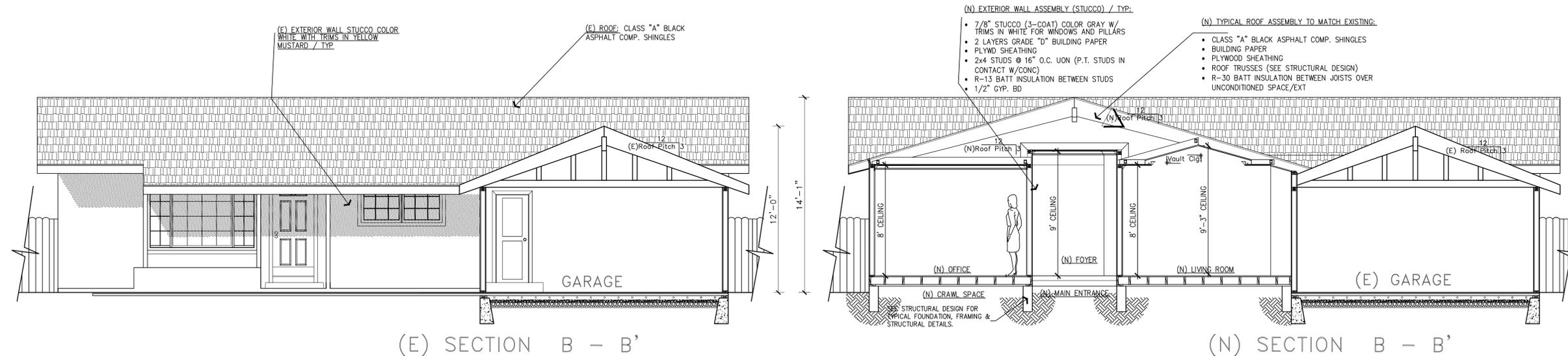
- 7/8" STUCCO (3-COAT) COLOR GRAY WITH TRIMS IN WHITE FOR WINDOWS AND PILLARS
- 2 LAYERS GRADE "D" BUILDING PAPER
- PLYWD SHEATHING
- 2x4 STUDS @ 16" O.C. UON (P.T. STUDS IN CONTACT W/CONC)
- R-13 BATT INSULATION BETWEEN STUDS
- 1/2" GYP. BD

CRAWLSPACE VENTILATION:
VENT 1 S.F./150 S.F. OF UNDERFLOOR AREA; U.O.N., PROVIDE PAINTED 6"x18" G.S.M. VENTS AS CLOSE TO CORNERS AS POSSIBLE AND ALLOWING CROSS-VENTILATION. VENTS SHALL BE COVERED WITH 1/2" WIRE MESH

SEE STRUCTURAL DRAWINGS FOR TYPICAL FOUNDATION, FRAMING & STRUCTURAL DETAILS.

SEE STRUCTURAL DRAWINGS FOR TYPICAL FOUNDATION, FRAMING & STRUCTURAL DETAILS.

(N) SECTION A - A'



(N) EXTERIOR WALL ASSEMBLY (STUCCO) / TYP:

- 7/8" STUCCO (3-COAT) COLOR GRAY W/ TRIMS IN WHITE FOR WINDOWS AND PILLARS
- 2 LAYERS GRADE "D" BUILDING PAPER
- PLYWOOD SHEATHING
- 2x4 STUDS @ 16" O.C. UON (P.T. STUDS IN CONTACT W/CONC)
- R-13 BATT INSULATION BETWEEN STUDS
- 1/2" GYP. BD

(N) TYPICAL ROOF ASSEMBLY TO MATCH EXISTING:

- CLASS "A" BLACK ASPHALT COMP. SHINGLES
- BUILDING PAPER
- PLYWOOD SHEATHING
- ROOF TRUSSES (SEE STRUCTURAL DESIGN)
- R-30 BATT INSULATION BETWEEN JOISTS OVER UNCONDITIONED SPACE/EXT

SEE STRUCTURAL DESIGN FOR TYPICAL FOUNDATION, FRAMING & STRUCTURAL DETAILS.

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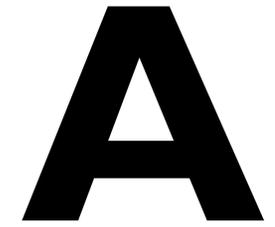
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REVISION	DATE
1 Site & Arch. Review	July 18, 2016

DIEGO VALENCIA/DESIGNER

DATE: JANUARY 30, 2017

(E) & (N) SECTIONS



CONSTRUCTION DOCUMENTATION SERVICES

ADDITION & REMODELING FOR:

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REVISION DATE

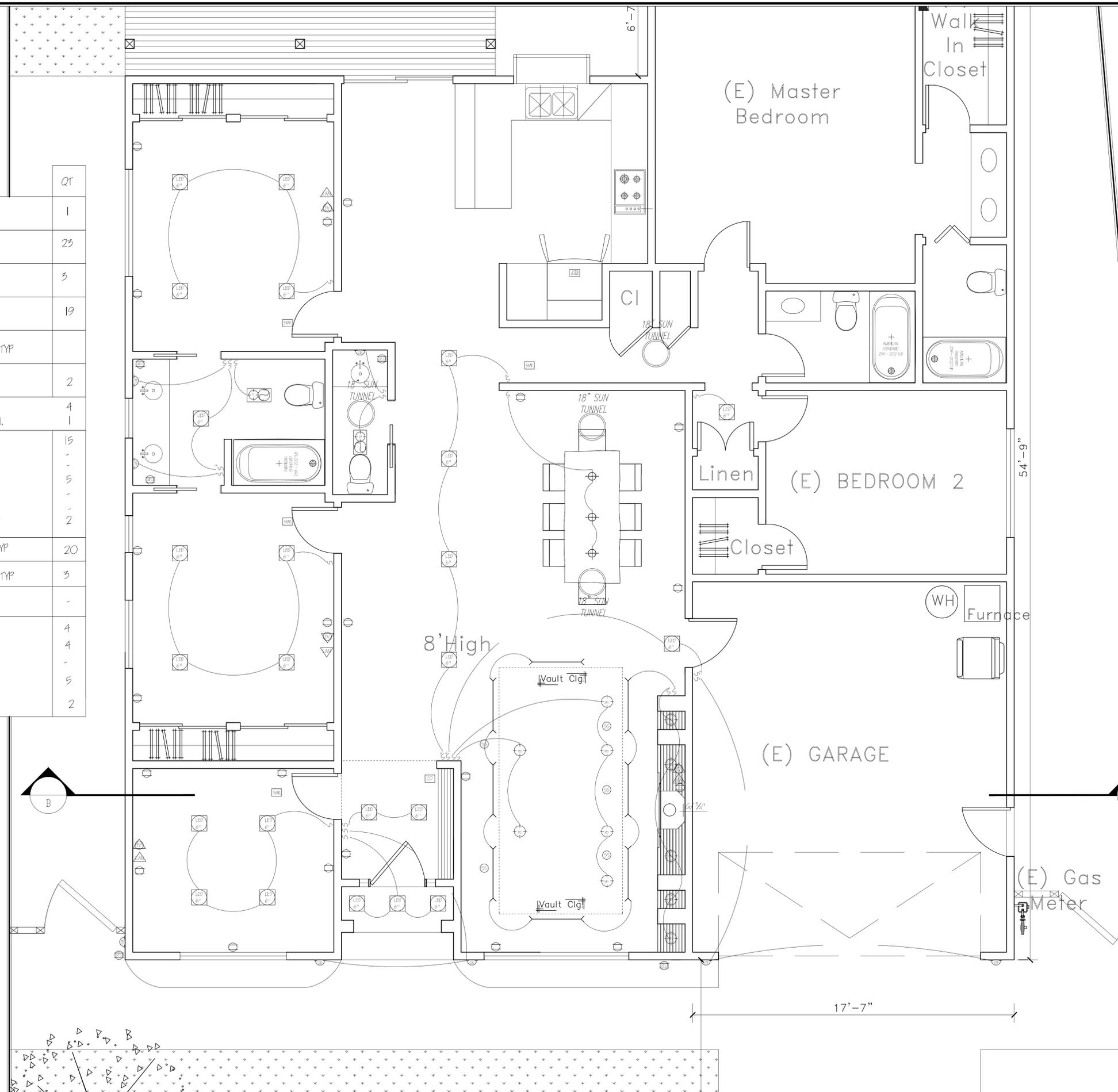
DIEGO VALENCIA/DESIGNER

DATE: JANUARY 30, 2017

(N) ELECTRICAL FLOOR PLAN

A.2.0

LEGEND		QT
	ELECTRICAL PANEL	1
	LED	23
	PENDANT LIGHT	3
	MOUNT SURFACE FIXTURE	19
	UNDER CABINET LIGHT/ FLUORESCENT TUBE, TYP	
	EXHAUST FAN	2
	SMOKE DETECTOR	4
	CARBON MONOXIDE ALARM + 90" TYP. U.O.N.	1
	SWITCH	15
	SWITCH-DIMMER	-
	SWITCH-DIMMER 3WAY	-
	SWITCH-3WAY	5
	SWITCH-4 WAY	-
	SWITCH-MOTION SENSOR	-
	SWITCH-MANUAL ON -OCCUPANCY DETECTOR	2
	CONVENTIONAL DUPLEX OUTLET/ 120V / TYP	20
	GROUND FAULT CIRCUIT INTERRUPT/ 120V / TYP	3
	DEDICATED CIRCUIT OUTLET/ 120V / TYP	-
	LOCAL AREA NETWORK (INTERNET)	4
	TV OR CABLE COAXIAL WIRE CONNECTION	4
	PHONE CONNECTION	-
	BUILT IN SPEAKERS (SOUND SYSTEM)	5
	GAS SUPPLY FOR APPLIANCE	2



TITLE : (N) ELECTRICAL FLOOR PLAN