



**CITY OF CAMPBELL**  
Community Development Department

May 2, 2017

**NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT**

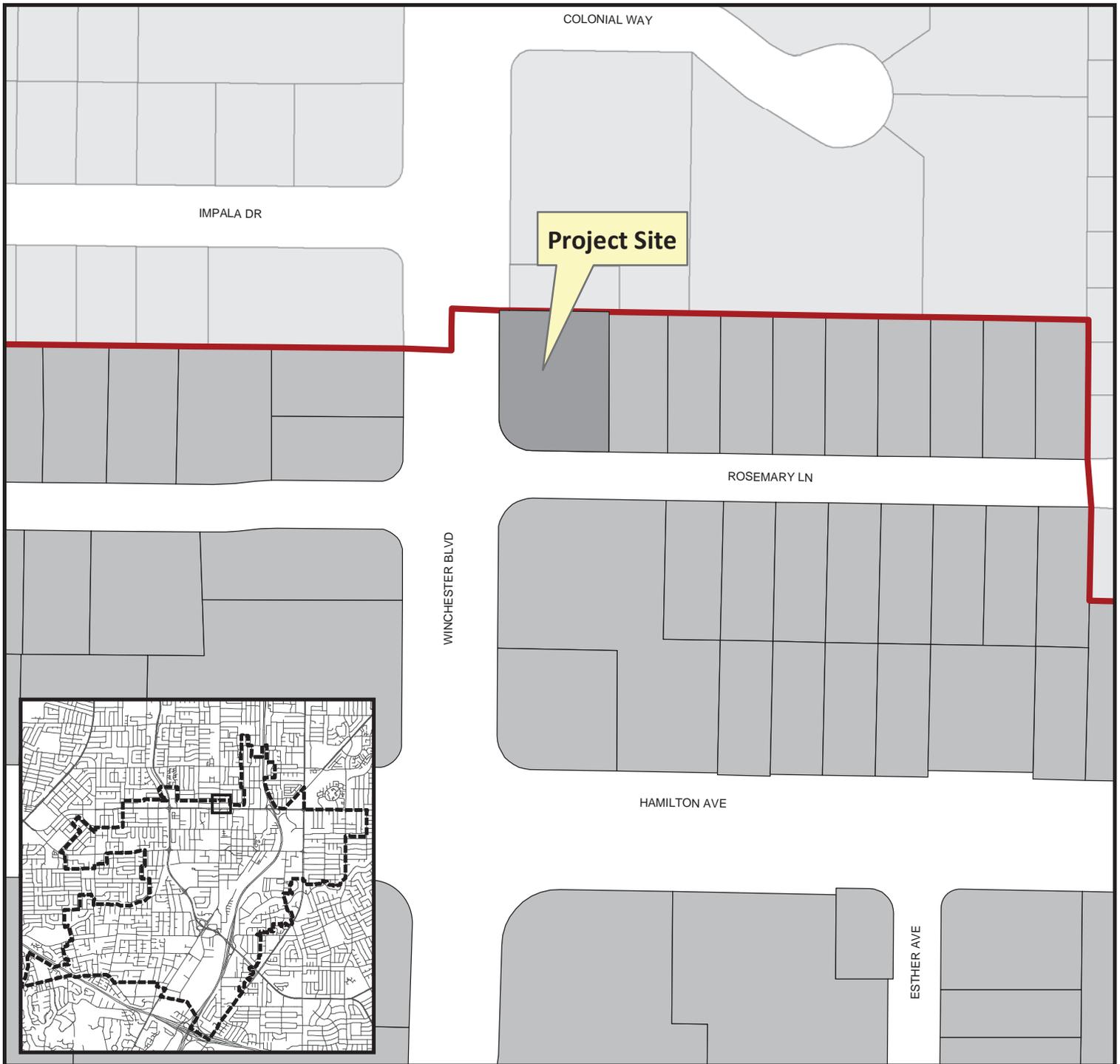
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

<b>File No.:</b>	<b>PLN2017-107</b>
<b>Applicant:</b>	<b>Violeta Chavez</b>
<b>Project Address:</b>	<b>1550 S. Winchester Blvd., Ste. 102</b>
<b>Property Owner:</b>	<b>David Matsuo</b>
<b>Zoning District:</b>	<b>C-PD (Condominium - Planned Development)</b>
<b>General Plan:</b>	<b>General Commercial</b>
<b>Project Description:</b>	<b>Administrative Planned Development Permit to allow the establishment a Person Service use within an existing office building.</b>

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on May 2, 2017 and ends on May 11, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **May 11, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Victoria Hernandez, Assistant Planner, in the Community Development Department, at (408) 866-2732 or by email [victoriah@cityofcampbell.com](mailto:victoriah@cityofcampbell.com).

# Project Location Map

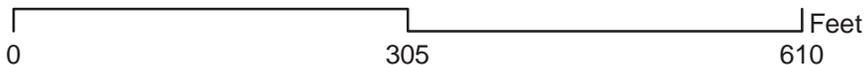


**Project Location:** 1550 S. Winchester Blvd., Ste. 102

**Application Type:** Administrative Planned Development Permit

**Planning File No.:** PLN2017-107

**Description:** Establishment of a Personal Service use within an existing multi-tenant office building.



Community Development Department  
Planning Division

Admin. Planned Development Permit  
Salon de Belleza Monarkita  
Violeta Chavez

Written Statement

Violeta's Salon de Belleza Monarkita is a new business dedicated to providing beauty salon services to individual customers. More specifically the owner will be cutting and dying hair. Violeta will also be providing nail services.

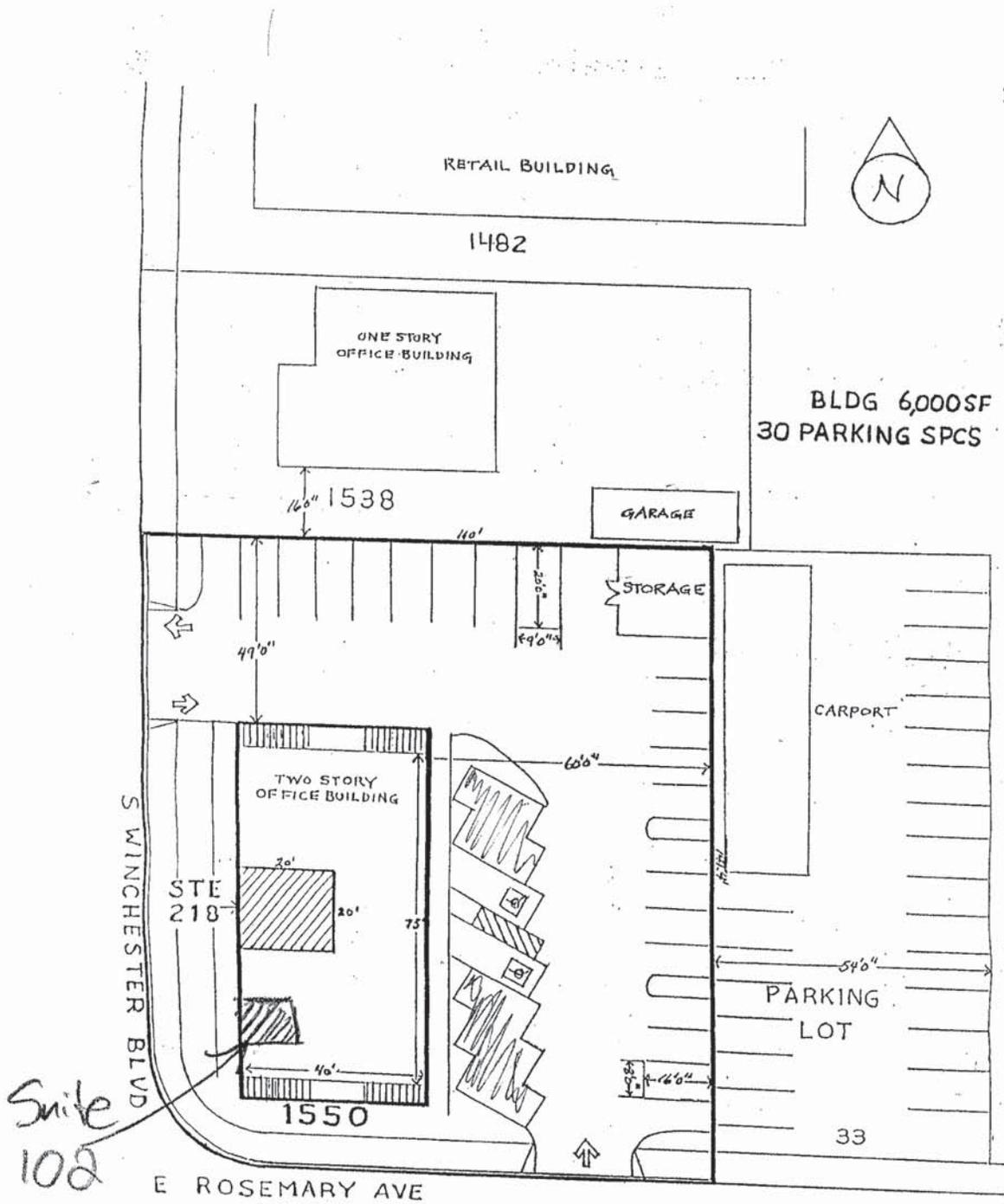
Hours of operation will be Tuesday till Saturday from 10:00am – 7:00 pm. It will open on Sundays from 10:00am – 3:00 pm, and will be closed on Mondays.

Violeta will be the only person working in this business, however, that can potentially change.

**RECEIVED**

**MAR 24 2017**

**CITY OF CAMPBELL  
PLANNING DEPT.**



Suite  
102

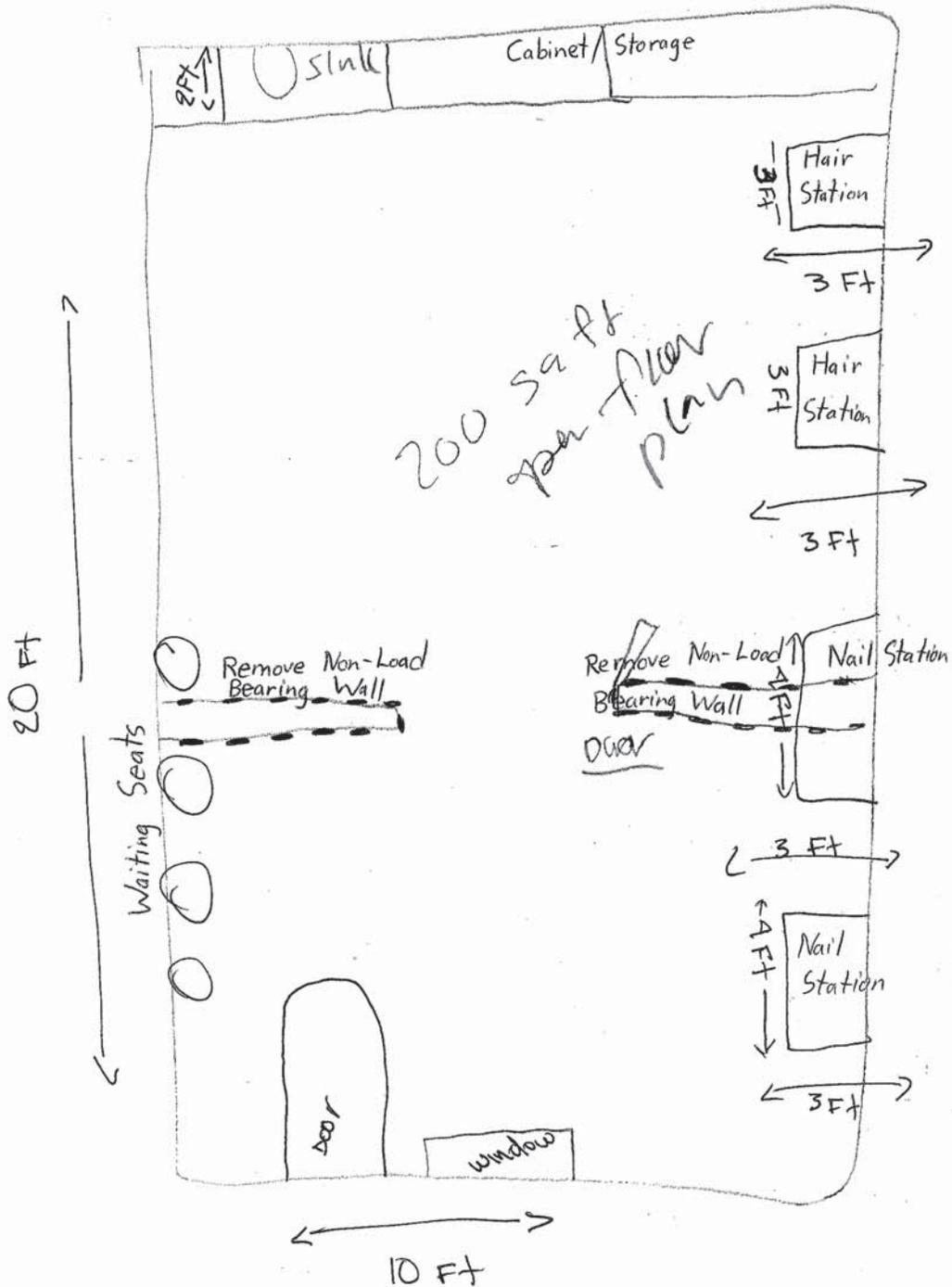
2 SITE PLAN  
1" = 20 FT

open parking in lot.  
Justin Accola

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MAR 24 2017  
CITY OF CAMPBELL  
PLANNING DEPT.

STE 102

Justin  
ACW19



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APR 20 2017

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