



**CITY OF CAMPBELL**  
**Community Development Department**

June 2, 2017

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 13, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Igor Markovsky for a Site and Architectural Review Permit (PLN2017-59) to allow a major addition and remodel to an existing single-family residence on property located at **1829 Regina Way**. Staff is recommending that this project be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

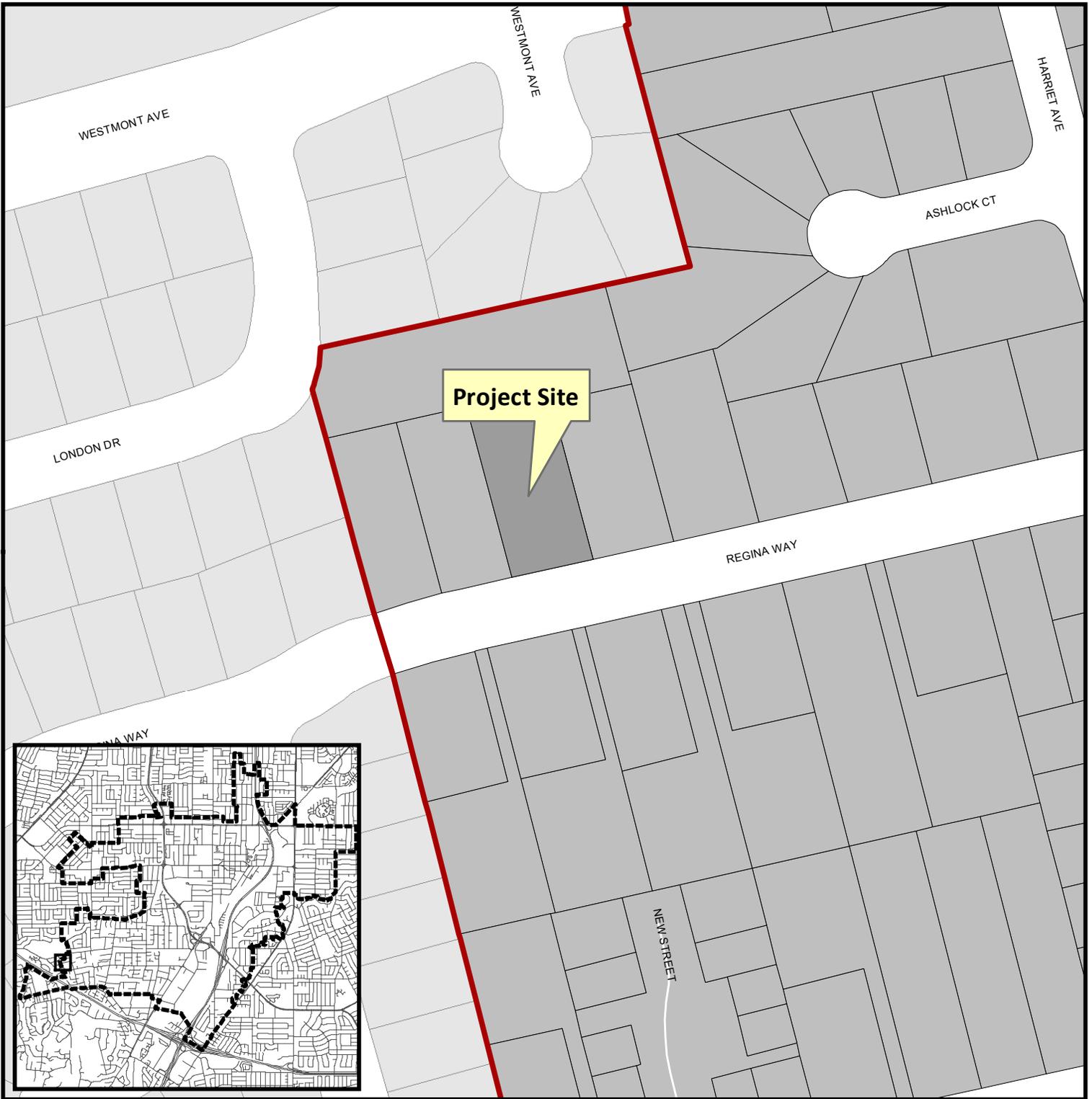
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

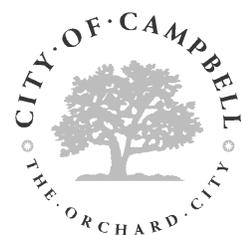
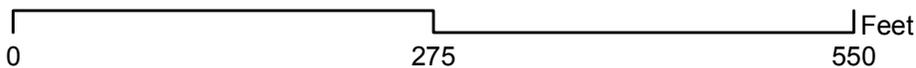
PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **1829 Regina Way**

# Project Location Map



**Project Location:** 1829 Regina Way  
**Application Type:** Site and Arch. Review Permit  
**Planning File No.:** PLN2017-59

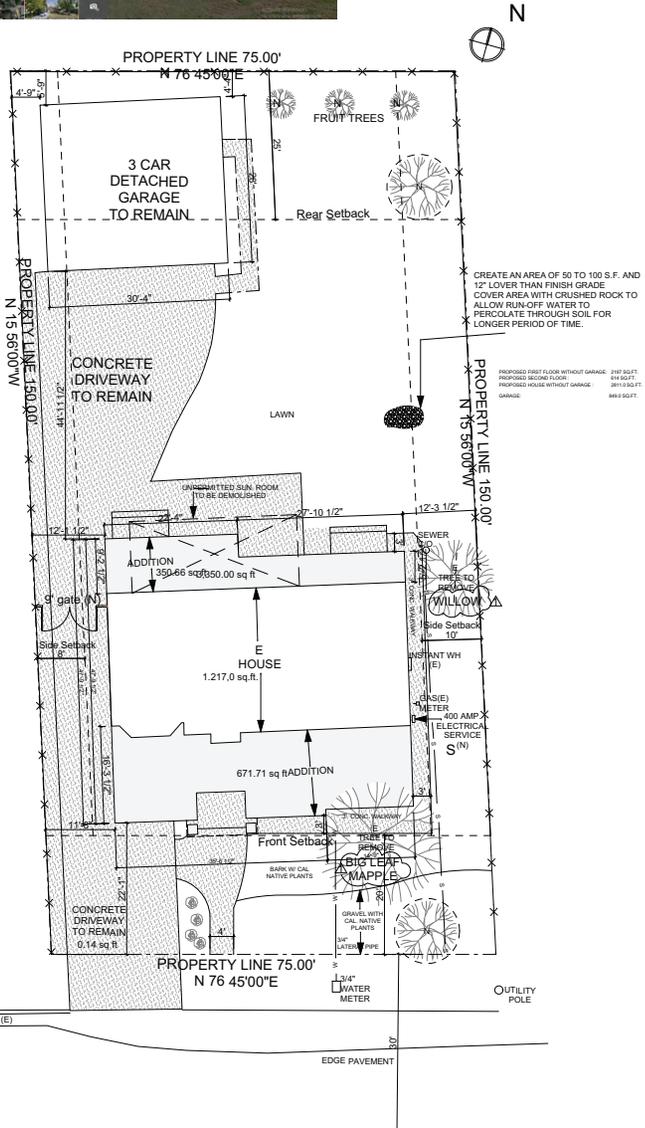


Community Development Department  
Planning Division



**SCOPE OF WORK**

1494 SQ.FT. ADDITION TO THE EXISTING RESIDENCE TO PROVIDE NEW BEDROOM, BATHROOM AND LOFT TO ENLARGE EXISTING BEDROOMS, TO ADD A STAIR, TO RELOCATE A KITCHEN, TO DEMOLISH UNPERMITTED SUN ROOM, TO INSTALL NEW TANKLESS WATER HEATER, TO UPSIZE ELECTRICAL PANEL TO 400 AMP, TO REMOVE TWO TREES



REGINA WAY  
(60' WIDE )

**PLOT PLAN**  
3/32"=1'0"

**PROJECT DATA**

PROJECT FOR: Igor Markovsky  
PROJECT ADDRESS: 1829 REGINA WAY, CAMPBELL, 95008-5812  
APN: 403-12-009  
PROJECT TYPE: ADDITION AND REMODELING  
OWNER: IGOR MARKOVSKY 408 7724189  
PLANS DRAWN BY: NATALIA AMATUNI 408 4200411

**PROJECT SUMMARY**

ZONING: R-1-9  
ALLOWABLE BUILDING COVERAGE RATIO: 35%  
ALLOWABLE FLOOR AREA INCLUDING DETACHED GARAGE: .45  
PROPOSED LOT COVERAGE: 3082 SQ.FT. (1ST FLOOR AREA & GARAGE) 27%  
PROPOSED FLOOR AREA RATIO: 3560.0 SQ.FT. DIVIDED BY 11 250.0 SQ.FT.= 31%  
Maximum building height is 28 feet and structures shall not exceed 2.5 stories from natural grade.  
MIN. SETBACK FRONT 20'  
GARAGE 25' FROM THE STREET  
MIN. SETBACK SIDE 10' OR 60% OF THE HEIGHT OF ADJUSTED WALL/ 8' OR 60% OF WALL  
MIN. REAR SETBACK 25'  
TYPE OF CONSTRUCTION: U/BU  
OCCUPANCY: R-3

LOT AREA: 11 250.0 SQ.FT.  
PROPOSED ADDITION: 1494.0 SQ.FT. (SEE A.02 FOR CALCS.)  
EXISTING HOUSE: 12 277.0 SQ.FT.  
EXISTING DETACHED GARAGE: 849.0 SQ.FT.  
EXISTING HOUSE & GARAGE: 2066.0 SQ.FT.  
ADDITION 1 ST FLOOR: 1016.0 SQ.FT.  
ADDITION 2 ND FLOOR: 478.0 SQ.FT.  
PROPOSED FIRST FLOOR: 2233.0 SQ.FT.  
PROPOSED SECOND FLOOR: 478.0 SQ.FT.  
TOTAL HOUSE (1 STA 2 ND FLRS.) WITHOUT GARAGE: 2711.0 SQ.FT.  
EXISTING DETACHED GARAGE TO REMAIN: 849.0 SQ.FT.  
TOTAL WITH GARAGE: 3560.0 SQ.FT.

**DRAWING INDEX**

A1	PROJECT DATA PLOT PLAN
A2	FLOOR AREA CALCULATIONS BMP
A3	EXISTING FLOOR PLAN EXISTING ELEVATIONS
A4	PROPOSED FLOOR PLAN 1 ST. FL. & 2 ND FL.
A5	PROPOSED ELEVATIONS
A6	ROOF PLAN
A7	SECTIONS A-A & B-B
A8	SECTIONS C-C & D-D
A9	CAL GREEN SHEET 1
A9.1	CAL GREEN SHEET 2 & CAL GREEN CHECKLIST
A10	ELECTRICAL PLAN
A11	POLLUTION PREVENTION
G1	GENERAL NOTES
S1.1	SWS + DETAILS
S1.2	HOLDOWN DETAILS
S1.3	TYPICAL DETAILS
S2.0	
S2.1	
S2.2	FDN & 1ST FRAMING DETAILS
S3.0	FDN & 1ST FRAMING PLAN
S3.1	1 ST. FLOOR SHEAR- WALL PLAN
S3.2	FOUNDATION & 1ST FRAMING DETAILS
S4.0	2 ND FLOOR FRAMING PLAN
S4.1	2 ND FLOOR SHEAR- WALL PLAN
S5.0	
EC	TITLE 24

**NOTE:**  
Landscaping will be compliant with the WELO standards (chapter 2.7, division 2, of Title 23 of the California Code of regulations ) as adopted by the Campbell Water efficient Landscape guidelines.

**PLANS SHALL BE IN COMPLIANCE WITH:**

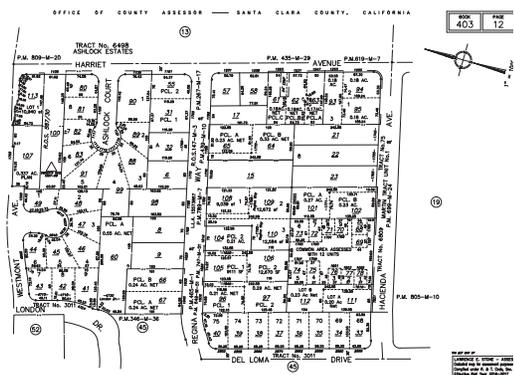
- CALIFORNIA BUILDING CODE, 2013 EDITION (ADOPTS THE INTERNATIONAL BUILDING CODE, 2012 EDITION WITH STATE AMENDMENTS).
- CALIFORNIA RESIDENTIAL CODE, 2013 EDITION (ADOPTS THE INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION WITH STATE AMENDMENTS).
- CALIFORNIA PLUMBING CODE, 2013 EDITION (ADOPTS UNIFORM PLUMBING CODE, 2012 IAPMO EDITION WITH STATE AMENDMENTS)
- CALIFORNIA MECHANICAL CODE, 2013 EDITION (ADOPTS THE UNIFORM MECHANICAL CODE, 2012 IAPMO EDITION WITH STATE AMENDMENTS)
- CALIFORNIA ELECTRICAL CODE, 2013 EDITION (ADOPTS THE NATIONAL ELECTRICAL CODE, 2011 EDITION WITH STATE AMENDMENTS)
- 2013 CALIFORNIA REFERENCED STANDARDS CODE
- 2013 CALIFORNIA ENERGY CODE
- GREEN BUILDING CODE (AMENDMENT 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE)

**SITE PLAN LEGENT:**

- PROPERTY LINE
- SETBACK LINE
- NEW & EXISTING STRUCTURE
- EXISTING TREE TO REMAIN
- N -NEW TREE
- 1 6' Wooden fence to remain
- Downspout
- Water line
- Sanitary Sewer line
- Clean Out

**Storm water drainage and retention during construction:**

- Provide 5% min. slope away from the building (6" for the first 10 feet.)
- Cut swales at 1% slope min. to carry surface water to front yard landscaping. Refer to site plan to direction of drainage at swales.
- Swale elevation of high point to be 0.10' min. below pad elevation.
- In no case shall the swale flowline be lower than the bottom of the footing within 5' of the footing.
- To prevent soil erosion during construction cover loose dirt with rolled coconut blankets or permeable geotextile fabric. Refer to manufacturer recommended overlapping and stapping methods. If necessary place straw wattles at the street property line to retain soil runoff on the site.



VICINITY MAP N.T.S.

IF THE WATER METER NEEDS TO BE UPSIZED, A LICENSED CLASS "A" CONTRACTOR SHALL APPLY FOR AN ENCROACHMENT PERMIT WITH THE ENGINEERING DEPARTMENT FOR ALL WORK PERFORMED WITHIN THE CITY'S RIGHT OF WAY, INCLUDING THE NEW WATER METER/ SERVICE WORK.

**NOTES:**  
CONTRACTOR OR OWNER/ BUILDER IS RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, DIMENSIONS AND ROOF SLOPES IN FIELD.

EXISTING LANDSCAPING TO BE PROTECTED DURING CONSTRUCTION AND TO BE RETAINED AFTER CONSTRUCTION.

FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5% FOR A MIN. DISTANCE OF 10 FEET (CBC 1804.3).

ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE ( OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MIN. 12 INCHES PLUS 2%.

NOTE 1: 2013 CALIFORNIA CODE OF REGULATIONS AS AMENDED BY STATE OF CALIFORNIA AND ALL APPLICABLE CITY OF CAMPBELL ORDINANCES WILL BE EMPLOYED DURING THIS PROJECT.

NOTE 2: CONTRACTOR / PROPERTY OWNER SHALL POST HOURS OF OPERATION AND PHONE NUMBERS FOR NOISE COMPLAINTS.

NOTE 3: NO DEBRIS BOXES OR BUILDING MATERIALS SHALL BE STORED ON THE STREET.

NOTE 4: THERE WILL BE NO NEW LANDSCAPED AREA AS THE PART OF THIS PROJECT.

NOTE 5: PROVIDE TREE PROTECTION DURING CONSTRUCTION. THERE WILL BE NO TREES REMOVED.

NOTE 6: VERIFY LOCATION OF UNDERGROUND UTILITIES AND NOTIFY UTILITY COMPANY PRIOR TO DIGGING.

NOTE 7: IMPLEMENT REQUIRED MEASURES TO MINIMIZE STORM WATER RUN OFF FROM THE SITE AND PREVENT STORM WATER CONTAMINATION DURING CONSTRUCTION PROVIDE DRY WELLS UNDER EA. DOWNSPOUT DISCHARGE.

**PUBLIC WORKS NOTES:**

- Wastewater generated from the installation, cleaning, treating, and washing of the surface of copper features, including copper roof, shall be discharged to the sanitary sewers or landscaping or collect/haul off-site.
- All landscaping shall be maintained and shall be designed with efficient irrigation systems to reduce runoff, promote surface filtration, and minimize the use of fertilizers, herbicides and pesticides.
- To ensure that applicable Best Management Practices (BMPs) from the Santa Clara Valley Urban Runoff Pollution Prevention program are followed to prevent discharge of soil or any construction material into the gutter, stormdrain system, or creek.
- Broken existing sidewalks and curbs shall be repaired as directed by City engineer in the field.

**REVISIONS**

05.24.2017

BY

PROJECT FOR  
IGOR MARKOVSKY  
1829 REGINA WAY,  
CAMPBELL, CA,

NATALIA AMATUNI  
RESIDENTIAL DESIGN  
n.amatuni@gmail.com  
408 4200411

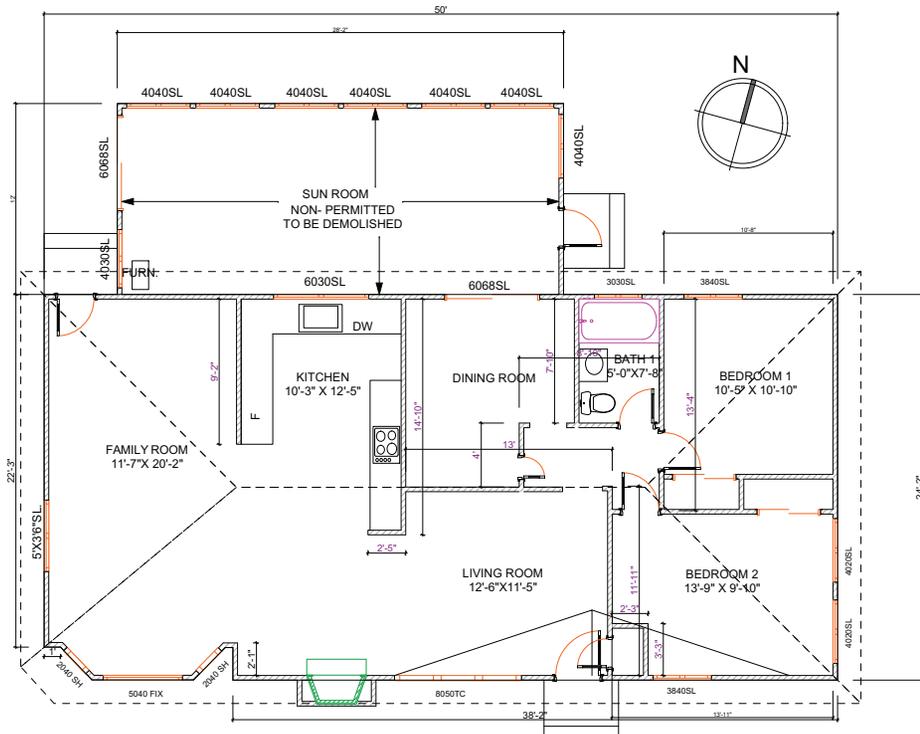
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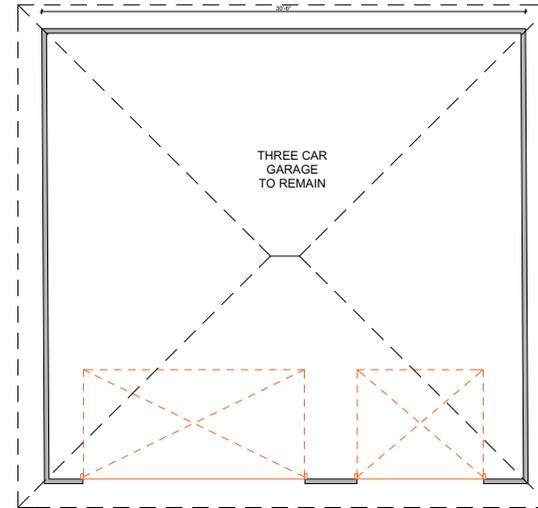
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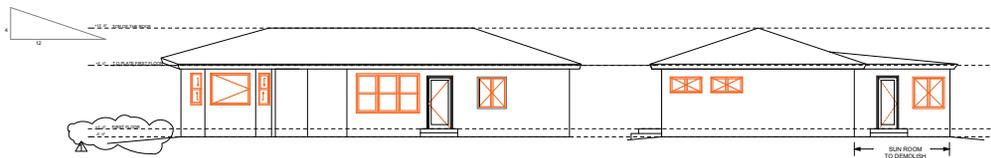
**EXISTING HOUSE PLAN**  
1/4"=1'0"



**EXISTING GARAGE**  
1/4"=1'0"

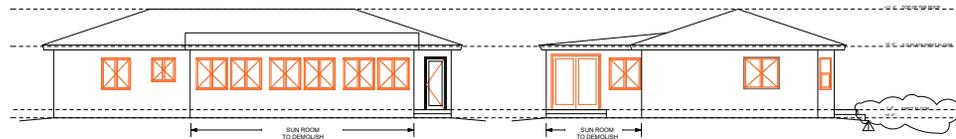
EXISTING INTERIOR WALLS:  
 $11' + 13'4" + 4' + 3'3" + 11'11" + 13'11" + 13' + 8'10" + 7'10" + 9'2" + 2'4" + 2' + 14'10" + 2'5" = 118.0$  feet  
 MINIMUM INTERIOR WALLS TO REMAIN:  
 $118.0 \times 0.26 = 31.0$  feet

EXISTING EXTERIOR WALLS:  
 $24'2" + 50' + 22'2" + 1' + 2'10" + 8'5" + 2'10" + 2' + 1' + 3'8" = 151.0$  feet  
 MINIMUM EXTERIOR WALLS TO REMAIN:  
 $151.0 \times 0.26 = 39.0$  feet



**SOUTH ELEVATION**

**EAST ELEVATION**



**NORTH ELEVATION**

**WEST ELEVATION**

**EXISTING ELEVATIONS**  
1/8"=1'0"

**REVISIONS**

05.24.2017

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 CAMPBELL, CA,

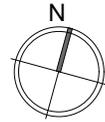
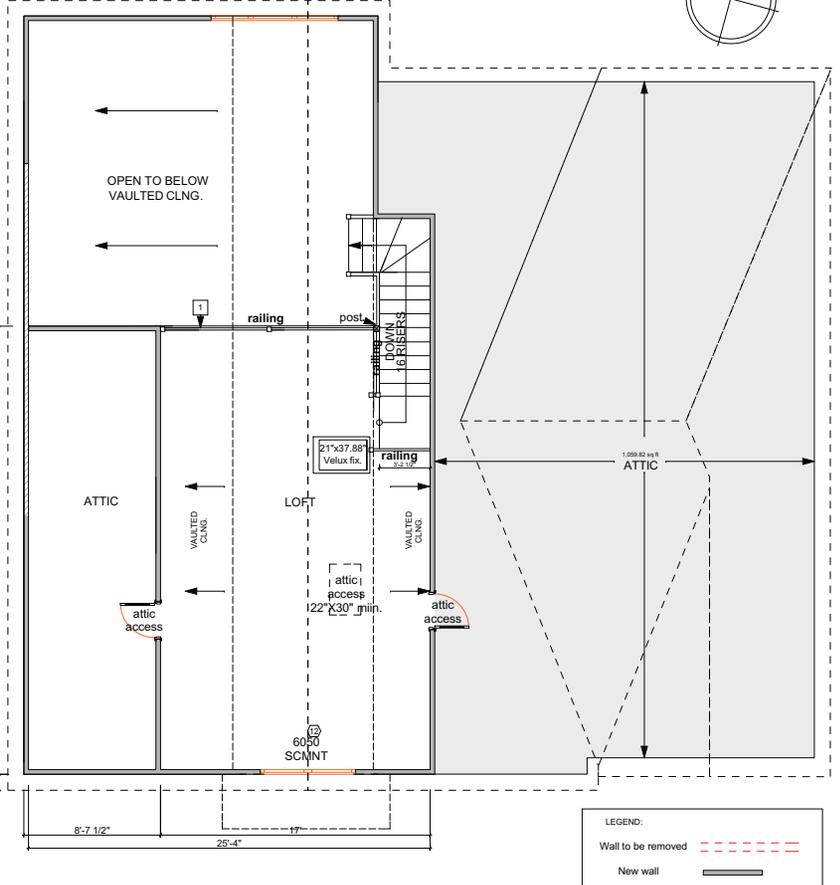
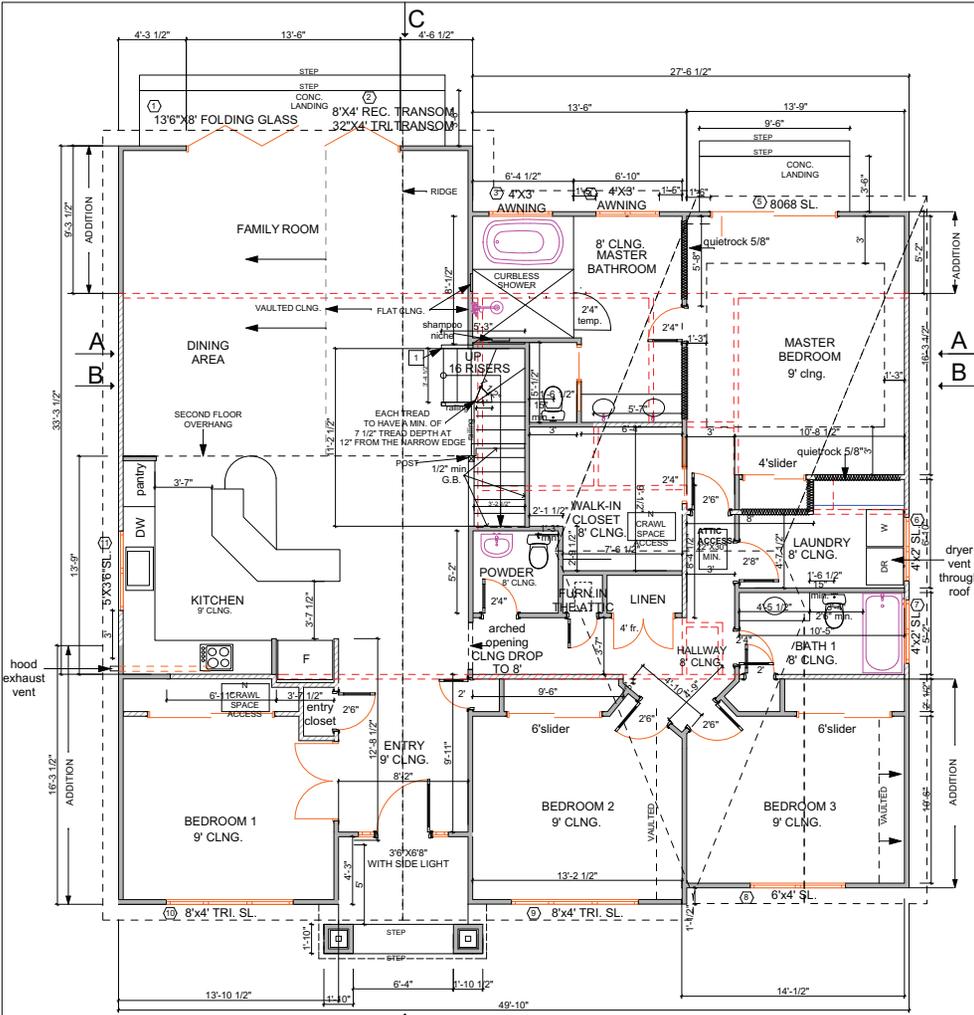
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**A 3 OF**

SHEET NUMBER



**PROPOSED PLANS**  
1/4"=1'0"

**SECOND FLOOR**

LEGEND:

Wall to be removed	-----
New wall	=====
Existing wall	—————

**NOTE:**  
Attic will remain unconditioned and the attic access will be through a "hatch" door or opening size significantly smaller than a standard door size (height.)

- WINDOW NOTES:**
1. ALL WINDOWS TO BE DOUBLE GLAZED. U.O.N.
  2. CONTRACTOR SHALL VERIFY ALL FINAL MANUFACTURER'S WINDOW SIZES BEFORE ORDERING AND INSTALLING.
  3. ALL HEADER HEIGHTS TO BE MEASURED FROM TOP OF PERSPECTIVE SUBFLOOR. U.O.N.
  4. ALL WINDOWS AND DOORS MUST BE TEMPERED GLASS ON THE EXTERIOR PANE.

EXISTING INTERIOR WALLS TO REMAIN: 31 FEET  
(See A3 for existing interior walls calculations)

(E) INTERIOR WALLS TO REMAIN CALCULATIONS  
57' + 103' + 84' 8" + 326'  
326' > 31'. COMPLY

(E) EXTERIOR WALLS TO REMAIN CALCULATIONS  
242' + 222' = 462 feet  
462 > 39.0. COMPLY

EXISTING EXTERIOR WALLS TO REMAIN: 39 FEET  
(See A3 for existing exterior walls calculations)

- STAIR NOTES:**
1. (N) HANDRAIL & GUARDRAIL PROVIDE 36" H. GUARDRAIL. 1 1/4" DIAM. TO 2" DIAM. CONTINUOUS STAIR HANDRAIL 34" TO 38" ABOVE STAIR NOSING WITH NO SHARP EDGES AND BALUSTERS SPACED SUCH THAT 4" DIA. SPHERE CANNOT PASS THROUGH.

**WINDOW SCHEDULE**

WINDOW #	QUANT.	LOCATION	TYP.	EGRESS	TEMPERED GLS	NEW	REPLACE
1	1	FAMILY ROOM	13'6" X8' GLASS FOLDING DOOR			•	•
2	1	FAMILY ROOM	8040 TRANSOM RECT. HEADER 14' & TRANSOM 32' X4' TRAPEZ. HEADER 14'			•	•
3	1	MASTER BATH	4030 AWNING OBLSCURED			•	•
4	1	MASTER BATH	4030 AWNING OBLSCURED			•	•
5	1	MASTER BEDROOM	8068 SL			•	•

6	1	LAUNDRY	4020 SL			•	•
7	1	BATH 1	4020 SL OBLSCURED			•	•
8	1	BEDROOM 3	6040 SL			•	•
9	1	BEDROOM 2	8040 TR. SL			•	•
10	1	BEDROOM 1	8040 TR. SL			•	•
11	1	KITCHEN	5036 SL			•	•
12	1	LOFT	6050 CSMNT			•	•

**REVISIONS**

05.24.2017

**BY**

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**DATE**

**A 4 OF**

**SHEET NUMBER**



NEW ROOF:  
COMPOSITION SHINGLES ROOFING, GAF,  
WEATHERED WOOD COLOR OR SIMILAR

REQUIRED VENTILATION ATTIC  
(SEE A8 FOR CALCS.)

1069 SQ.FT. OF NEW ATTIC AREA  
1069x144=153912 SQ.IN.  
(PER CRC R806.2 REQUIRED OPENINGS AREA 1/150 OF  
VENTILATED AREA IF APPROVED VAPOR BARRIER  
PROVIDED).  
REQUIRED OPENINGS ON TWO SIDES  
(LOW VENTS- INTAKE AND RIDGE VENTS- HIGH VENTS-  
EXHAUST)  
1018.2=509 SQ.IN. OF INTAKE NET FREE AREA & 509 SQ.IN.  
OF EXHAUST NET FREE AREA.

EXHAUST:  
509 > 72, SEVEN PCS. OF SHINGLE VENT (4" LENGTH)  
OR  
509 :39.6 = THIRTEEN PCS OF RECTANGLE GABLE LOUVERS  
12"X12"

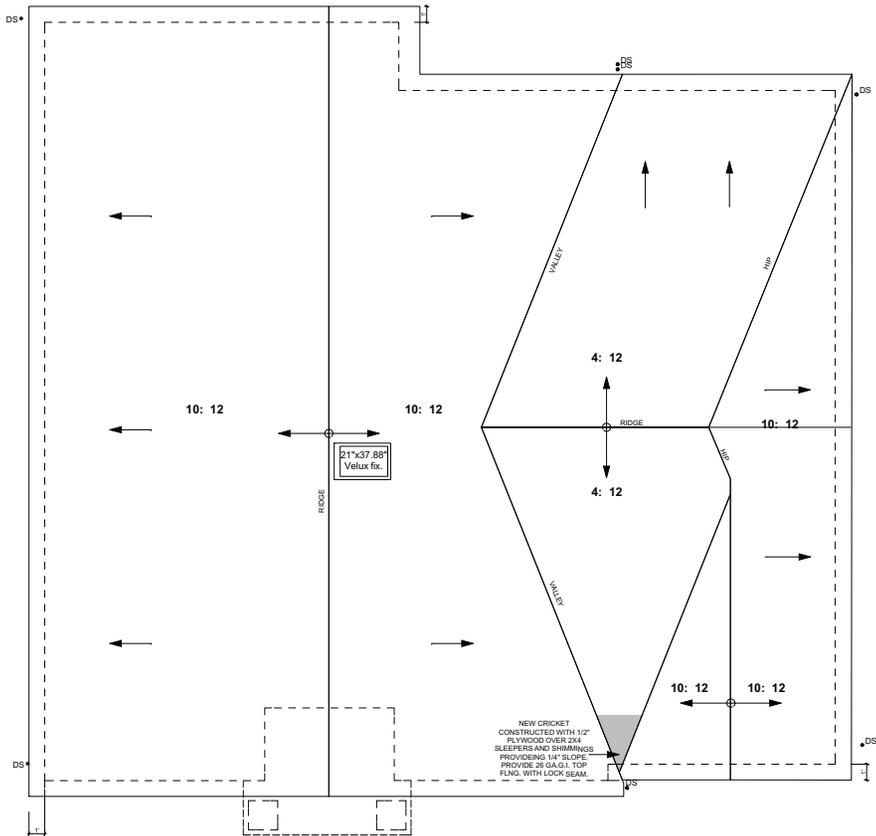
INTAKE:  
OPENING SIZE 2"X4"=8SQ.IN.  
(SAW CUT BLOCKING)  
509:8=64 PCS, USE FOR EACH SIDE OF THE HIP  
MAX 2 PER RAFTER BAY @EACH BAY.

REQUIRED VENTILATION ATTIC  
ABOVE BDRM1 & KITCHEN (SEE A2 FOR CALCS.)

238 SQ.FT. OF NEW ATTIC AREA  
238x144=34272 SQ.IN.  
(PER CRC R806.2 REQUIRED OPENINGS AREA 1/150 OF  
VENTILATED AREA IF APPROVED VAPOR BARRIER  
PROVIDED).  
REQUIRED OPENINGS ON TWO SIDES  
(LOW VENTS- INTAKE AND RIDGE VENTS- HIGH VENTS-  
EXHAUST)  
204.2=114 SQ.IN. OF INTAKE NET FREE AREA & 114 SQ.IN.  
OF EXHAUST NET FREE AREA.

EXHAUST:  
114 > 72, TWO PCS. OF SHINGLE VENT (4" LENGTH)  
OR  
114 :39.6 = THREE PCS OF RECTANGLE GABLE LOUVERS  
12"X12"

INTAKE:  
OPENING SIZE 2"X4"=8SQ.IN.  
(SAW CUT BLOCKING)  
114:8=14 PCS, USE FOR EACH SIDE OF THE HIP  
MAX 2 PER RAFTER BAY @EACH BAY.



ROOF PLAN  
1/4"=1'0"



FRONT VIEW



LEFT VIEW



REAR VIEW



RIGHT VIEW

3D MODELS

REVISIONS

BY

PROJECT FOR  
IGOR MARKOVSKY  
1829 REGINA WAY,  
CAMPBELL, CA,

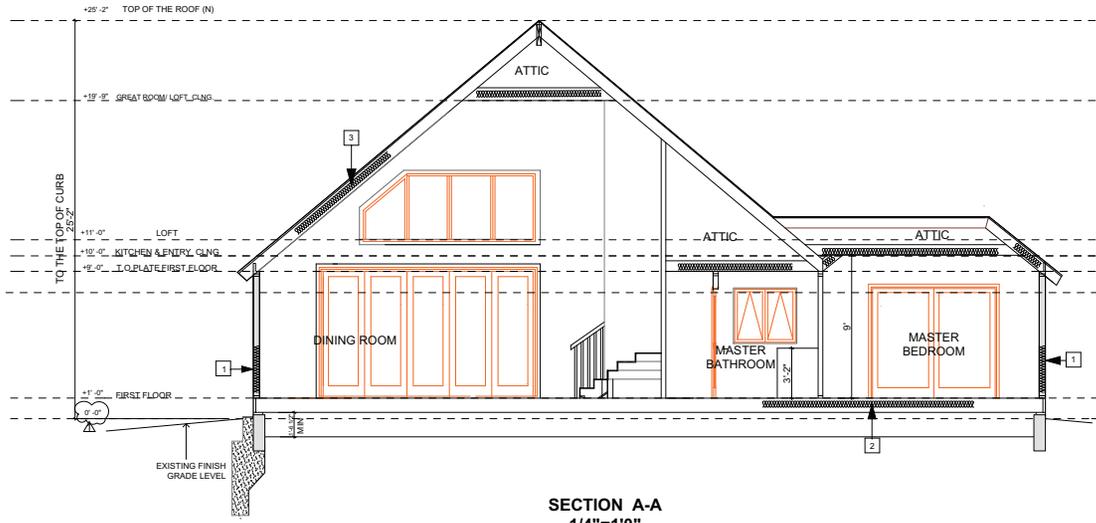
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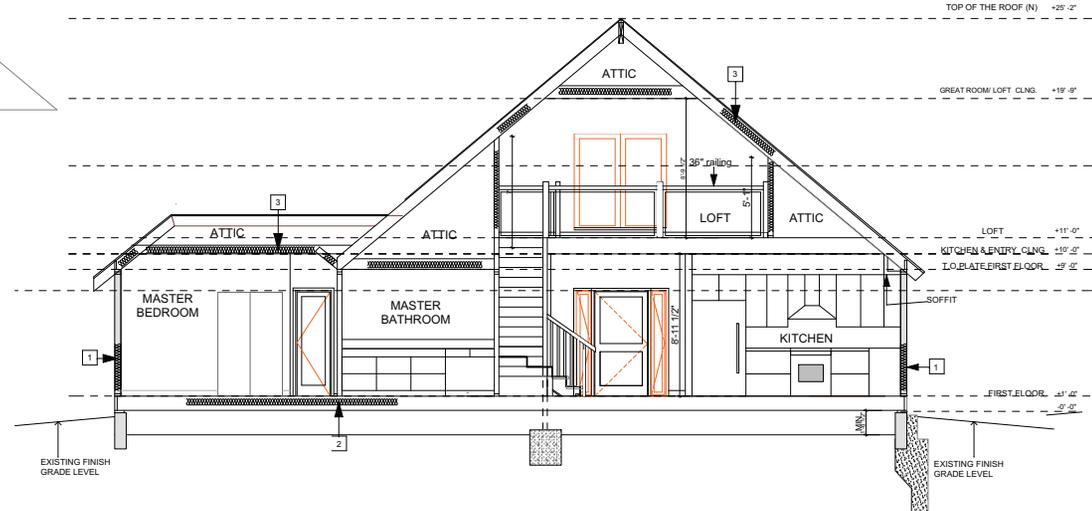
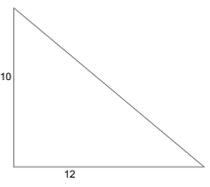
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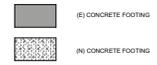


**SECTION A-A**  
1/4"=1'0"



**SECTION B-B**  
1/4"=1'0"

- 1 R-15 w/ EXTERIOR R-5 MIN. THERMAL INSULATION
- 2 R-19 MIN. THERMAL INSULATION
- 3 R-38 MIN. THERMAL INSULATION



**STAIRWAY NOTES:**  
STAIRWAY SHALL BE NOT LESS THAN 36" IN WIDTH. RISERS SHALL BE NO GREATER THAN 7 1/2". TREADS SHALL BE MIN. 10".

OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR - BETWEEN BALUSTERS OR BETWEEN POST AND BALUSTER - SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH.

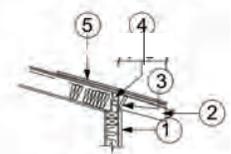
THE SPACE BETWEEN THE FINISHED FLOOR AND THE BOTTOM RAIL MUST NOT EXCEED 4 INCHES.

THE BALUSTRADE MUST BE ABLE TO WITHSTAND 200 POUNDS OF FORCE OF PRESSURE AT ANY POINT.

THE MINIMUM BALUSTRADE HEIGHT IS 42 INCHES.

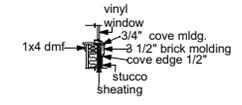
TRIM SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 3 1/2 INCHES. HANDRAILS MAY PROJECT FROM EACH SIDE OF A STAIRWAY A DISTANCE OF 3 1/2 INCHES INTO THEIR EQUIURED WIDTH.

**N.T.S. EV.1 DETAIL**

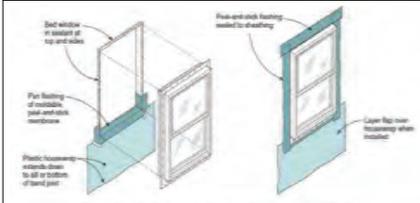


- 1 stucco
- 2 2x6 rafter tail
- 3 1x6 blocking w/3 1/2" diam. holes w/ 1/4" screen
- 4 2x blocking w/3 -1 1/2" diam. holes
- 5 roof finish

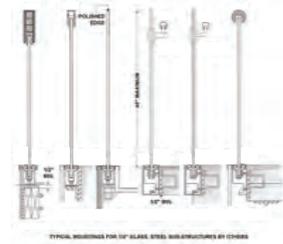
**N.T.S SILL DETAIL**



**WINDOWS FLASHING**



**GLASS RAIL ASSEMBLY**



**REVISIONS**

NO.	DATE	DESCRIPTION
1	05.24.2017	

BY

PROJECT FOR  
IGOR MARKOVSKY  
1829 REGINA WAY,  
CAMPBELL, CA,

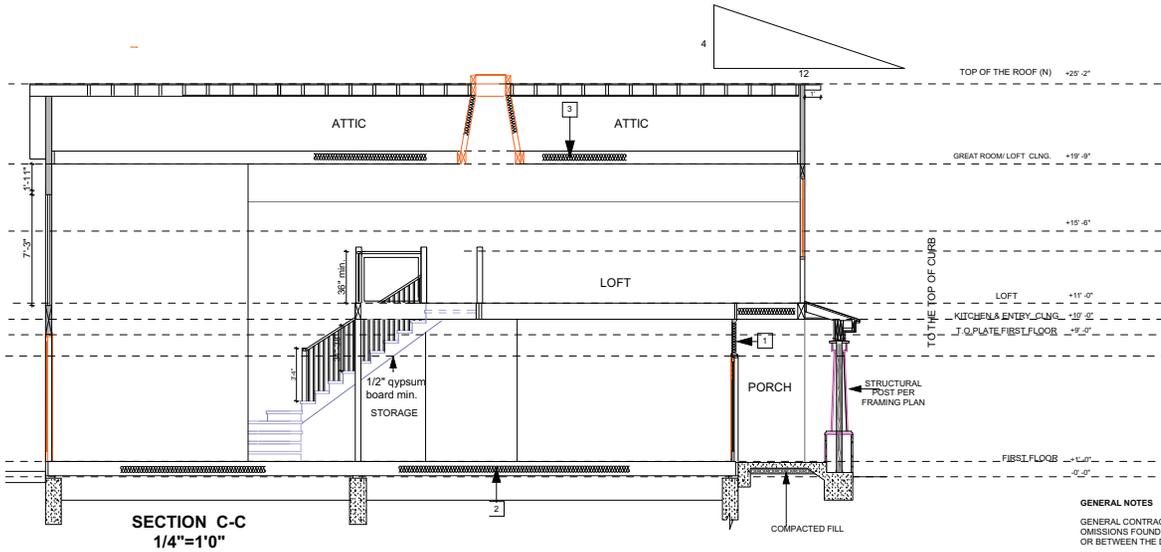
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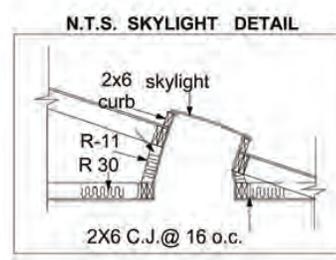
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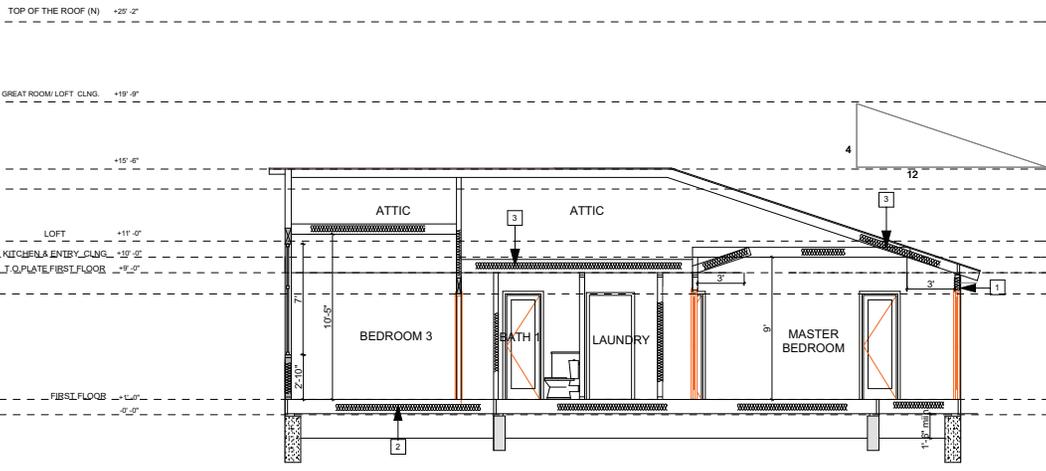


**SECTION C-C**  
1/4"=1'0"



**GENERAL NOTES**

- GENERAL NOTES**
- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL NOTIFY OWNER OR DESIGNER OF ANY DISCREPANCIES OR OMISSIONS FOUND IN THE DRAWINGS AND SPECIFICATIONS OR DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DOCUMENTS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH AFFECTED WORK.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISHED SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
- AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.3).
- PAINTS, STAINS, AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2).
- ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.1).
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1).
- STUCCO**
- STUCCO AT ALL HORIZONTAL SURFACES AND THE FIRST 12" VERTICAL PORTIONS AROUND CORNERS AND EDGES SHALL BE MIXED WITH "ACRYL-60". A MINIMUM 0.019(26GA) CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS WITH STUCCO. THE SCREED SHALL BE PLACED AT MINIMUM OF 6" ABOVE THE GROUND OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. SEC 25065.
- APPLICATION OF STUCCO: STUCCO SHALL BE THREE COATS PROCESS AND 7/8" THICK OVER TWO LAYERS OF GRADE D WALL PAPER BACKED WITH METAL LATH.
- ENERGY**
- ALL EXTERIOR DOORS TO BE 1 3/8" SOLID CORE AND WEATHER-STRIPPED.
- DOOR FROM GARAGE TO HOUSE TO BE 1 3/8" SOLID CORE, WEATHER STRIPPED AND WITH SELF-CLOSING DEVICE.
- ADD A BEAD OF CAULKING AROUND THE INTERIOR OF THE SOLE PLATE AT ALL EXTERIOR WALLS. THE BEAD SHALL BE APPLIED AT THE JOINT OF SUBFLOOR AND SOLE PLATE JUST PRIOR TO SHEETROCK APPLICATION.
- THERMAL AND MOISTURE**
- COVER WOOD FRAMING WITH 15 FOOT WATERPROOF BUILDING PAPER IN BATH TUB AND SHOWER ENCLOSURE. TILE OR OTHER APPROVED MATERIALS MUST BE ATTACHED TO A BACKING WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE. USE TILE OVER MORTAR WITH MET. LATH OVER 15 FOOT WALL PAPER OVER WATERPROOF "GB UP TO 70" ABOVE DRAIN INLET.
- WHEN INSULATED SPACE IS SMALLER THAN 12" USE ROGOD INSULATION BOARD TO ALLPW MIT 1" AIRFLOW. WHEN INSULATING CEILINGS PROVIDE MIN. 1" SPACE FOR AIRFLOW.
- PROVIDE CROSS VENTILATION AT ALL ROOFS.
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FRAMING BEFORE ENCLOSURE (4.505.3).
- EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY HUMIDITY CONTROL (4.506.1).
- MECHANICAL**
- PROVIDE 6" CLEARANCE ON COMBUSTION AIR SIDE OF FURNACE ROOM AND 30" WORKING SPACE IN FRONT OF ALL HEATING CONTROLS PER U.M.C.
- PROVIDE MIN. REQUIRED DISTANCE OF TERMINATION OF VENTS, AND FLUES PER U.M.C. AND U.P.C. LATEST EDITION.
- IN A CASE OF MEMBRANE PENETRATION BY DUCT OR PIPE, PROVIDE 26 GA FOR MIN. 2" OF THE PENETRATION SECTION. PIPE SHALL BE METAL AT THE PENETRATION. ALL PENETRATION AREA SHALL BE CAULKED AND SEALED.
- THE DRYER DUCT RUN AND TERMINATION POINT OF THE DRYER EXHAUST SHALL EXTEND TO THE OUTSIDE.
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, ATTIC VENTS, OPENING SKYLIGHTS).
- PER EPA REQUIREMENTS AND AS ENFORCED BY CONTRACTOR'S STATE LICENSE BOARD ANY CONTRACTOR WORKING IN A HOME THAT WAS BUILT PRIOR TO 1978 MUST BE CERTIFIED IN LEAD-SAFE WORK PRACTICES.
- PLUMBING**
- PROVIDE ANTI-SCALD SHOWER VALVES AT ALL NEW SHOWERS AND TUBI SHOWERS.
- SHOWER AND TUBI SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
- THE WATER HEATER SHALL BE SEISMIC STRAPPED OR ANCHORED IN ACCORDANCE WITH CPC 507.2
- THE WATER HEATER SHALL BE LOCATED ON AN 18" PLATFORM, ABOVE THE FLOOR, UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT PER CPC 507.13
- ELECTRICAL**
- BATHROOMS AND LAUNDRY RECEPTICLES REQUIRE SEPARATE 20 AMP. CIRCUIT. THE CIRCUITS SHALL HAVE NO OTHER ELECTRICAL OUTLETS.
- KITCHENS AND BATHROOMS ARE TO HAVE THEIR TITLE 24 FLUORESCENT FIXTURES OPERATED BY FIRST SWITCH AT ALL ENTRANCES TO THE ROOMS. GENERAL LIGHTING FIXTURES ARE TO BE LOCATED SO AS TO ILLUMINATE FLOOR AND COUNTERS.
- AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTECT RECEPTICLES IN THE BEDROOMS. SEC ARTICLE 210-12(B).



**SECTION D-D**  
1/4"=1'0"

- 1 R-15 w/ EXTERIOR R-5 MIN. THERMAL INSULATION
- 2 R-19 MIN. THERMAL INSULATION
- 3 R-38 MIN. THERMAL INSULATION



REVISIONS

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