



CITY OF CAMPBELL
Community Development Department

June 15, 2017

NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

File No.:	PLN2017-21
Applicant:	Nick Gera
Project Address:	130 N. Third St.
Property Owner:	Nick Gera
Zoning District:	P-D (Planned Development)
General Plan:	Low Density Residential
Project Description:	A new, approximately 3,343 square-foot, two-story home and detached garage.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on June 16, 2017 and ends on June 26, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **June 26, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Victoria Hernandez, Assistant Planner, in the Community Development Department, at (408) 866-2732 or by email victoriah@cityofcampbell.com.

Project Location Map

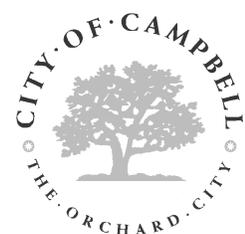
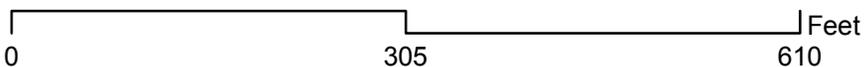


Project Location: 130 N. Third St.

Application Type: Administrative Planned Development Permit

Planning File No.: PLN2017-21

Description: 3,343 square foot new two-story home and detached garage.



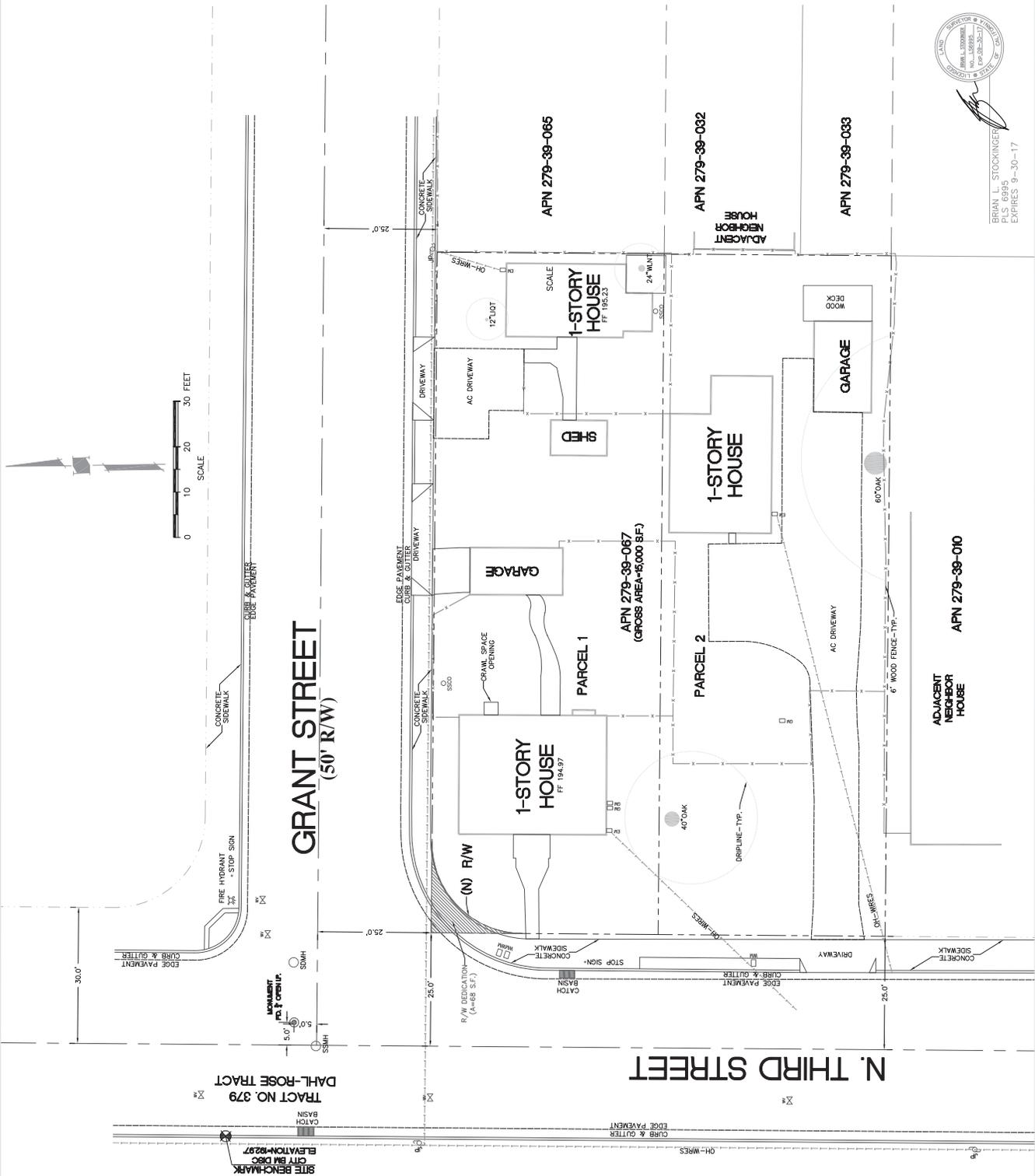
Community Development Department
Planning Division



REVISIONS	BY



BRIAN L. STOCKINGER
PLS 6995
EXPIRES 9-30-17



SURVEYOR'S NOTE:

1. BASIS OF BEARINGS SHOWN ON THIS MAP IS BASED ON THE CENTERLINE OF GRANT STREET PER TRACT NO. 379 DAHL-ROSE TRACT AS 889 250'00"
2. CITY OF CAMPBELL BENCHMARKS, 80' LOCATED AT THE CORNER OF CUC CENTER DRIVE AND FIRST STREET EAST END C.A., ELEVATION TAKEN AS 197.46
3. DATE OF SURVEY: OCTOBER 1, 2016
4. UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY
5. TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN. THE SURVEYOR HAS TAKEN CARE TO TAKE TO THE BEST KNOWLEDGE OF THE SURVEYOR, AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE.
6. MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.
7. SITE IS FLAT IN NATURE.
8. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY, UNLESS SPECIFIED ON THIS MAP. LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF THE UNDERGROUND UTILITIES, REFER TO THE SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE. CURBLINE OFFSETS ARE TO FACE OF CURB, MANHOLES CENTERS, HOODED CATCH BASINS ARE MEASURED FROM THE TOP OF HOOD AND INVERTS FOR MANHOLES ARE MEASURED FROM THE RIM. THE TOPOGRAPHY CONTROL LINE(S) DEPICTED ON THIS MAP IS BASED ON A COMBINATION THEREOF. THE TOPOGRAPHY CONTROL LINE(S) SHOULD NOT BE TAKEN AS REPRESENTING THE RECORD CENTERLINE OF THE STREETS.

ABBREVIATIONS

- FL FLOWLINE
- TC TOP OF CURB
- EM EDGE OF MANHOLE
- CONC CONCRETE
- LIP LIP OF GUTTER
- GS GROUND SHOT
- TC TOP OF CURB
- FF FINISH FLOOR
- BLL BUILDING SETBACK LINE

LEGEND

- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- FENCE LINE
- ⊞ WATER VALVE
- ⊞ WATER METER
- ⊞ FIRE HYDRANT
- ⊞ JOINT POLE
- ⊞ GUY ANCHOR
- TREE SIZE AND TYPE AS NOTED
- XX" TREE
- GAS LINE
- WATER LINE
- CONCRETE
- GM GAS METER

TRAJECT NO. 379
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NO.	DATE/REVISION

THESE PLANS AND SPECIFICATIONS FOR THE ORIGINAL SITE WORKING SHALL BE OBSERVED AND NOT BE ALTERED OR MODIFIED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY CHANGES TO THESE PLANS OR SPECIFICATIONS SHALL BE PRECEDED BY A WRITTEN ORDER FROM THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORKMANSHIP OF THE WORKMANSHIP. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORKMANSHIP OF THE WORKMANSHIP.

UNIQUE HOME DESIGNS
 Residential Design
 499 Chinoak Lane, San Jose, California 95128
 (408) 972-8594

DRAWING TITLE
 Upper Level Floor Plan

JOB TITLE
 Gera Construction

JOB ADDRESS
 130 N. Third Street
 Campbell, California

DATE
 JULY 2011

SCALE
 1/4" = 1'-0"

DESIGNED BY
 GERA CONSTRUCTION

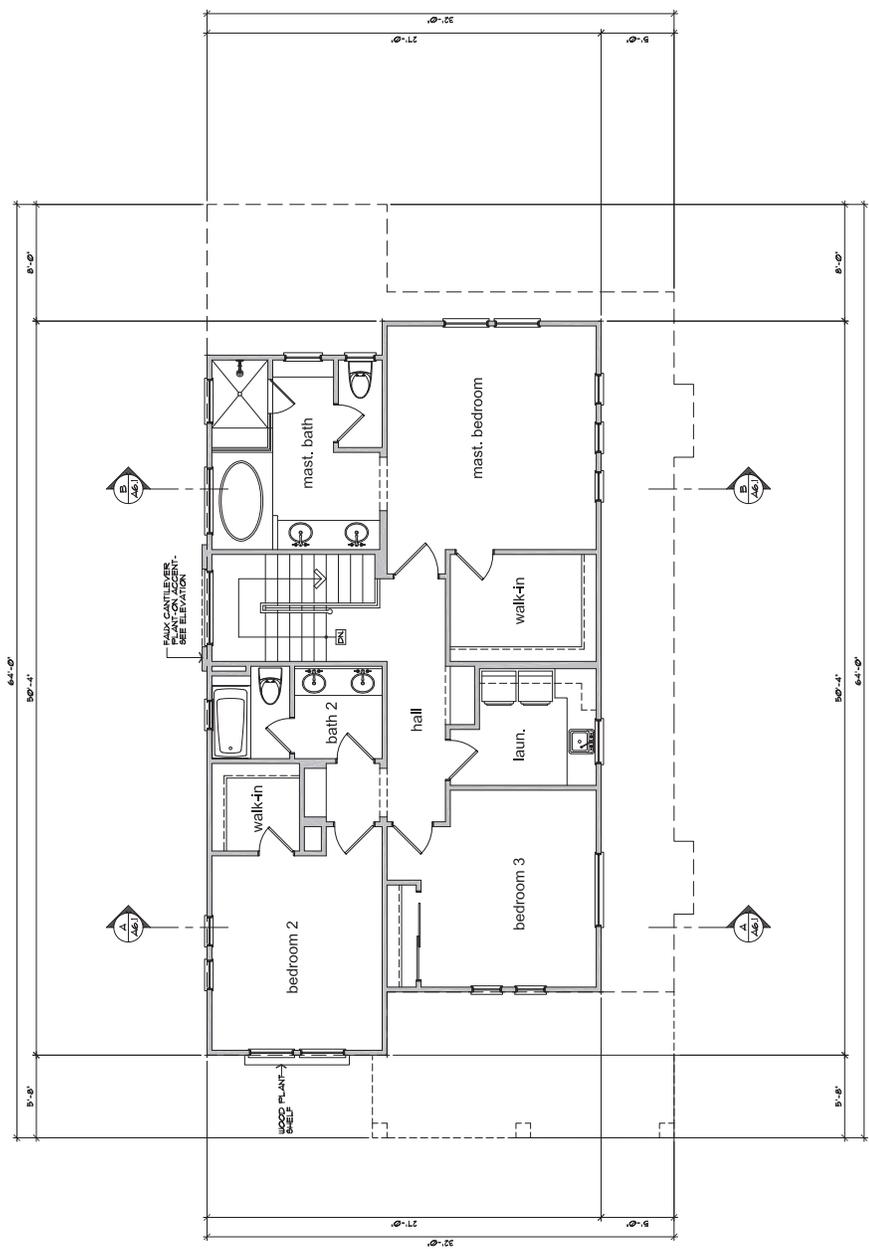
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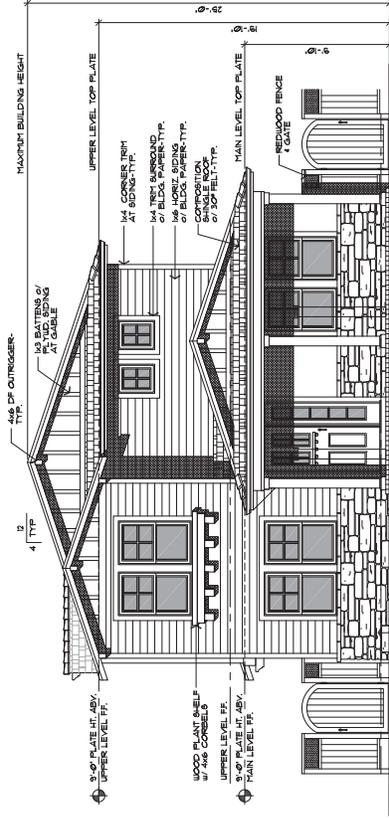
130 N. Third Street



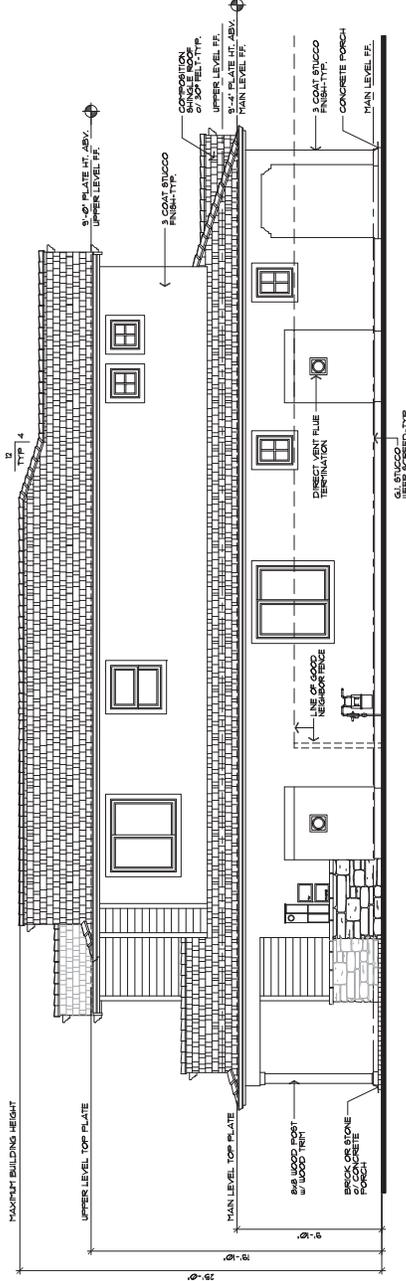
Upper Level Floor Plan
 1287 sq. ft. Upper Level
 SCALE: 1/4" = 1'-0"

Exterior Materials:

- COMPOSITION ROOF: CERTAINTED LANDMARK PRO 'WEATHERED WOOD'
- BASE COLOR: DUNN-EDWARDS 'DESERT GRAY' DEC160
- TRIM COLOR: DUNN-EDWARDS 'INSIDE PASSAGE' DEC 164
- WOOD SIDING: DUNN-EDWARDS 'CELLAR DOOR' DEA 191
- ACCENT COLOR: DUNN-EDWARDS 'CELLAR DOOR' DEA 191
- GUTTER COLOR: ACE HARDWARE 'METALIC BRONZE'
- STONE VENEER: DRYSTACK LEDGESTONE 'SIERRA LEDGESTONE'
- WINDOWS: MILGARD 'TUSCANT SERIES' 'DARK BRONZE' EXTERIOR
- ENTRY DOOR: THERMALTRU 'CLASSIC-CRAFT RUSTIC' ACCENT COLOR OR STAIN



front elevation
130 N. Third Street



right side elevation

NO.	DATE	REVISION

THIS PLAN AND SPECIFICATIONS SHALL BE THE SOLE BASIS FOR THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

UNIQUE HOME DESIGNS
Land Planning and Residential Design
499 Chook Lane, San Jose, California 95123
(408) 972-8594

EXTERIOR ELEVATIONS - PLAN 1
Gera Construction
130 N. Third Street
Campbell, California

DATE: MAY 2011
SCALE: 1/4" = 1'-0"
PROJECT NUMBER: GREG ZIERMAN
DRAWN BY: GZ
JOB NO.: 130-2011
SHEET: A4.1

NO. DATE REVISION

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FROM WHICH THEY WERE DEVELOPED. ANY CHANGES TO THE DESIGN OR MATERIALS SHALL BE APPROVED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT FROM ANY VIOLATIONS OF THE CITY OF SAN JOSE ORDINANCES AND REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT FROM ANY VIOLATIONS OF THE CITY OF SAN JOSE ORDINANCES AND REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT FROM ANY VIOLATIONS OF THE CITY OF SAN JOSE ORDINANCES AND REGULATIONS.

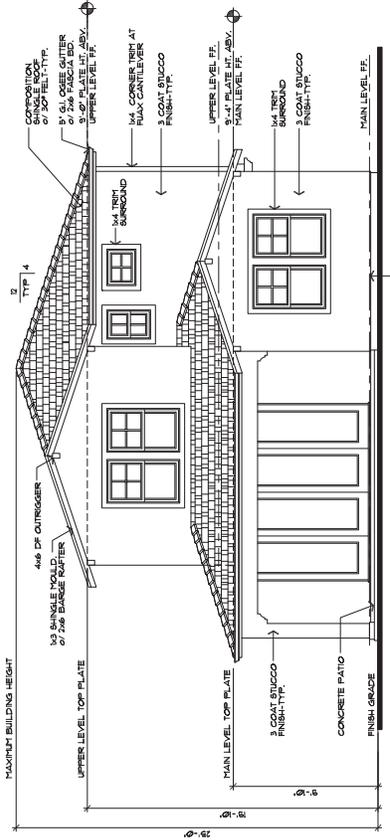
UNIQUE HOME DESIGNS
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 499 Chabok Lane, San Jose, California 95123
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JOB ADDRESS
 130 N. Third Street
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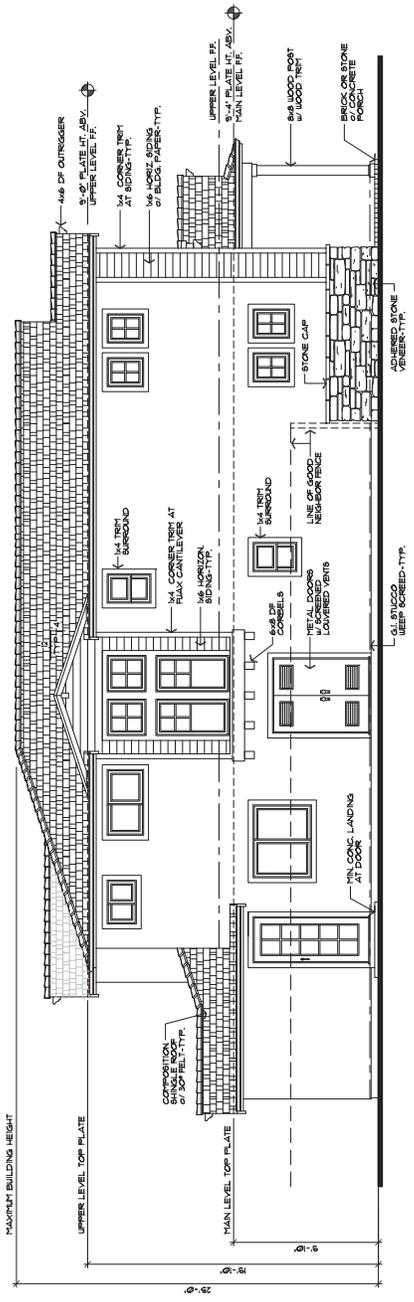
JOB TITLE
 Gera Construction

DRAWING TITLE
 Exterior Elevations - Plan 1

DATE MAY 2011
SCALE 1/4" = 1'-0"
PROJECT NUMBER 130NTHIRD/2011/01
PROJECT ZONE/PLAN GZ
JOB NO. 130-2011
SHEET A5.1



rear elevation



left side elevation

130 N. Third Street

NO. / DATE / REVISION

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