



CITY OF CAMPBELL
Community Development Department

July 13, 2017

NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

File No.: **PLN2017-188**

Applicant: Fernandez Designs

Project Address: 1435 Elam Ave

Property Owner: Mandar & Deepti Kulkarni

Zoning District: **Single Family Residential**

General Plan: **Low Density Residential**

Project Description: Admin Site and Architectural Review permit for a new 2,700 sq. ft. two-story home using portions of existing 1,885 sq. ft. Single-story home.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on July 14, 2017 and ends on July 24, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **July 24, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'.

Questions or comments regarding this application may be addressed to Cindy McCormick, Senior Planner, in the Community Development Department, at (408) 871-5103 or by email victoriah@cityofcampbell.com.

Project Location Map

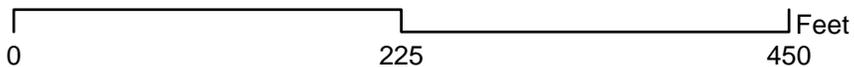


Project Location: 1435 Elam

Application Type: Administrative Site and Architectural Review Permit

Planning File No.: PLN2017-188

Description: new 2,700 sq. ft. two-story home using portions of existing 1,885 sq. ft. Single-story home.

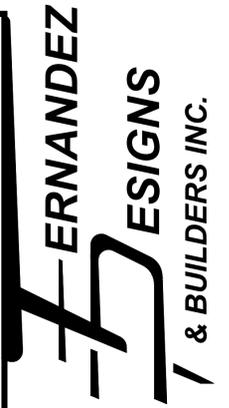


Community Development Department
Planning Division

KULKARNI RESIDENCE ADDITION/REMODEL



1435 ELAM AVENUE

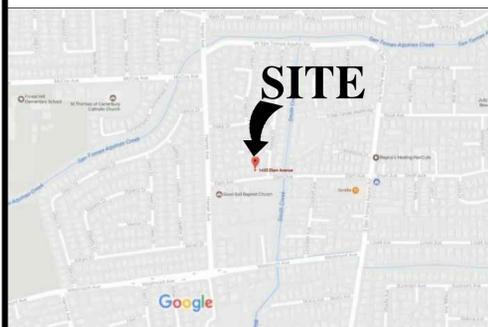


2188 Ringwood Avenue
San Jose, CA 95131

(408) 432-1402
Fax: 432-1410

WEB SITE
fernandez-designs.com

LOCATION MAP



SHEET INDEX

- GENERAL:**
O.0 COVER SHEET
O.1 EXTERIOR PERSPECTIVES
O.2 PROJECT PHOTOGRAPHS
- SURVEY:**
SITE SURVEY
- ARCHITECTURAL:**
A1 FLOOR AREA CALCULATIONS
A2.a AREA PLAN
A2.b EXISTING SITE PLAN
A2.c NEW SITE PLAN
A3.a EXISTING FLOOR (DEMO) PLAN
A3.b EXISTING ELEVATIONS
A3.c EXISTING ELEVATIONS
A4.a NEW 1st STORY FLOOR PLAN
A4.b NEW 2nd STORY FLOOR PLAN
A7.a 1st STORY ROOF PLAN
A7.b 2nd STORY ROOF PLAN
A8.a NEW ELEVATIONS
A8.b NEW ELEVATIONS
A9.a CROSS SECTIONS
A9.b CROSS SECTIONS

GENERAL NOTES

FERNANDEZ DESIGNS & BUILDERS INC. IS NOT RESPONSIBLE FOR THE DESIGN, COORDINATION OF IMPLEMENTATION OF ANY WORK PERFORMED BY CONSULTANTS INCLUDING, BUT NOT LIMITED TO, STRUCTURAL ENGINEERING, SOILS ENGINEERING, CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, AND/OR TITLE 24 ENERGY COMPLIANCE.

ALL WORK DONE PURSUANT TO THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH ALL ORDINANCES AND REGULATIONS WHICH APPLY TO THE WORK AND SHALL IN ANY CASE CONFORM TO THE LATEST EDITIONS OF THE CALIFORNIA CODES (SEE COMPLIANCE) CURRENTLY ENFORCED, AND ALL CITY, COUNTY, STATE AND FEDERAL CODES AS APPLICABLE.

LAYOUT FOR NEW WORK IS LARGELY BASED UPON RELATIONSHIPS TO EXISTING CONDITIONS. ANY QUESTIONS REGARDING THE INTENT RELATED TO THE LAYOUT OF THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF FERNANDEZ DESIGNS & BUILDERS INC. PRIOR TO THE COMMENCEMENT OF ANY WORK. THE CONTRACTOR OF RECORD SHALL NOTIFY FERNANDEZ DESIGNS & BUILDERS INC. OF ALL DISCREPANCIES PRIOR TO THE COMMENCEMENT OF ANY WORK.

PREFERENCE SHALL BE GIVEN TO FIGURED/Written DIMENSIONS ON THE DRAWINGS OVER SCALED MEASUREMENTS. THE PLANS, GENERAL NOTES, AND SPECIFICATIONS ARE INTENDED TO AGREE AND SUPPLEMENT ONE ANOTHER. ANYTHING INDICATED IN/ON ONE AND NOT THE OTHERS SHALL BE EXECUTED AS IN ALL. IN CASES OF DIRECT CONFLICT, THE MOST RESTRICTIVE SHALL GOVERN.

CIVIL, SOILS AND STRUCTURAL ENGINEER'S SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE THE FOLLOWING ARCHITECTURAL SPECIFICATIONS.

FERNANDEZ DESIGNS & BUILDERS INC. RETAINS ALL RIGHTS AND OWNERSHIP OF THE PLANNING AND CONSTRUCTION DOCUMENTS AND SPECIFICATIONS. THESE DOCUMENTS MY NOT BE USED IN WHOLE OR IN PART ON ANY OTHER PROJECT WITHOUT THE EXPRESSED WRITTEN CONSENT OF FERNANDEZ DESIGNS & BUILDERS INC.

THE OWNER(S)/DEVELOPER(S)/CLIENT REPRESENTATIVES RESERVES THE RIGHT TO MAKE ALTERATIONS OF THE DESIGN DURING THE COURSE OF CONSTRUCTION AS APPLICABLE. ANY CHANGES SHALL BE APPROVED BY ALL CITY, COUNTY, STATE, AND FEDERAL AGENCIES AS APPLICABLE. ALL CHANGES SHALL BE DOCUMENTED BY A WRITTEN CHANGE ORDER AND SHALL BE APPROVED BY THE OWNER(S)/DEVELOPER(S)/CLIENT REPRESENTATIVES.

PROJECT TEAM

DESIGNER
Fernandez Designs & Builders Inc.
2188 Ringwood Avenue
San Jose, CA 95131
P. (408) 432-1402
F. (408) 432-1410
E. spenser@fernandez-designs.com

PROJECT SUMMARY

Attachment A - Items to be Provided on Plans Page 3

PROJECT SUMMARY
ASSESSORS PARCEL NUMBER: 403 . 08 . 108
LOT SIZE: 7,800 Gross sq. ft. (Property to center line of street)
6,000 Net sq. ft.

DEVELOPMENT DATA:	Square Feet		Percent of Site	
	Existing	Proposed	Existing	Proposed
Building coverage	2,087	2,075	34.78	34.58
Landscape coverage	2,035	2,321	33.91	38.68
Paving coverage	1,878	2,321	31.30	26.73
FLOOR AREA RATIO: Total bldg s.f. divided by net lot size	1,886	2,700	31.42	45

ADJACENT LAND USES:

Direction	Use
North	Single family residential
South	Orchard
East	Single family residential
West	Single family residential

PARKING:

# Standard Spaces	# Compact Spaces	# Disabled Spaces	# TOTAL PARKING
2	0	0	2

RESTAURANT AND ASSEMBLY USES:
Seating Count _____

RESIDENTIAL PROJECTS:

	UNIT TYPE A	UNIT TYPE B	UNIT TYPE C	UNIT TYPE D
Living Area (square footage)	2,282.58			
Garage Area (square footage)	417.44			
Total Area (square footage)	2,700.02			
Number of Bedrooms	4			
Total Number of Units per Type	1			

OWNER INFORMATION

Mandar & Deepti Kulkarni
1435 Elam Avenue
Campbell, CA 95008
(774) 262-9624
mandar.kul@gmail.com
deepti.m.kul@gmail.com

SCOPE OF PROJECT

REMODEL AND SECOND STORY ROOM ADDITION TO A 1,507.79 S.F. 3 BEDROOM, 2 BATHROOM HOME WITH A 377.43 S.F. GARAGE

261.79 S.F. OF THE LIVING AREA IS BEING DEMOLISHED OR CHANGED GARAGE AREA TO ALLOW OF ENOUGH SQUARE FOOTAGE FOR THE NEW SECOND STORY ROOM ADDITION

THE NEW HOME WILL BE A 2,282.58 S.F. 4 BEDROOM, 3 BATHROOM TWO STORY HOME WITH A 417.44 S.F. GARAGE.

PROJECT INFORMATION

PROJECT INFORMATION
Address: 1435 Elam Avenue
Assessor's Parcel No. 403-08-108
Zoning: R-1-6 San Thomas District
Jurisdiction: City of Campbell
Type of Construction: TYPE V-B, SPRINKLERED
Building Occ. Groups: R-3/U (SINGLE FAMILY RESIDENTIAL)
Number of Stories: 2

Floor Area	Existing	Proposed	Total S.F.
1st Story Living Area	1,507.79	-182.16	1,325.63
2nd Story Living	0.00	956.95	956.95
Garage	377.43	40.01	417.44
Porch	45.06	9.83	54.89
Patios	155.98	120.90	276.88
TOTAL	2,086.26	945.53	3,031.79

Note: See Floor Area Calculations on Sheet A1

Property Setbacks:

	Required	Existing	Proposed
1st Story Front	20'-0"	32'-6"	30'-2"
Garage	25'-0"	24'-7"	26'-8"
2nd Story Front	20'-0"	0'-0"	38'-8"
1st Story Left Side	1/2 BLD'G. HT.	9'-7"	9'-7"
2nd Story Left Side	1/2 BLD'G. HT.	0'-0"	14'-3"
1st Story Right Side	1/2 BLD'G. HT.	5'-9"	8'-6"
2nd Story Right Side	1/2 BLD'G. HT.	0'-0"	13'-7"
1st Story Rear	1/2 BLD'G. HT.	25'-3"	25'-3"
2nd Story Rear	1/2 BLD'G. HT.	0'-0"	27'-2"

Max. Allowed Building Height: 28'-0"
Existing Building Height: 14'-5"
New Building Height: 26'-4"

Lot Area: 6,000

45% Maximum Allowed Floor Area: 2,700

Existing Floor Area: 1,885.22 (31.42%)

New Floor Area: 2,700.02 (45%)

35% Maximum Allowed Lot Coverage: 2,100

Existing Lot Coverage: 2,086.26 (34.77%)

New Lot Coverage: 2,074.84 (34.58%)

PARCEL MAP



CODE COMPLIANCE

APPLICABLE CODES WITH CITY OF ? AMENDMENTS
2016 CALIFORNIA ADMINISTRATIVE CODE, CAC (PART 1 OF TITLE 24)
2016 CALIFORNIA BUILDING CODE, CBC (PART 2 OF TITLE 24)
2016 CALIFORNIA RESIDENTIAL BUILDING CODE, CRBC (PART 2.5 OF TITLE 24)
2016 CALIFORNIA ELECTRICAL CODE, CEC (PART 3 OF TITLE 24)
2016 CALIFORNIA MECHANICAL CODE, CMC (PART 4 OF TITLE 24)
2016 CALIFORNIA PLUMBING CODE, CPC (PART 5 OF TITLE 24)
2016 CALIFORNIA ENERGY CODE (PART 6 OF TITLE 24)
2016 CALIFORNIA HISTORICAL BUILDING CODE, CBC (PART 8 OF TITLE 24)
2016 CALIFORNIA FIRE CODE, CFC (PART 9 OF TITLE 24)
2016 CALIFORNIA EXISTING CODE, CBC (PART 10 OF TITLE 24)
2016 CALIFORNIA GREEN BUILDING STANDARDS (PART 11 TITLE 24)
2016 CALIFORNIA REFERENCED STANDARDS (PART 12 TITLE 24)
2015 INTERNATIONAL EXISTING BUILDING CODE, APPENDIX CHAPTERS A2 AND A5

REVISION	DATE	DESCRIPTION
	2017.05.22	APPROVAL OF DESIGN DEVELOPMENT DRAWINGS
	2017.05.31	PLANNING DEPARTMENT SUBMITTAL

Kulkarni Residence
1435 Elam Avenue
Campbell, CA 95008

COVER SHEET

PROJECT NO. 6316

0.0



FRONT - LEFT VIEW



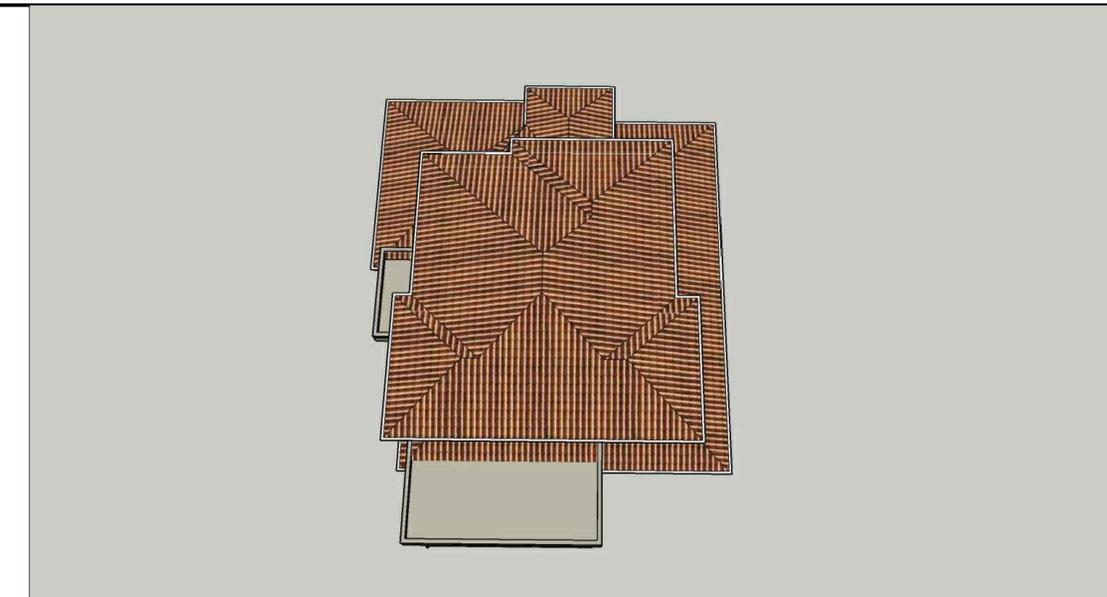
FRONT - RIGHT VIEW



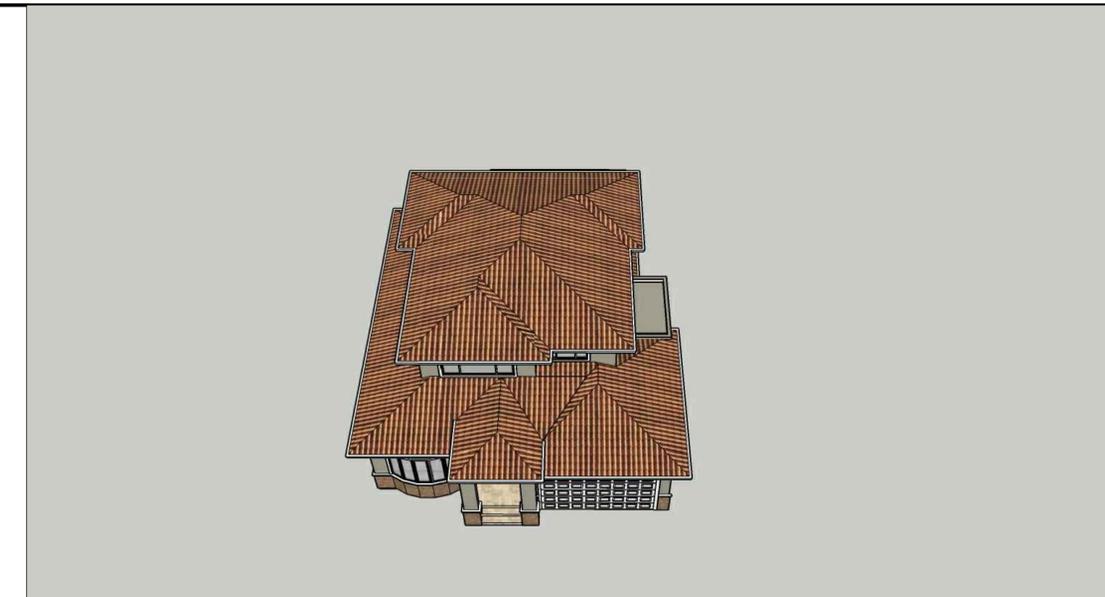
REAR - LEFT VIEW



REAR - RIGHT VIEW



ROOF REAR VIEW



ROOF FRONT VIEW

REVISION	DATE	DESCRIPTION
	2017.05.22	APPROVAL OF DESIGN DEVELOPMENT DRAWINGS
	2017.05.31	PLANNING DEPARTMENT SUBMITTAL