



**CITY OF CAMPBELL**  
**Community Development Department**

July 14, 2017

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **July 25, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of John Niktas for a Site and Architectural Review Permit (PLN2017-108) to allow the construction of a new single-family residence on property located at **1145 Salerno Drive**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

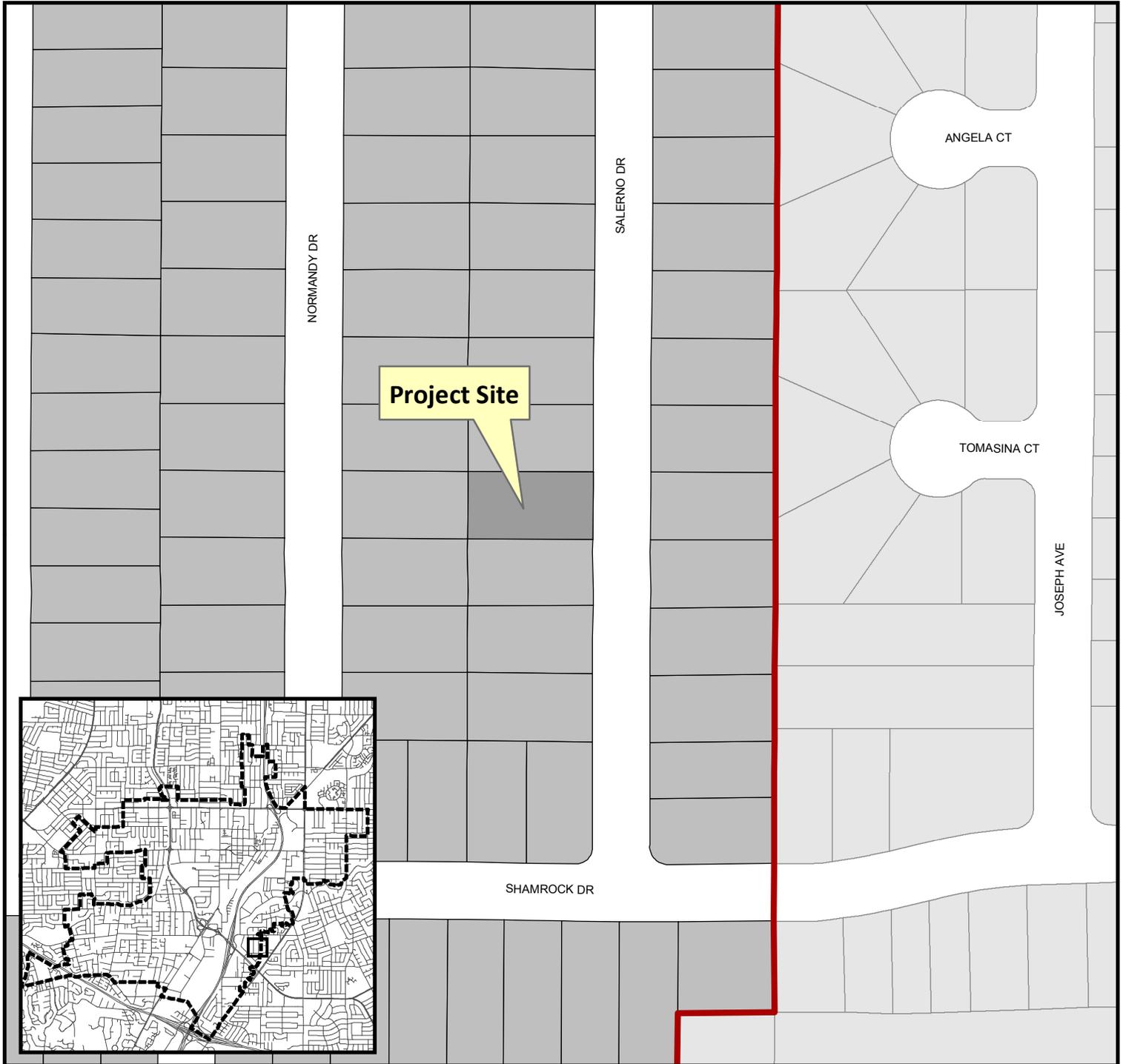
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **1145 Salerno Drive**

# Project Location Map

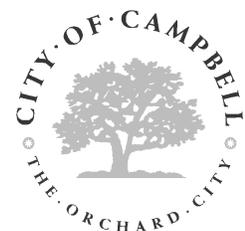
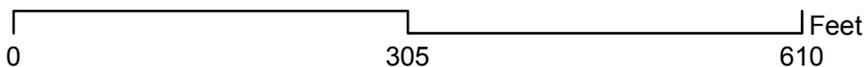


**Project Location:** 1145 Salerno Drive

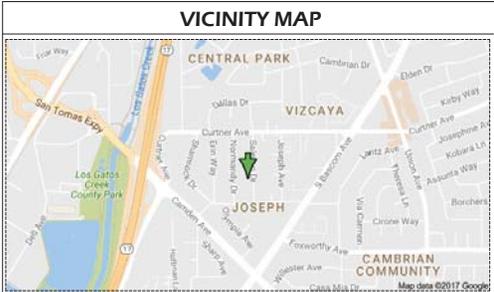
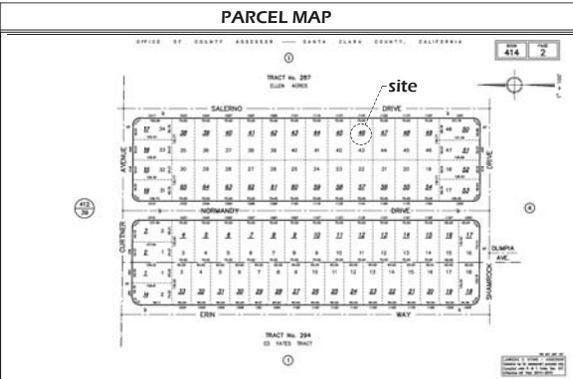
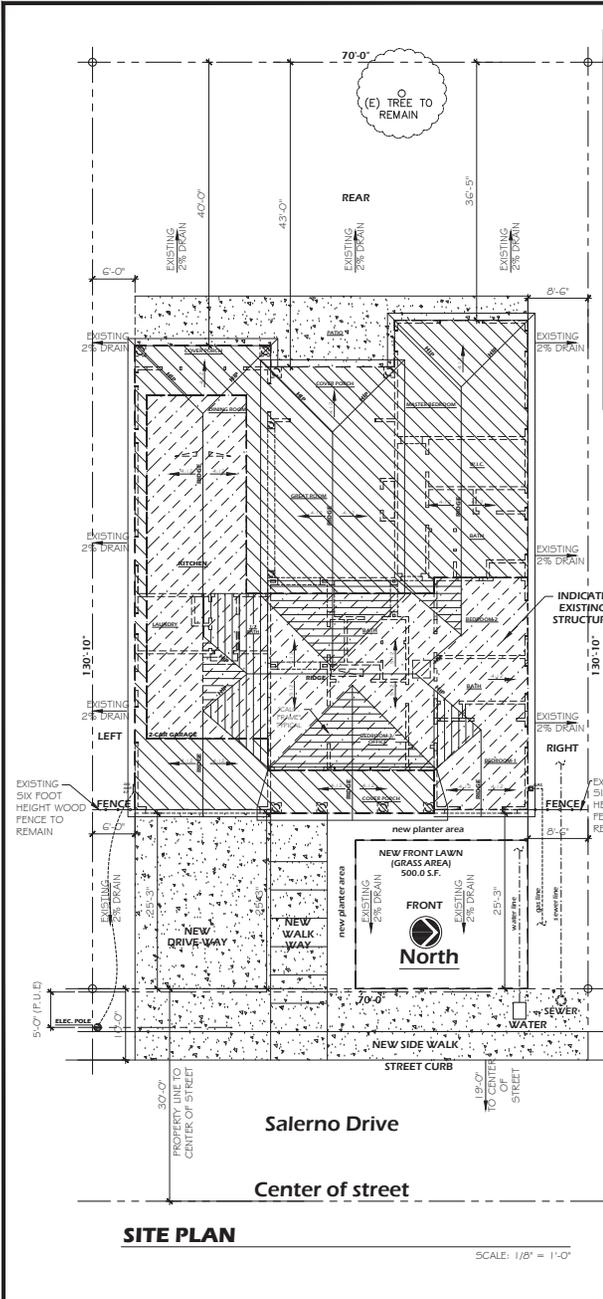
**Application Type:** Site and Architectural Review Permit

**Planning File No.:** PLN2017-108

**Description:** new 3,336 square foot one-story home with attached garage.



Community Development Department  
Planning Division



- ### DRAINAGE NOTES
1. DELINEATE THE ROOF DRAINAGE SYSTEM AND ITS DISCHARGE TO 5 FEET MINIMUM FROM FOUNDATION TO AN APPROVED DRAINAGE SYSTEM.
  2. FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% DISTANCE OF 10 FEET (CBC 1804.3)
    - A. ON GRADE SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MINIMUM OF 12 INCHES PLUS 2%.

### FIRE SPRINKLERS REQUIRED

**ADANAC FIRE PROTECTION, INC.**  
 SUNNYVALE CA. PHONE: 408-735-1650  
 TO PROVIDE FIRE SPRINKLER SYSTEM WITH DEFERRED PLAN SUBMITTAL. PROPERTY TO HAVE 2" DIA. WATER LINE FROM HOUSE TO WATER METER, WITH 1 1/2" METER REQUIRED, ELEVATION BY OTHERS

- ### LEGEND
- INDICATE EXISTING STRUCTURE
  - INDICATE PROPOSED ADDITION
  - INDICATE NEW DRIVE-WAY, WALL-WAY, SIDE WALK AND PATIO

- ### APPLICABLE CODE
- ALL CONSTRUCTION SHALL COMPLY WITH:
- 2016 CALIF. FIRE CODE
  - 2016 CALIF. BLDG CODE
  - 2016 CALIF. RESIDENTIAL CODE
  - 2016 CALIF. MECH. CODE
  - 2016 CALIF. PLUMBING CODE
  - 2016 CALIF. ELEC. CODE
  - 2016 CALIF. ENERGY CODES
  - 2016 CALIF. GREEN BUILDING CODES
- ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

### ANALYSIS

PROJECT DATA: 1145 SALERNO DRIVE, CAMPBELL, CA 95008 (APN 414-02-046)			
OWNER	JOHN NIKTAS	FIRE SPRINKLERS	DEFER SUBMITTAL
ZONING	R1-B	BUILDING HEIGHT (PROPOSED)	R1-B
OCCUPANCY GROUP	R-3 (SINGLE FAMILY RESIDENCE)	LOT SIZE	9,158.00 S.F.
TYPE OF CONSTRUCTION	VB	YEAR BUILT	1947
EXISTING FLOOR AREA		PROPOSED FLOOR AREA	
(E) GARAGE	0.00 S.F.	(N) GARAGE	414.83 S.F.
(E) FRONT COVER PORCH	53.04 S.F.	(N) FRONT COVER PORCH	140.42 S.F.
(E) LIVING	1,750.00 S.F.	(E) AND (N) LIVING FLOOR AREA	2,920.69 S.F.
TOTAL (E) FLOOR AREA	1,803.04 S.F.	(N) REAR COVER PORCHS	185.83 S.F.
		TOTAL PROPOSED FLOOR AREA	3,662.00 S.F.
		FLOOR AREA RATIO (F.A.R.)	40.0% < 45.0%
<b>PROJECT DESCRIPTION</b>			
<ul style="list-style-type: none"> <li>- SINGLE STORY REBUILD TO EXISTING DWELLING</li> <li>- REMOVED (E) BRICK CHIMNEY AND REPLACE WITH GAS BURNING FIRE PLACE</li> <li>- REMOVED (E) DAMAGED ROOF AND REPLACE WITH NEW 4:12 AND 5:12 SLOPE CUT FRAME ROOF</li> <li>- REMOVED (E) SLAB-ON-GRADE FAMILY ROOM AND ROOF STRUCTURE</li> <li>- (N) 200 AMP ELECTRICAL PANEL</li> <li>- REPLACED ALL PLUMBINGS AND ELECTRICAL AS REQUIRED</li> <li>- INSTALL NEW WATER HEATER</li> </ul>			

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PAGE	DESCRIPTION
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A6.1	EXISTING ELEVATIONS: FRONT, REAR, RIGHT AND LEFT
A6.2	FRONT, NORTH, SOUTH PERSPECTIVE STREET VIEWS
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S4	STRUCTURAL DETAILS
S5	STRUCTURAL DETAILS
HPX1	HARDY FRAME NOTES AND DETAILS

Revisions By

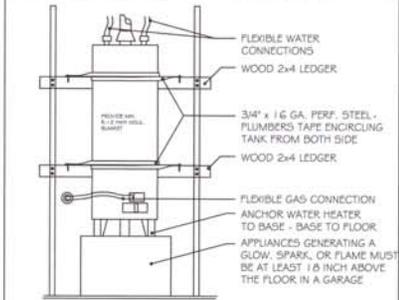
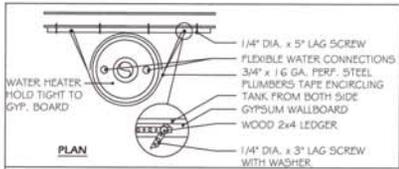
**TRUONG DESIGN**  
 621 TULLY RD. SUITE 2106, SAN JOSE, CA 95111  
 TEL: 408-899-0220 Email: truongdesign@gmail.com

**THE NIKTAS RESIDENCE**  
 1145 SALERNO DRIVE  
 CAMPBELL, CA 95008

A REBUILT HOME FOR:

**SITE PLAN**

Date: 2-21-17  
 Scale: AS NOTED  
 Engineer: T.T.  
 Reviewed: P.S.  
 Job: N-2017-09  
 Sheet: **A1** of 5 Sheets



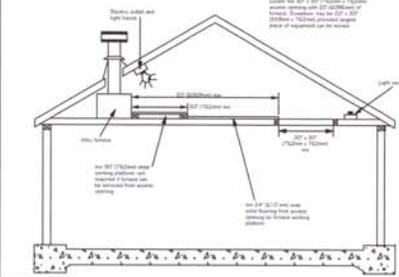
PROVIDE COMBUSTION AIR OPENINGS WITHIN 1/2 INCH OF FLOOR AND CEILING FOR GAS BURNING EQUIPMENT.

WATER HEATER SHALL BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL-SIZED DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2 FT. OR LESS THAN 6 INCH ABOVE THE GRADE POINTING DOWNWARD, THE TERMINAL END BEING THREADED.

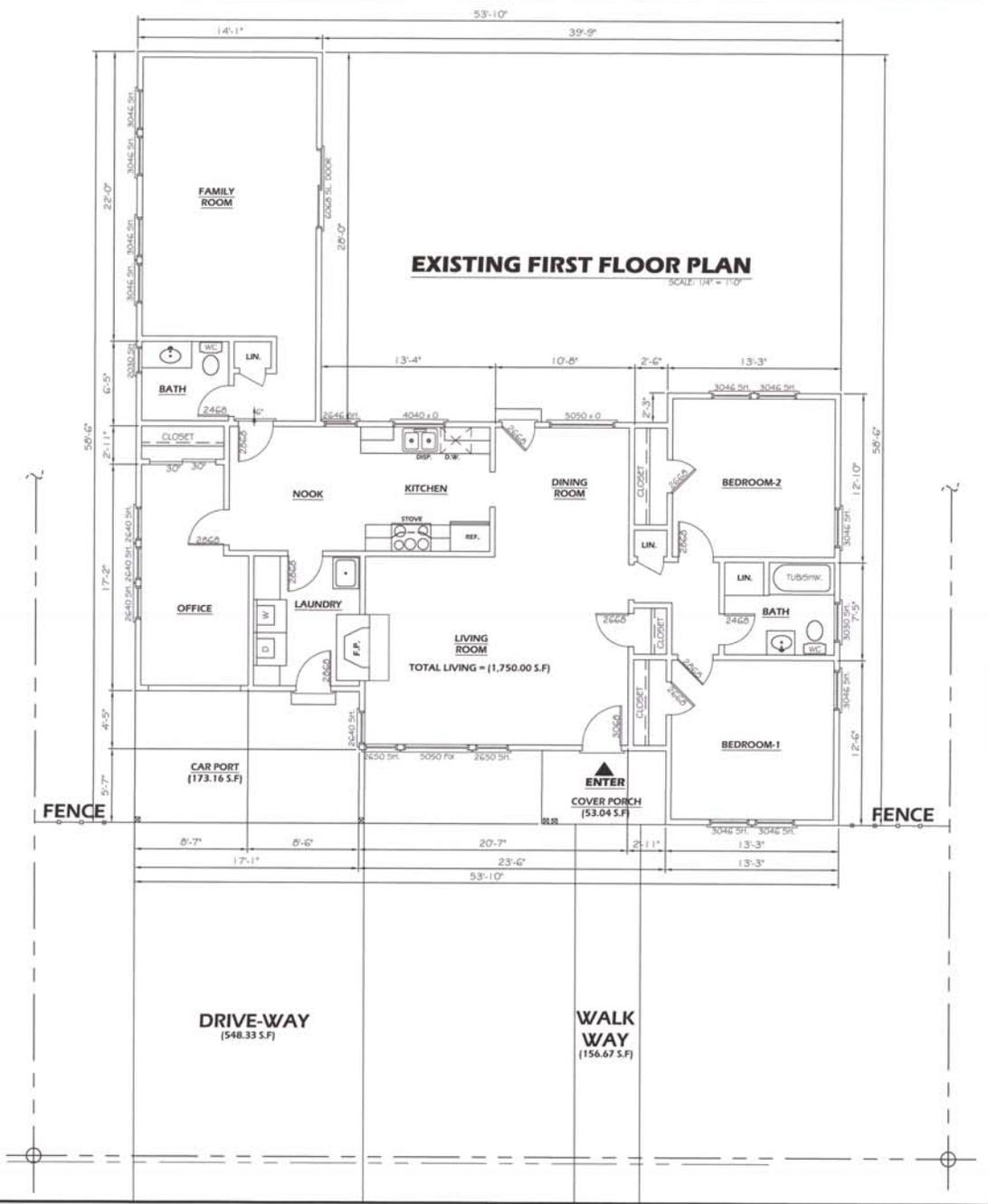
**1 WATER HEATER SUPPORT AND STRAP**



**FURNACE ACCESS DIAGRAM:**



**2 ATTIC FURNACE**



Revisions	By

**TRUONG DESIGN**  
 ARCHITECTS  
 421 TULLY RD, SUITE 206, SAN JOSE, CA 95111  
 TEL: 408-899-0220  
 Email: truongdesign@gmail.com



A REBUILT HOME FOR:  
**THE NIKTAS RESIDENCE**  
 1145 SALENTO DRIVE  
 CAMPBELL, CA 95008

**EXISTING FIRST FLOOR PLAN**

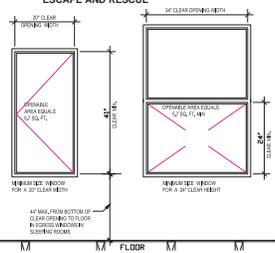
Date:	2-21-17
Scale:	AS NOTED
Engineer:	T.T.
Reviewed:	P.S.
Job:	N-2017-09
Sheet:	A2

of Sheets





**RESIDENTIAL EGRESS WINDOWS (2013 CBC) EMERGENCY ESCAPE AND RESCUE**

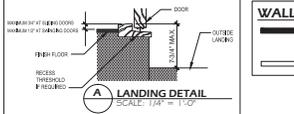


Revisions are shown in the details area when conditions of construction change. All changes are subject to the approval of the City of San Jose Building Code (CBC) Section 1009 requires that:

- Egress windows shall be self-closing and self-latching.
- Egress windows shall be self-closing and self-latching.
- The net clear opening area shall not be less than 5.7 square feet (5 square feet for ground floor openings and basement windows).
- In addition to the above requirements, the net clear opening height shall not be less than 24 inches. The net clear opening width shall be a minimum of 20 inches. (This requirement does not apply to windows that are required to be self-closing and self-latching.)

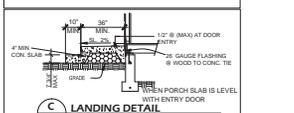
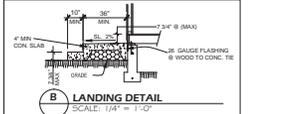
**NOTE: FOR EGRESS WINDOWS AT BEDROOMS: WINDOW MUST HAVE:**

1. A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (GRADE-FLOOR OPENINGS SHALL BE MIN. 5.0 SQ. FT.)
2. MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES.
3. MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.
4. BOTTOM CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR AND OPEN DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO A PUBLIC WAY.



**WALL LEGEND**

- NEW 2x4 DF STUD WALL @ 16" O.C.
- EXISTING 2x2 STUD WALL



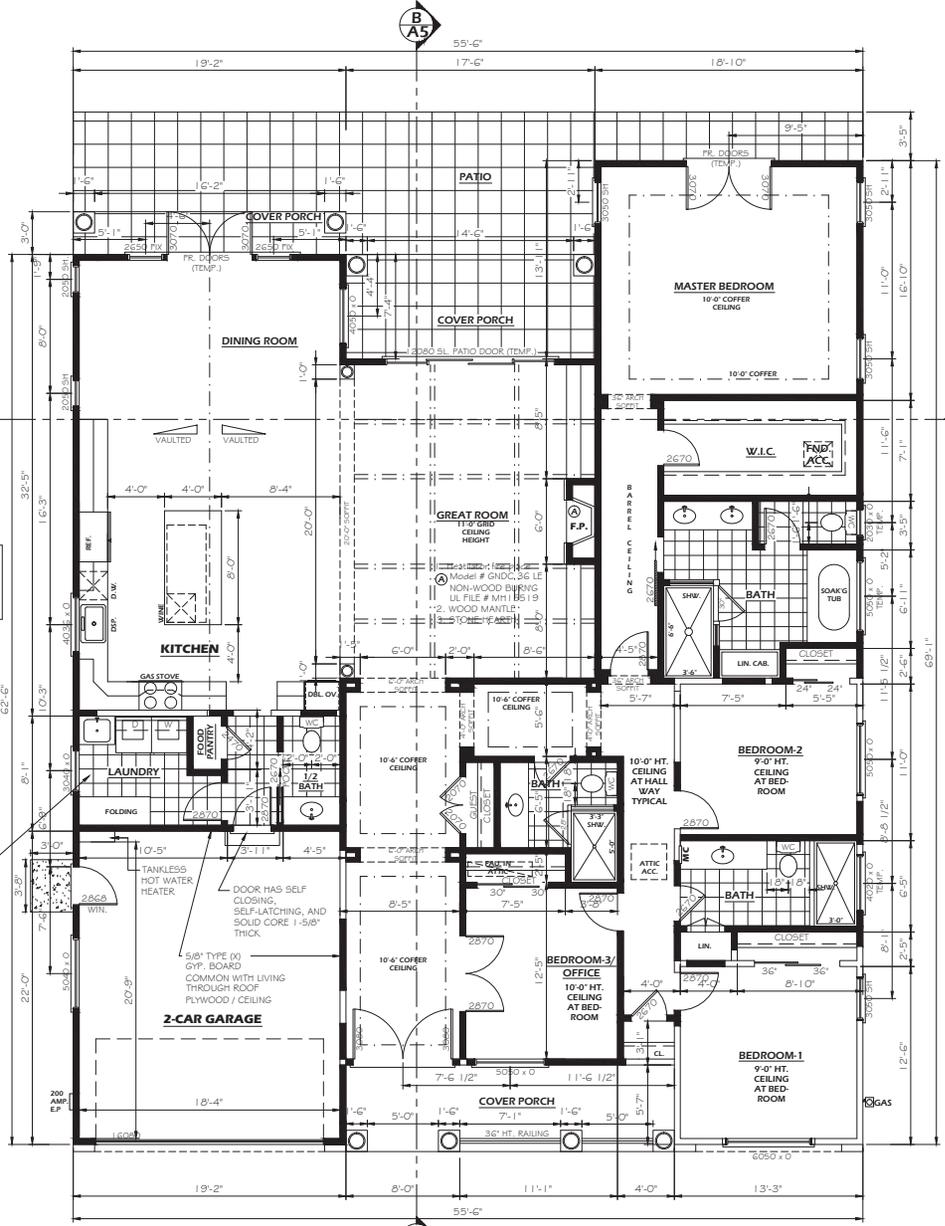
**NOTE: (LAUNDRY ROOM)**

1. VENTILATION FOR MECHANICAL CLOTHES DRYERS SHALL BE VENTED TO THE OUTSIDE AND COMPLY WITH CITY OF SAN JOSE BUILDING DIVISION DIRECTIVE M-001.
2. CONTRACTOR SHALL PROVIDE ONE LAUNDRY TRAY BELOW THE WASHER UNIT IN THE LAUNDRY ROOM PER (CPC Table 422.1.)

**WATER EFFICIENT PLUMBING FIXTURES** (CALIFORNIA CIVIL CODE 1101.40d)

1. THE CALIFORNIA CIVIL CODE REQUIRES THAT ALL EXISTING NON-COMPLIANT PLUMBING FIXTURES (BASE ON WATER EFFICIENCY) THROUGHOUT THE HOUSE BE UPGRADED WHENEVER A BUILDING PERMIT IS ISSUED FOR REMODELING IMPROVEMENTS. RESIDENTIAL BUILDINGS CONSTRUCTED AFTER JANUARY 1, 1994 ARE EXEMPT FROM THIS REQUIREMENT. THE FOLLOWING TABLE SHOWS THE FIXTURES THAT ARE CONSIDERED TO BE NON-COMPLIANT AND THE TYPE OF WATER-CONSERVING PLUMBING FIXTURE THAT SHOULD BE INSTALLED.

TYPE OF FIXTURE	NON-COMPLIANT PLUMBING FIXTURE	REQUIRED WATER-CONSERVING PLUMBING FIXTURE (MAXIMUM FLOW-RATES)
Water Closet (Toilet)	Greater than 1.6 gallons/flush	1.28 gallons/flush
Showerhead	Greater than 2.5 gallons/minute	2.0 gallons/minute at 80 psi
Facet-Bathroom	Greater than 2.2 gallons/minute	1.5 gallons/minute at 60 psi
Facet-Kitchen	Greater than 2.2 gallons/minute	1.8 gallons/minute at 60 psi



**GENERAL CODE REQUIREMENTS FOR BATHROOMS SHOWERS AND TUBS:**

1. PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE IS REQUIRED AT SHOWER AND/OR TUB SHOWER COMBINATIONS. ANTI-SCALD MAX TEMP 120°.
2. GLAZING IN ENCLOSURES FOR BATHTUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLAZING. MINIMUM GLASS DOOR SIZE 22" (INCHES) AND SHALL SWING OUTWARDS.
3. SHOWER PAN:
  - A. SLOPE UNDERLayment BETWEEN 1/4" PER FOOT AND 1/2" PER FOOT.
  - B. NO FASTENERS LESS THAN 1" (INCH) ABOVE PAN.
  - C. MINIMUM ROUGH FOR PAN 34" x 34" (INCH).
  - D. LINER MINIMUM 3" (INCHES) ABOVE PAN.
4. TUB SLIP JOINT ACCESSIBLE MINIMUM 1 1/2" x 1 1/2" (INCH) DOOR.
5. PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE IS REQUIRED AT SHOWER AND/OR TUB SHOWER COMBINATIONS.
6. GLAZING IN ENCLOSURES FOR BATHTUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLAZING.
7. GLAZING IN ANY PORTION OF A BUILDING WALL, WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60" (INCH) ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE TEMPERED SAFETY GLAZING.
8. ALL FANS SHALL EXHAUST 3' (FEET) AWAY FROM AN EXTERIOR OPENING.
9. SHOWER WALLS TO HAVE CERAMIC TILE OVER A MOISTURE RESISTANT UNDERLayment TO A MINIMUM HEIGHT OF 72" (INCH) ABOVE THE DRAIN INLET.
10. MINIMUM 15" (INCH) WIDE CLEAR SPACE FROM WATER CLOSET CENTER TO ANY SIDE WALL OR OBSTRUCTION, EXTENDING AT LEAST 24" (INCH) IN FRONT.
11. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA 1.024 SQUARE INCHES, AND ALSO CAPABLE OF ENCOMPASSING 30-INCH CIRCLE AND IT SHALL BE MAINTAINED UP TO 72 INCHES ABOVE SHOWER DRAIN INLET. THE MINIMUM REQUIRED ARE SHALL NOT APPLY WHERE AN EXISTING BATHTUB IS REPLACED BY A SHOWER RECEPTOR 30" x 60" (INCHES). CPC SECTION 411.7. (ACTUAL 1, 116.5.1)
12. SHOWER DOORS TO OPEN AT LEAST A MINIMUM OF 22" (INCH) FOR AN UNOBSTRUCTED EGRESS OPENING. CPC 411.6

**CODE REQUIREMENTS FOR GLAZING AND WINDOWS**

1. ALL GLASS AND GLAZING SHALL COMPLY WITH THE U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS AND WITH FEDERAL SPECIFICATIONS.
2. VERIFY WINDOWS MEET EGRESS REQUIREMENTS. AT LEAST ONE ESCAPE ROUTE FROM EACH SLEEPING ROOM, 24" (INCH) CLEAR HEIGHT 20" (INCHES) CLEAR WIDTH, AND 5.7 SQ. FT. CLEAR OPENING. SILL HEIGHT NOT MORE THAN 41" (INCH) ABOVE THE SUBFLOOR. ALL OPERABLE WINDOWS TO ALLOW FOR EXTERIOR CLEANING FROM THE INTERIOR OF THE ROOMS.
3. HABITABLE ROOMS TO BE NATURALLY VENTILATED WITH CLEAR OPEN AREA NOT LESS THAN 4% OF THE FLOOR AREA OF THE ROOM AND NATURAL LIGHT OF MINIMUM LOS.
4. WINDOWS OVER TUBS OR SHOWERS SHALL BE OF TEMPERED GLASS. TEMPERED SAFETY GLASS TYPICAL AT ALL EXTERIOR SLIDING GLASS DOORS, FRENCH DOORS, SIDE LIGHTS ADJACENT TO DOORS, ANY GLASS LESS THAN 18" (INCH) FROM FLOOR AND INTERIOR SHOWER ENCLOSURES. ALL WINDOWS IN BAY WINDOWS USED FOR SEATING TO HAVE TEMPERED GLASS. ANY WINDOW WITHIN 24" (INCH) OF OPENING DOOR SWING.

**PLUMBING**

DRAINAGE PIPE:	COPPER OR PLASTIC
1. HOUSE	4"
2. SOIL STACK	4"
3. KITCHEN	2"
4. TOILET	4"
5. SINK	1-1/2"
1. VENT	2"
<b>WATER SUPPLY:</b>	
1. MAIN	1"
2. HOT & COLD	1"
3. INTERMEDIARY BRANCHES	3/4"
4. BRANCHES TO FIXTURES	1/2"

**Heating and Cooling:**

Use Mitsubishi Electric Energy Star compressor with multi-zone ceiling and wall mounted distribution units, per energy heat loss and cooling requirements of Title 24 report. Subcontractor to design a balanced system for the new addition and provide proposal for owner's approval.

**NOTE:**

1. PROVIDE FIRE-BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (CRC R 302.11)

**EXISTING / PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

Revisions By

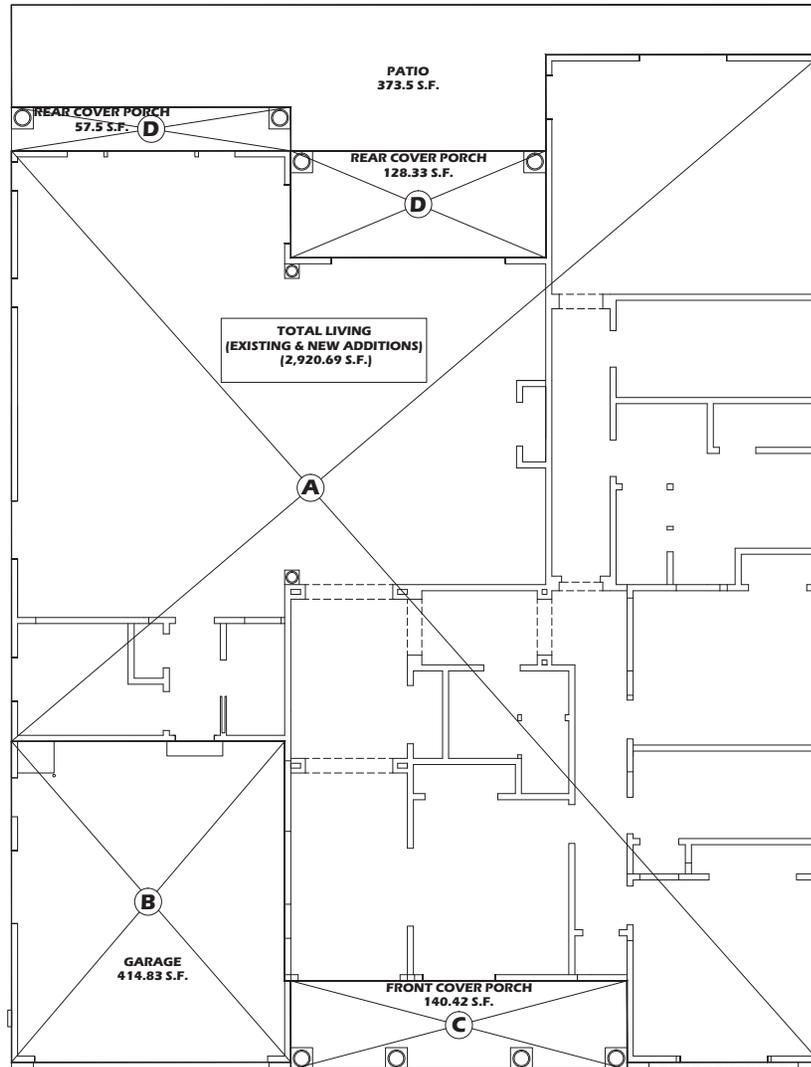
**TRUONG DESIGN**  
 601 TULLY RD. SUITE 206, SAN JOSE, CA 95111  
 Email: truongtdesign@gmail.com



**A REBUILT HOME FOR:**  
**THE NIKTAS RESIDENCE**  
 1145 SALERNO DRIVE  
 CAMPBELL, CA 95008

**EXISTING AND PROPOSED FIRST FLOOR PLAN**

Date: 2-21-17  
 Scale: AS NOTED  
 Engineer: T.T.  
 Reviewed: P.S.  
 Job: N-2017-09  
 Sheet: A3  
 of 3 Sheets



PLAN REBUILD CALCULATIONS: (E) + (N)	
A - LIVING	= 2,920.69 S.F.
B - GARAGE	= 414.83 S.F.
C - FRONT COVER PORCH	= 140.42 S.F.
D - REAR COVER PORCHS (57.5 S.F. + 128.33 S.F.)	= 185.83 S.F.
<b>TOTAL COVERAGE:</b>	<b>= 3,662.00 S.F.</b>
TOTAL LOT SIZE	= 9,158.0 S.F.
F.A.R. (3,662.00 S.F. / 9,158.0 S.F.)	= 40.0% < 45 %

**EXISTING AND NEW SQUARE FOOTAGE**

SCALE: 1/4" = 1'-0"

Revisions	By

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621 TULLY RD., SUITE 206, SAN JOSE, CA 95111  
TEL: 408-999-0220  
Email: truongtdesign@gmail.com



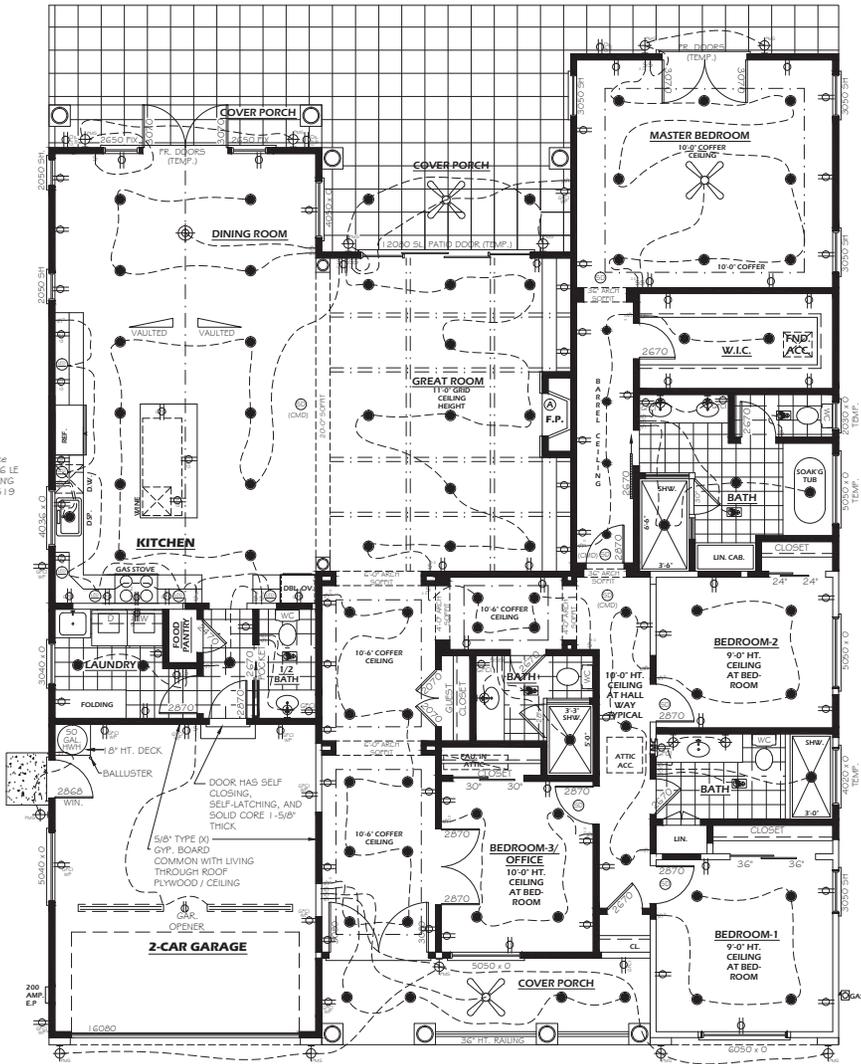
A REBUILT HOME FOR:  
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1145 SALERNO DRIVE  
CAMPBELL, CA 95008

**SQUARE  
FOOTAGE**

Date: 2-21-17  
Scale: AS NOTED  
Engineer: T.T.  
Reviewed: p.s.  
Job: N-2017-09

Sheet:  
**A3.1**  
of Sheets

1. Heatlator fire place
2. Model # GNDG 36 LE  
NON-WOOD BURNING  
UL FILE # MH15519
3. WOOD MANTLE  
STONE HEARTH



**PROPOSED FIRST FLOOR ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"

**GENERAL REQUIREMENTS FOR BATH:**

1. All permanent lighting in bathrooms that are to be remodeled shall be high efficacy (e.g. fluorescent) or shall be controlled by a motion sensor. All light fixtures that are to be recessed into insulated ceilings (can lights) shall be installed contact (C.I.) rated so that insulation can be placed over them. The light fixture housing shall be arranged to prevent condensed air escaping into the attic or ceiling cavity and unobstructed air circulating from the attic or ceiling cavity into the conditioned space.
2. At least one 20-amp branch circuit shall be provided to supply the bathroom receptacle outlets). Outlets for other equipment within the same bathroom shall be permitted to be supplied from the 20-amp branch circuit when the circuit supplies a single bathroom.
3. At least one wall receptacle outlet shall be installed within 3 feet of the edge and adjacent to each basin location and shall be GFC protected. The outlet shall not be installed in a face up position.
4. Pressure balance or thermostatic mixing valve is required at shower and/or tub shower combinations.
5. Glazing in enclosures for bathtubs and showers shall be tempered safety glazing.
6. Glazing in any portion of a building wall, where the bottom of the glazing is less than 60" above a standing surface and sash height shall be tempered safety glazing.
7. All fans shall exhaust 2' away from an exterior opening.
8. All lights over a shower or bathtub enclosed by walls and enclosures shall be marked "suitable for wet location". All lights over a bathtub with no enclosure shall be marked "suitable for damp location". No receptacles are permitted in a bathtub or shower space.
9. All knob and tube wiring that is exposed when walls are opened is to be removed back to the attic or under floor accessible spaces and spliced in a junction box with romex, or other approved wiring method, to be run back to the original location. Knob and tube boxes must be replaced to accommodate new wiring type. If removal of wiring would necessitate opening of additional walls not in the scope of the work, and the wiring is in sound condition, then it may remain.
10. Bathroom exhaust fans must comply with California Section 4.50C.1. The exhaust fan to be ENERGY STAR compliant and must be controlled by humidity control.

**LIGHTING REQUIREMENTS:**

1. HIGH EFFICACY LIGHTING MUST BE SWITCHED SEPARATELY FROM LOW EFFICACY LIGHTING.
2. OUTDOOR LIGHTING: ALL LIGHTS PERMANENTLY MOUNTED TO EXTERIOR SHALL BE HIGH EFFICACY OR COMPLY WITH A CONTROL WITH MOTION SENSOR WITH INTEGRAL PHOTO CONTROL. LIGHTING NOT ATTACHED TO BUILDINGS, LANDSCAPE LIGHTING, ARE EXEMPT.

**ENERGY REQUIREMENTS:**

1. All lighting shall be high efficacy (fluorescent, LED). LED lighting system and GFI-24 lamp holder shall be listed by Energy Commission and shall meet the requirement of Table 150-C.
- | Watts     | Lumens/Watts |
|-----------|--------------|
| 5 or less | 30           |
| >5 to 15  | 40           |
| >15 to 40 | 50           |
| Over 40   | 60           |
2. All exhaust fans shall be switched separately from lighting systems.

**NOTE: FOR EGRESS WINDOWS AT BEDROOMS:**

- WINDOW MUST HAVE:**
1. A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (GRADE FLOOR OPENINGS SHALL BE MIN. 5 SQ. FT.)
  2. MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES.
  3. MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.
  4. BOTTOM CLEAR OPENING: NOT MORE THAN 44 INCHES ABOVE THE FLOOR AND OPENS DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO A PUBLIC WAY.

**HEATING AND AIR CONDITIONING SYSTEMS:**

VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE "MERV-6" FILTERS OR BETTER.

**NOTE:**  
A COMPLETE CP-GR-LTG-01 FORM MUST BE PROVIDED TO THE CITY INSPECTOR PRIOR TO FINAL INSPECTION.

**LIGHTING REQUIREMENTS:**

1. KITCHEN: 50% OF INSTALLED WATTAGE MUST BE HIGH EFFICACY.
2. HIGH EFFICACY LIGHTING MUST BE SWITCHED SEPARATELY FROM LOW EFFICACY LIGHTING.
3. LIGHTING IN ADJACENT AREAS TO KITCHEN, INCLUDING DINING AND NOOK AREAS ARE CONSIDERED KITCHEN LIGHTING IF THEY ARE NOT SEPARATELY SWITCHED FROM KITCHEN LIGHTING.
4. ALL LIGHTS IN BATHROOMS SHALL BE HIGH EFFICACY LUMINAIRES OR COMPLY WITH EXCEPTIONS:
  - A. PROVIDE MANUAL - ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH SEC. 119 (4) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LIGHTS TO BE TURNED AUTOMATICALLY OR OVERRIDE TO BE CONTINUOUSLY ON.
  - B. REGARDING ALL OTHER ROOMS, BEDROOMS, HALLWAYS, DINING, ETC. SHALL HAVE HIGH EFFICACY LUMINAIRES OR COMPLY WITH EXCEPTIONS: PROVIDE DIMMER SWITCH, PROVIDE A MANUAL ON OCCUPANCY SENSOR THAT COMPLIES WITH (CEC SEC. 119 (4)) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LIGHTING TO BE TURNED ON AUTOMATICALLY OR HAVE AN OVERRIDE ALLOWING THE LIGHTS TO BE ALWAYS ON. CLOSETS LESS THAN 70 SF. ARE EXEMPT FROM LIGHTING REQUIREMENTS.
  - C. OUTDOOR LIGHTING: ALL LIGHTS PERMANENTLY MOUNTED TO EXTERIOR SHALL BE HIGH EFFICACY OR COMPLY WITH A CONTROL WITH MOTION SENSOR WITH INTEGRAL PHOTO CONTROL. LIGHTING NOT ATTACHED TO BUILDINGS, LANDSCAPE LIGHTING, ARE EXEMPT FROM LIGHTING REQUIREMENTS.

**WALL LEGEND**

	NEW 2x4 DF STUD WALL @ 16" O.C.
	EXISTING 2x4 STUD WALL

ELECTRICAL SYMBOLS	
DESCRIPTION	
	DUPLEX WALL OUTLET
	EXT. WEATHERPROOF DUPLEX OUTLET
	DRYER / OVEN S.C. 220V. PLUG - IN
	DUPLEX WALL - MTD. SWITCHED OUTLET
	SINGLE PLUG RECESSED FLOOR OUTLET
	DOOR BELL (CHIMES)
	1 LIGHT SWITCH
	3-WAY LIGHT SWITCH
	VACANCY SENSOR (INCANDESCENT LIGHTS)
	DIMMER LIGHT SWITCH W/LED
	3-WAY DIMMER SWITCH
	LOW-VOLTAGE DIMMER SWITCH
	OCCUPANCY SENSOR LIGHT SWITCH
	EXT. BOX FOR SURFACE LIGHT FIXTURE
	EXT. BOX FOR WALL MTD. LIGHT FIXTURE
	FLUORESCENT FIXTURES MUST BE FLUORESC. OR PHOTO-MOTION CONTROLLED (FR. FAN RATED)
	ROOM-CEILING-FANS-W/ LIGHT (REQUIRED 2-SWITCHES)
	EXTERIOR FIXTURES MUST BE FLUORESC. OR PHOTO-MOTION SENSOR CONTROLLED
	CHANDISER (FAN RATED)
	FAN RATED
	RECESSED LED LIGHT FIXTURE 4", 4", 3"
	FLUORESCENT FIXTURE
	SMOKE DETECTOR, HARD WIRE AC - DIC POWER, CONNECTED AND LOCATED IN EACH BEDROOM & HALL OUTSIDE, BOTTOM AND TOP OF STAIRCASE (PROPERTY OR PROVIDED BY SEC. R31.01 (2013 CBC))
	CARBON MONOXIDE DET. (SEC. R31.01 (2013 CBC))
	LED LIGHTS (UNDER-CABINET LIGHTING)
	VACANCY SENSOR FOR INCANDESCENT LIGHTS OCCUPANCY SENSOR
	PANASONIC CEILING EXHAUST FAN
	PANASONIC EXHAUST FAN W/ FLUOR. LIGHT
	PHONE (ALL CAT. 5 OR 6 POWER/IN ONLY)
	TELEVISION
	EXT. MAIN ELECTRICAL PANEL (150 AMP)
	SUB PANEL (100 AMP)
	EXT. MAIN ELECTRICAL PANEL (200 AMP)

Revisions	By

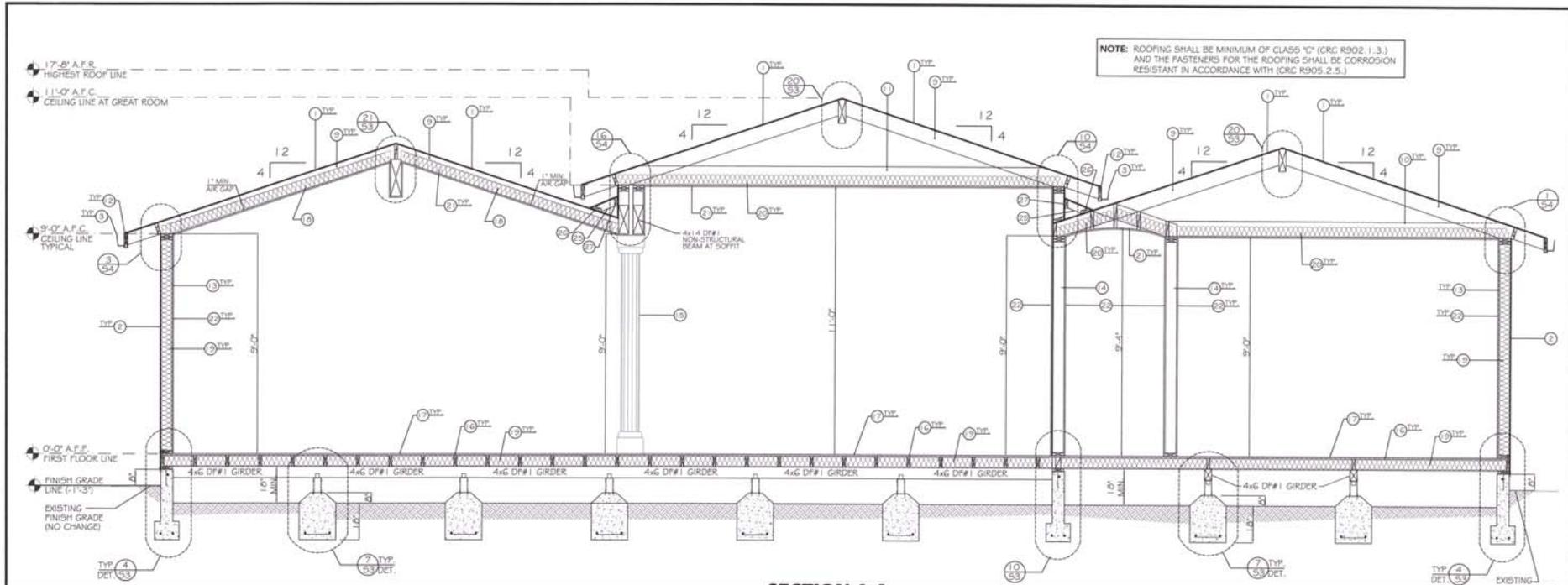


A REBUILT HOME FOR:  
**THE NIKTAS RESIDENCE**  
1145 SALERNO DRIVE  
CAMPBELL, CA 95008

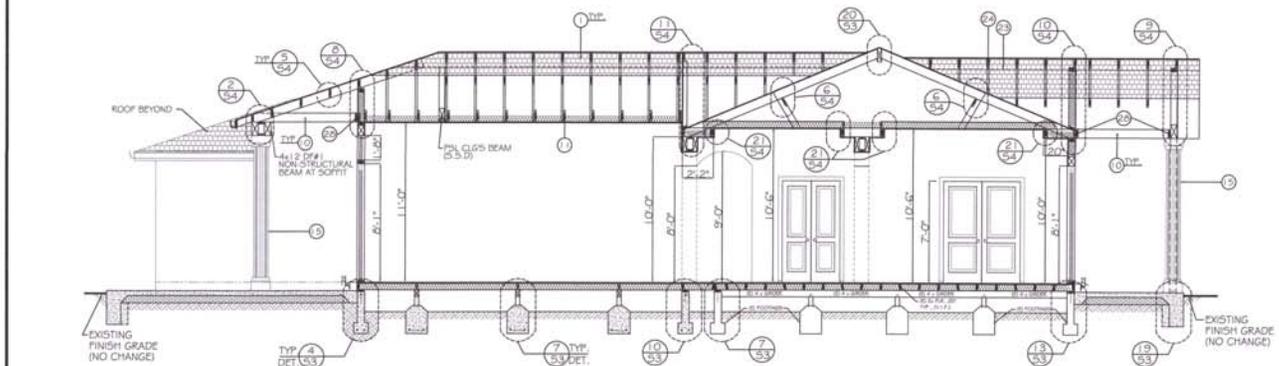
**PROPOSED FIRST FLOOR ELECTRICAL PLAN**

Date: 2-21-17  
Scale: AS NOTED  
Engineer: T.T.  
Reviewed: P.S.  
Job: N-2017-09

Sheet: **A4**  
of 4 Sheets



**SECTION A-A**  
SCALE: 1/2" = 1'-0"



**SECTION B-B**  
SCALE: 1/4" = 1'-0"

- SECTION NOTES:**
- 40 YEARS PRESIDENTIAL COMPOSITION ROOF (CBO 5414) OVER #30 FELT OVER 1/2" CDX PLYWOOD NA1 W84 @ 6" O.C. EDGES; 12" O.C. (FIELD)
  - 7/8" STUCCO WITH WIRE MESH OVER TWO LAYERS OF GRADE 10" PAPER OVER 1/2" CDX WALL PLYWOOD NA1 W84 @ 6" O.C. (END); 12" O.C. (FIELD)
  - 26 GAUGE GALVANIZED G.I. GUTTER (5" FACIA GUTTER) WITH DOWNSPOUTS TO FLASHING BLOCKS
  - 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE AND 2" ABOVE PAVED AREAS
  - 2x6 BULK WITH VENTS @ 1 VENT/50 (3-2" Ø) HOLES
  - 2 x 12 PRIMED WOOD FASCIA, TYPICAL
  - 2 x 6 DF#2 RIDGE, TYPICAL
  - 2 x 6 DF#1 FURIN, TYPICAL
  - 2 x 6 DF#2 ROOF RAFTER @ 24" O.C., TYPICAL (I.N.O.)
  - 2 x 6 DF#2 CEILING JOIST @ 24" O.C., TYPICAL (I.N.O.)
  - 1.75" x 9.5" 2-ZE FSL CEILING JOIST @ 24" O.C.
  - OVERHANG - 18" PROJECTION WITH EXPOSED RAFTER TAILS
  - 2 x 6 DF#2 STUDS @ 16" O.C., (TYPICAL FOR ALL EXTERIOR STUD WALLS)
  - 2 x 4 DF#2 STUDS @ 16" O.C., (TYPICAL FOR ALL INTERIOR STUD WALLS)
  - 12" ROUND DECORATIVE COLUMN (COLOR - WHITE)
  - 2 x 6 DF#2 FLOOR JOIST @ 16" O.C., TYPICAL (I.N.O.)
  - 3/4" (7) # (5) SUB-FLOOR PLYWOOD (SUE # NA1 W104 @ 6" O.C. EDGES AND 12" O.C. (FIELD))
- INSULATIONS**
- 5" RIGID INSULATION WITH 1" (MIN.) AIR GAP ON TOP.
  - 8-19 BATT INSULATION
  - 8-35 BATT INSULATION
- GYPSUM BOARD**
- 5/8" GYP. BRD., TYPICAL AT CEILINGS.
  - 1/2" GYP. BRD., TYPICAL AT WALLS.
- CALIF. FRAME AND CRICKETS**
- 2x10 DF#1 CALIF. FRAME RIDGE, TYPICAL
  - 2 x 4 DF#2 @ 24" O.C. (MIN.) TYPICAL
  - 2 x 4 DF#2 @ 24" O.C., CRICKET WITH 2-16d TORQ NAIL TO LEDGER # SLEEPER
  - CONTINUOUS 2x BEV. SLEEPER W/2-16d TO LOWER ROOF RAFTER
  - CONTINUOUS 2x BEV. LEDGER W/2-16d TO 2 x STUD WALLS AT EACH STUD
  - CONTINUOUS 2x6 DF#1 LEDGER W/3-16d TO 2 x STUD (AT EACH STUD) AND/OR CEILING BEAM

Revisions	By

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**ENGINEER'S SIGNATURE**

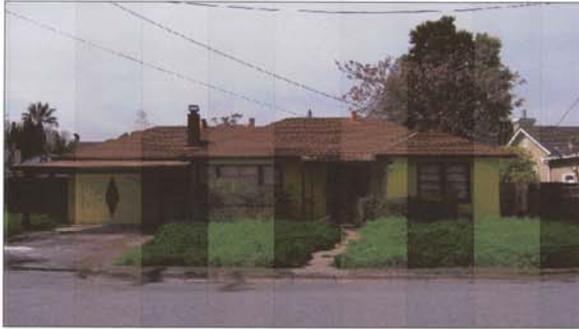
A REBUILD HOME FOR:  
**THE NIKTAS RESIDENCE**  
 1145 SALERNO DRIVE  
 CAMPBELL, CA 95008

**SECTION A-A**

Date:	2-21-17
Scale:	AS NOTED
Engineer:	T.T.
Reviewed:	P.S.
Job:	N-2017-09
Sheet:	A5







**(E) FRONT VIEW**  
SCALE: N.T.S.



**(E) NORTH PERSPECTIVE VIEW**  
SCALE: N.T.S.



**(E) NORTH-WEST PERSPECTIVE VIEW**  
SCALE: N.T.S.



**(E) NORTH-EAST (NEIGHBOR) PERSPECTIVE VIEW**  
SCALE: N.T.S.



**(E) NORTH-EAST PERSPECTIVE VIEW**  
SCALE: N.T.S.



**(E) SOUTH PERSPECTIVE VIEW**  
SCALE: N.T.S.



**(E) SOUTH-WEST PERSPECTIVE VIEW**  
SCALE: N.T.S.



**(E) SOUTH-EAST (NEIGHBOR) PERSPECTIVE VIEW**  
SCALE: N.T.S.

Revisions	By

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**(E) FRONT, NORTH,  
SOUTH PERSPECTIVE  
STREET VIEWS**

Date: 2-21-17  
Scale: AS NOTED  
Engineer: T.T.  
Reviewed: P.S.  
Job: N-2017-09  
Sheet:

**A6.2**  
of Sheets



