



CITY OF CAMPBELL
Community Development Department

July 14, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **July 25, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of John Niktas for a Site and Architectural Review Permit (PLN2017-108) to allow the construction of a new single-family residence on property located at **1145 Salerno Drive**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

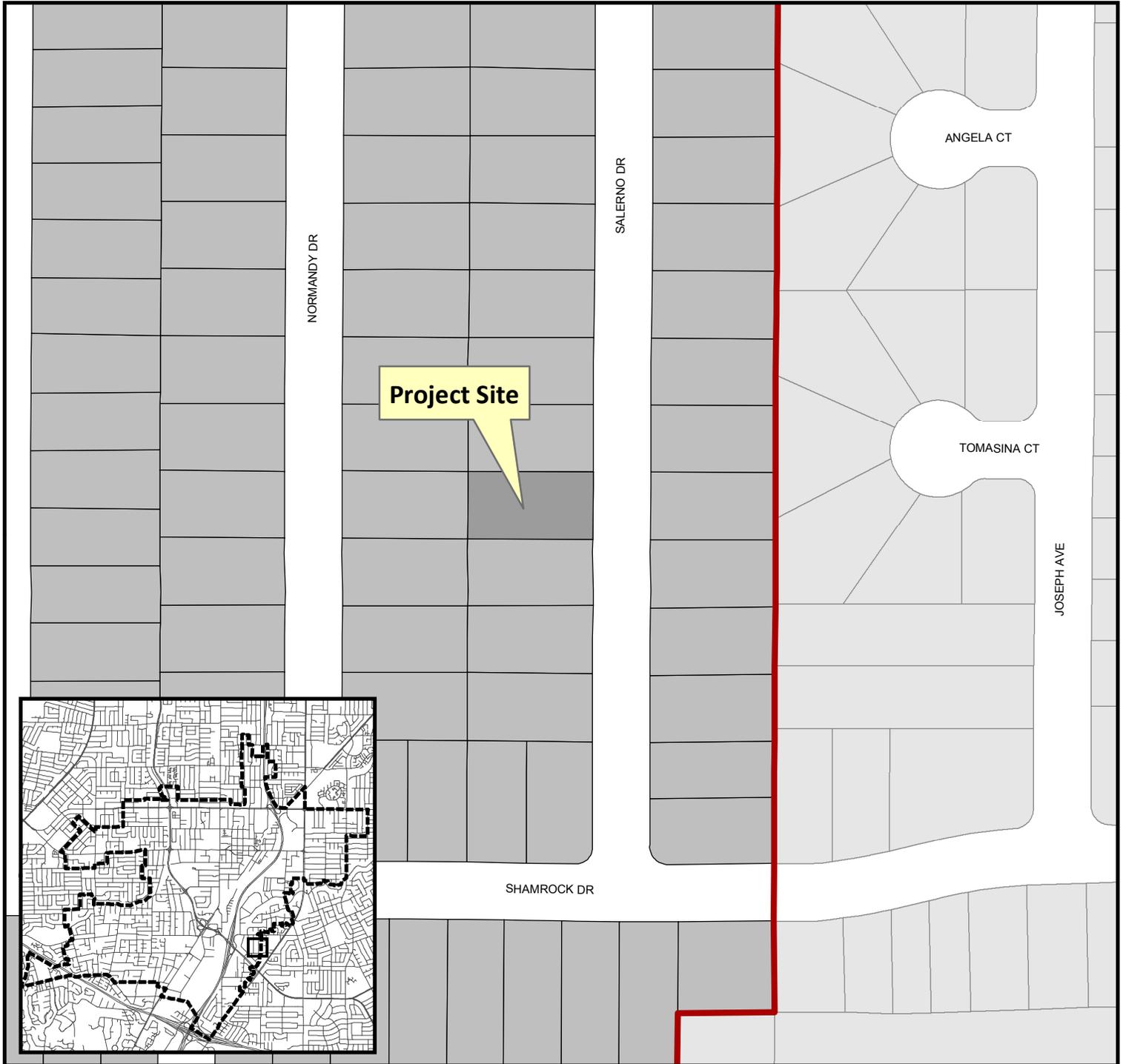
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1145 Salerno Drive**

Project Location Map

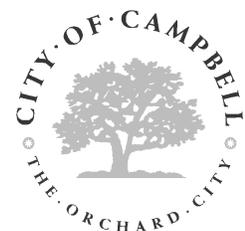
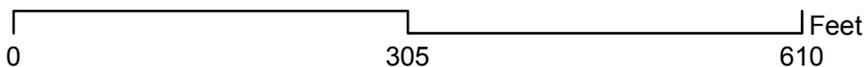


Project Location: 1145 Salerno Drive

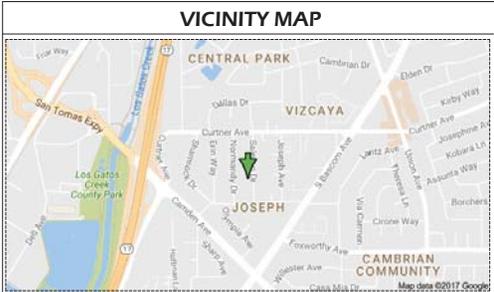
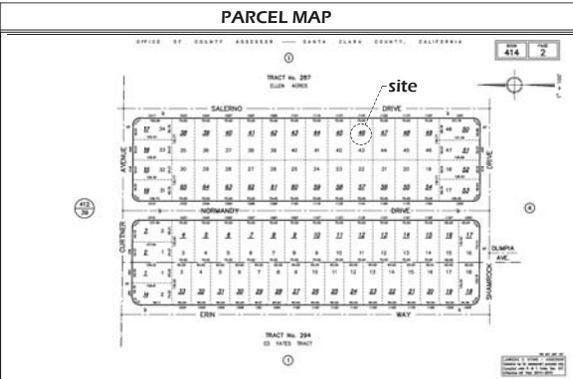
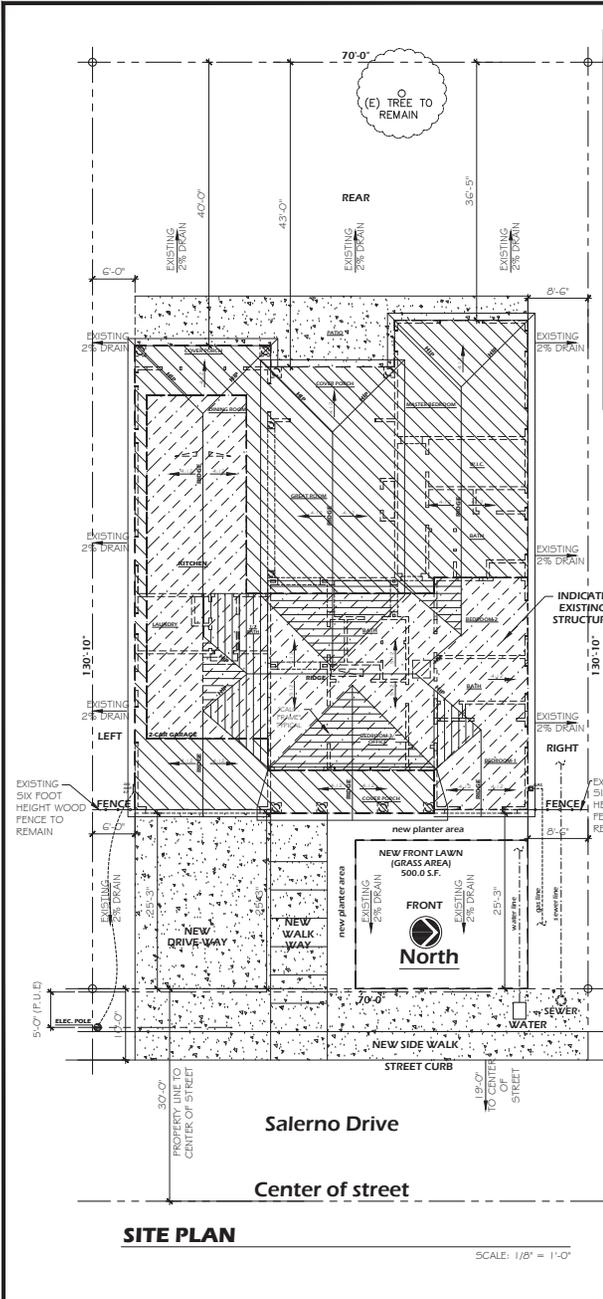
Application Type: Site and Architectural Review Permit

Planning File No.: PLN2017-108

Description: new 3,336 square foot one-story home with attached garage.



Community Development Department
Planning Division



- DRAINAGE NOTES**
1. DELINEATE THE ROOF DRAINAGE SYSTEM AND ITS DISCHARGE TO 5 FEET MINIMUM FROM FOUNDATION TO AN APPROVED DRAINAGE SYSTEM.
 2. FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% DISTANCE OF 10 FEET (CBC 1804.3)
 - A. ON GRADE SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MINIMUM OF 12 INCHES PLUS 2%.

- LEGEND**
- INDICATE EXISTING STRUCTURE
 - INDICATE PROPOSED ADDITION
 - INDICATE NEW DRIVE-WAY, WALL-WAY, SIDE WALK AND PATIO

- APPLICABLE CODE**
- ALL CONSTRUCTION SHALL COMPLY WITH:
- 2016 CALIF. FIRE CODE
 - 2016 CALIF. BLDG CODE
 - 2016 CALIF. RESIDENTIAL CODE
 - 2016 CALIF. MECH. CODE
 - 2016 CALIF. PLUMBING CODE
 - 2016 CALIF. ELEC. CODE
 - 2016 CALIF. ENERGY CODES
 - 2016 CALIF. GREEN BUILDING CODES
- ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

FIRE SPRINKLERS REQUIRED

ADANAC FIRE PROTECTION, INC.
SUNNYVALE CA. PHONE: 408-735-1650
TO PROVIDE FIRE SPRINKLER SYSTEM WITH DEFERRED PLAN SUBMITTAL. PROPERTY TO HAVE 2" DIA. WATER LINE FROM HOUSE TO WATER METER, WITH 1 1/2" METER, REQUIRED, ELEVATION BY OTHERS

NOTE TO CONTRACTOR

1. ALL WORK SHALL BE COMPLETED BY A LICENSED CONTRACTOR AND SHALL COMPLY WITH THE LATEST CODES AND REGULATIONS INCLUDING ALL SET-BACK REQUIREMENTS.
2. CONTRACTOR & SUBS MUST VERIFY ALL MEASUREMENTS ON SITE TO INSURE ACCURACY. ANY DIFFERENCE MUST BE BROUGHT TO THE ATTENTION OF THIS PLAN MAKER FOR CORRECTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBS., THEIR WORKMANSHIP, AND SCHEDULES.
4. ALTHOUGH THIS PLAN MAKER TAKES EVERY PRECAUTION TO BE ACCURATE, ANY DISCREPANCIES SHALL BE BROUGHT TO HIS/HER ATTENTION FOR CORRECTION IN A TIMELY MANNER.
5. THE CONTRACTOR AND / OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND / OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS; THE CONTRACTOR AND / OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF TRUONG DESIGN AND REQUEST ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY TRUONG DESIGN. THE CONTRACTOR AND / OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND / OR SUPPLIER OF MATERIALS FAILED TO NOTIFY THE OFFICE OF TRUONG DESIGN PRIOR TO CONSTRUCTION AND / OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF TRUONG DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF TRUONG DESIGN.

ANALYSIS

PROJECT DATA: 1145 SALERNO DRIVE, CAMPBELL, CA 95008 (APN 414-02-046)

OWNER	JOHN NIKTAS	FIRE SPRINKLERS	DEFER SUBMITTAL
ZONING	R1-B	BUILDING HEIGHT (PROPOSED)	R1-B
OCCUPANCY GROUP	R-3 (SINGLE FAMILY RESIDENCE)	LOT SIZE	9,158.00 S.F.
TYPE OF CONSTRUCTION	VB	YEAR BUILT	1947

EXISTING FLOOR AREA	PROPOSED FLOOR AREA
(E) GARAGE: 0.00 S.F.	(N) GARAGE: 414.83 S.F.
(E) FRONT COVER PORCH: 53.04 S.F.	(N) FRONT COVER PORCH: 140.42 S.F.
(E) LIVING: 1,750.00 S.F.	(E) AND (N) LIVING FLOOR AREA: 2,920.69 S.F.
TOTAL (E) FLOOR AREA: 1,803.04 S.F.	(N) REAR COVER PORCHS: 185.83 S.F.
	TOTAL PROPOSED FLOOR AREA: 3,662.00 S.F.
	FLOOR AREA RATIO (F.A.R.): 40.0% < 45.0%

PROJECT DESCRIPTION

- SINGLE STORY REBUILD TO EXISTING DWELLING
- REMOVED (E) BRICK CHIMNEY AND REPLACE WITH GAS BURNING FIRE PLACE
- REMOVED (E) DAMAGED ROOF AND REPLACE WITH NEW 4:12 AND 5:12 SLOPE CUT FRAME ROOF
- REMOVED (E) SLAB-ON-GRADE FAMILY ROOM AND ROOF STRUCTURE
- (N) 200 AMP ELECTRICAL PANEL
- REPLACED ALL PLUMBINGS AND ELECTRICAL AS REQUIRED
- INSTALL NEW WATER HEATER

INDEX

PAGE	DESCRIPTION
A1	SITE PLAN / PARCEL DATA ANALYSIS/VICINITY MAP/INDEX
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A6.2	FRONT, NORTH, SOUTH PERSPECTIVE STREET VIEWS
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S2	ROOF FRAMING PLAN
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S3	STRUCTURAL DETAILS
S4	STRUCTURAL DETAILS
S5	STRUCTURAL DETAILS
HPX1	HARDY FRAME NOTES AND DETAILS

Revisions

By	Revisions

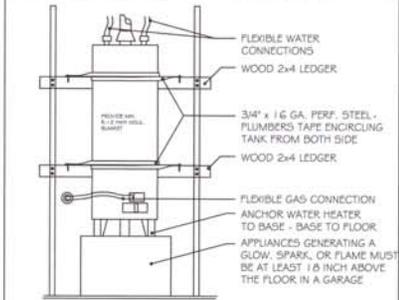
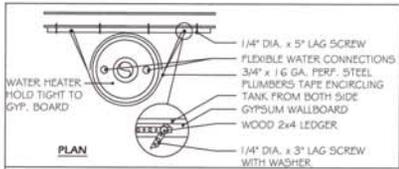
TRUONG DESIGN
621 TULLY RD. SUITE 2106, SAN JOSE, CA 95111
TEL: 408-899-0220 Email: truongdesign@gmail.com

THE NIKTAS RESIDENCE
1145 SALERNO DRIVE
CAMPBELL, CA 95008

SITE PLAN

A REBUILT HOME FOR:

Date: 2-21-17
Scale: AS NOTED
Engineer: T.T.
Reviewed: P.S.
Job: N-2017-09
Sheet: **A1** of 5 Sheets



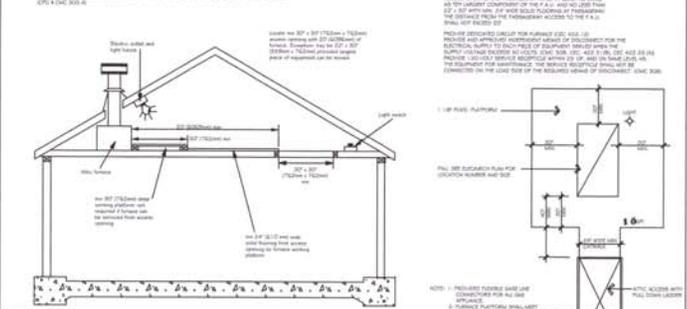
PROVIDE COMBUSTION AIR OPENINGS WITHIN 1/2 INCH OF FLOOR AND CEILING FOR GAS BURNING EQUIPMENT.

WATER HEATER SHALL BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL-SIZED DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2 FT. OR LESS THAN 6 INCH ABOVE THE GRADE POINTING DOWNWARD, THE TERMINAL END BEING THREADED.

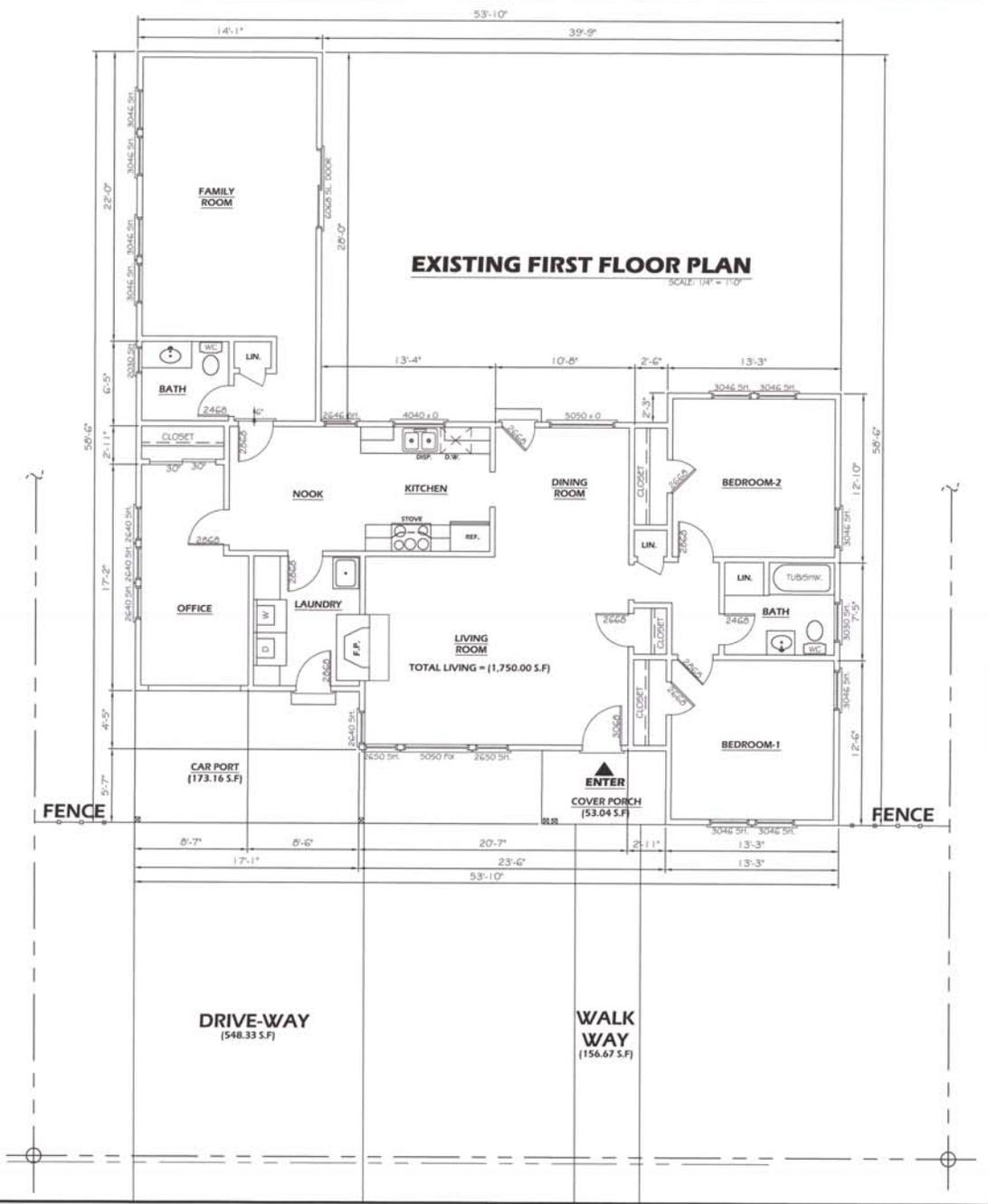
1 WATER HEATER SUPPORT AND STRAP



FURNACE ACCESS DIAGRAM:



2 ATTIC FURNACE



Revisions	By

TRUONG DESIGN
 ARCHITECTS
 421 TULLY RD, SUITE 206, SAN JOSE, CA 95111
 TEL: 408-899-0220
 Email: truongdesign@gmail.com

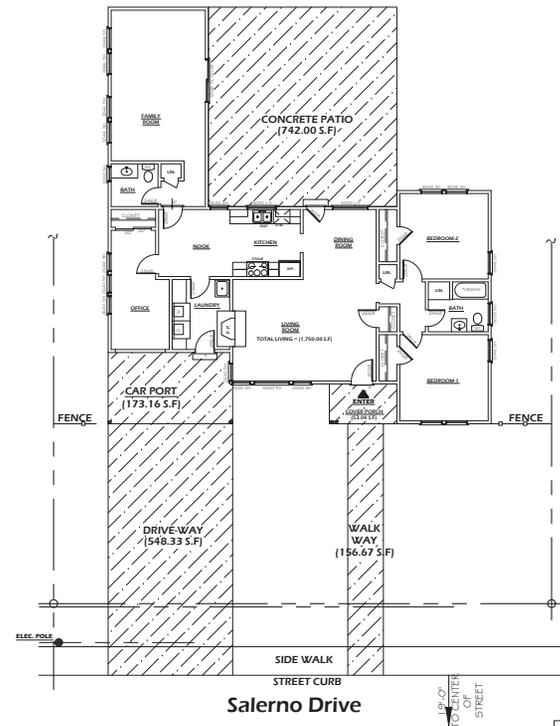


A REBUILT HOME FOR:
THE NIKTAS RESIDENCE
 1145 SALENTO DRIVE
 CAMPBELL, CA 95008

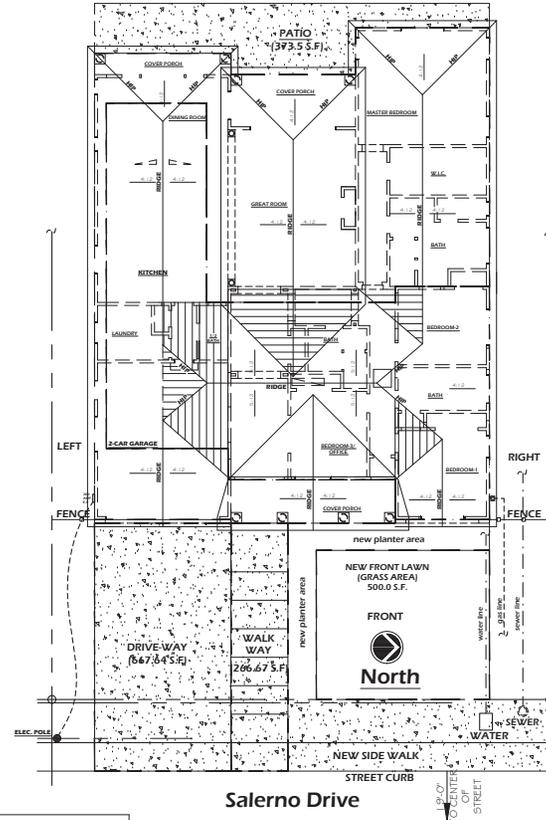
EXISTING FIRST FLOOR PLAN

Date: 2-21-17
 Scale: AS NOTED
 Engineer: T.T.
 Reviewed: P.S.
 Job: N-2017-09
 Sheet:

A2
 of Sheets



DEMOLITION EXISTING CONCRETE AREA
SCALE: 1/8" = 1'-0"



NEW CONCRETE AREA
SCALE: 1/8" = 1'-0"

LEGEND

	INDICATE DEMOLITION OF EXISTING CONCRETE.
	INDICATE NEW DRIVE-WAY, WALL-WAY, PATIO

Revisions	By

TRUONG DESIGN
 641 TULLY RD. SUITE 206, SAN JOSE, CA 95111
 Email: truongtdesign@gmail.com

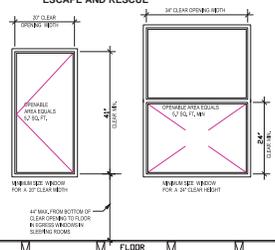
ENGINEER'S SIGNATURE

A REBUILT HOME FOR:
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 1145 SALERNO DRIVE
 CAMPBELL, CA 95008

DEMOLITION AND PROPOSED CONCRETE AREAS

Date:	2-21-17
Scale:	AS NOTED
Engineer:	T.T.
Reviewed:	P.S.
Job:	N - 2017-09
Sheet:	A2.2
of	Sheets

RESIDENTIAL EGRESS WINDOWS (2013 CBC) EMERGENCY ESCAPE AND RESCUE

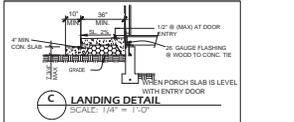
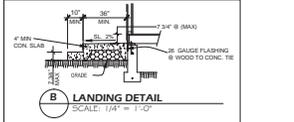
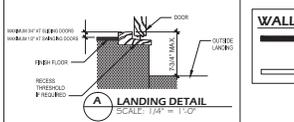


Revisions are shown in the revision table when required. All drawings shall comply with the code of the City of San Jose, California Building Code (CBC), Section 1009 requires that:

- Windows in sleeping units are required to be operable from the inside.
- Windows in sleeping units shall have a minimum clear opening width of 20 inches and a minimum clear opening height of 20 inches.
- The net clear opening width shall not be less than 1.5 times the sill height for glass doors and windows.
- All windows in sleeping units shall be operable from the inside without the use of tools, keys, or special knowledge.
- All windows in sleeping units shall be operable from the inside without the use of tools, keys, or special knowledge.

NOTE: FOR EGRESS WINDOWS AT BEDROOMS: WINDOW MUST HAVE:

1. A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (GRADE-FLOOR OPENINGS SHALL BE MIN. 5.0 SQ. FT.)
2. MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES.
3. MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.
4. BOTTOM CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR AND OPEN DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO A PUBLIC WAY.



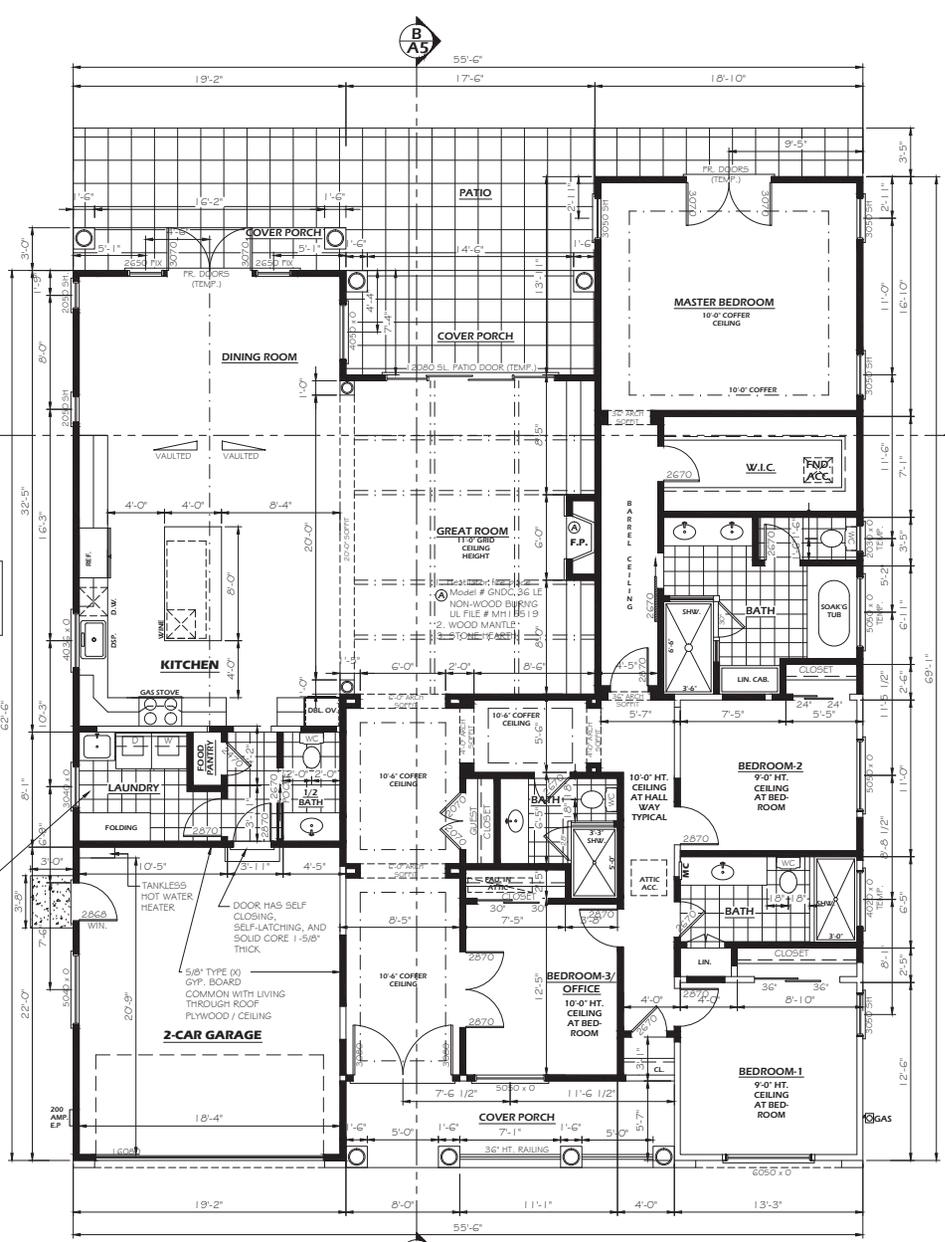
NOTE: (LAUNDRY ROOM)

1. VENTILATION FOR MECHANICAL CLOTHES DRYERS SHALL BE VENTED TO THE OUTSIDE AND COMPLY WITH CITY OF SAN JOSE BUILDING DIVISION DIRECTIVE M-001.
2. CONTRACTOR SHALL PROVIDE ONE LAUNDRY TRAY BELOW THE WASHER UNIT IN THE LAUNDRY ROOM PER (CPC Table 422.1.)

WATER EFFICIENT PLUMBING FIXTURES (CALIFORNIA CIVIL CODE 1101.40d)

1. THE CALIFORNIA CIVIL CODE REQUIRES THAT ALL EXISTING NON-COMPLIANT PLUMBING FIXTURES (BASE ON WATER EFFICIENCY) THROUGHOUT THE HOUSE BE UPGRADED WHENEVER A BUILDING PERMIT IS ISSUED FOR REMODELING IMPROVEMENTS. RESIDENTIAL BUILDINGS CONSTRUCTED AFTER JANUARY 1, 1994 ARE EXEMPT FROM THIS REQUIREMENT. THE FOLLOWING TABLE SHOWS THE FIXTURES THAT ARE CONSIDERED TO BE NON-COMPLIANT AND THE TYPE OF WATER-CONSERVING PLUMBING FIXTURE THAT SHOULD BE INSTALLED.

TYPE OF FIXTURE	NON-COMPLIANT PLUMBING FIXTURE	REQUIRED WATER-CONSERVING PLUMBING FIXTURE (MAXIMUM FLOW-RATES)
Water Closet (Toilet)	Greater than 1.6 gallons/flush	1.28 gallons/flush
Showerhead	Greater than 2.5 gallons/minute	2.0 gallons/minute at 80 psi
Facet-Bathroom	Greater than 2.2 gallons/minute	1.5 gallons/minute at 60 psi
Facet-Kitchen	Greater than 2.2 gallons/minute	1.8 gallons/minute at 60 psi



GENERAL CODE REQUIREMENTS FOR BATHROOMS SHOWERS AND TUBS:

1. PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE IS REQUIRED AT SHOWER AND/OR TUB SHOWER COMBINATIONS. ANTI-SCALD MAX TEMP 120°.
2. GLAZING IN ENCLOSURES FOR BATHTUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLAZING. MINIMUM GLASS DOOR SIZE 22" (INCHES) AND SHALL SWING OUTWARDS.
3. SHOWER PAN:
 - A. SLOPE UNDERLayment BETWEEN 1/4" PER FOOT AND 1/2" PER FOOT.
 - B. NO FASTENERS LESS THAN 1" (INCH) ABOVE PAN.
 - C. MINIMUM ROUGH FOR PAN 34" x 34" (INCH).
 - D. LINER MINIMUM 3" (INCHES) ABOVE PAN.
4. TUB SLIP JOINT ACCESSIBLE MINIMUM 1 1/2" x 1 1/2" (INCH) DOOR.
5. PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE IS REQUIRED AT SHOWER AND/OR TUB SHOWER COMBINATIONS.
6. GLAZING IN ENCLOSURES FOR BATHTUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLAZING.
7. GLAZING IN ANY PORTION OF A BUILDING WALL, WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60" (INCH) ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE TEMPERED SAFETY GLAZING.
8. ALL FANS SHALL EXHAUST 3' (FEET) AWAY FROM AN EXTERIOR OPENING.
9. SHOWER WALLS TO HAVE CERAMIC TILE OVER A MOISTURE RESISTANT UNDERLayment TO A MINIMUM HEIGHT OF 72" (INCH) ABOVE THE DRAIN INLET.
10. MINIMUM 15" (INCH) WIDE CLEAR SPACE FROM WATER CLOSET CENTER TO ANY SIDE WALL OR OBSTRUCTION, EXTENDING AT LEAST 24" (INCH) IN FRONT.
11. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA 1.024 SQUARE INCHES, AND ALSO CAPABLE OF ENCOMPASSING 30-INCH CIRCLE AND IT SHALL BE MAINTAINED UP TO 72 INCHES ABOVE SHOWER DRAIN INLET. THE MINIMUM REQUIRED ARE SHALL NOT APPLY WHERE AN EXISTING BATHTUB IS REPLACED BY A SHOWER RECEPTOR 30" x 60" (INCHES). CPC SECTION 411.7. (ACTUAL 1, 116.5.1)
12. SHOWER DOORS TO OPEN AT LEAST A MINIMUM OF 22" (INCH) FOR AN UNOBSTRUCTED EGRESS OPENING. CPC 411.6

CODE REQUIREMENTS FOR GLAZING AND WINDOWS

1. ALL GLASS AND GLAZING SHALL COMPLY WITH THE U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS AND WITH FEDERAL SPECIFICATIONS.
2. VERIFY WINDOWS MEET EGRESS REQUIREMENTS. AT LEAST ONE ESCAPE ROUTE FROM EACH SLEEPING ROOM. 24" (INCH) CLEAR HEIGHT 20" (INCHES) CLEAR WIDTH, AND 5.7 SQ. FT. CLEAR OPENING. SILL HEIGHT NOT MORE THAN 41" (INCH) ABOVE THE SUBFLOOR. ALL OPERABLE WINDOWS TO ALLOW FOR EXTERIOR CLEANING FROM THE INTERIOR OF THE ROOMS.
3. HABITABLE ROOMS TO BE NATURALLY VENTILATED WITH CLEAR OPEN AREA NOT LESS THAN 4% OF THE FLOOR AREA OF THE ROOM AND NATURAL LIGHT OF MINIMUM LOS.
4. WINDOWS OVER TUBS OR SHOWERS SHALL BE OF TEMPERED GLASS. TEMPERED SAFETY GLASS TYPICAL AT ALL EXTERIOR SLIDING GLASS DOORS, FRENCH DOORS, SIDE LIGHTS ADJACENT TO DOORS, ANY GLASS LESS THAN 18" (INCH) FROM FLOOR AND INTERIOR SHOWER ENCLOSURES. ALL WINDOWS IN BAY WINDOWS USED FOR SEATING TO HAVE TEMPERED GLASS. ANY WINDOW WITHIN 24" (INCH) OF OPENING DOOR SWING.

PLUMBING

DRAINAGE PIPE:	COPPER OR PLASTIC
1. HOUSE	4"
2. SOIL STACK	4"
3. KITCHEN	2"
4. TOILET	4"
5. SINK	1-1/2"
1. VENT	2"
WATER SUPPLY:	
1. MAIN	1"
2. HOT & COLD	1"
3. INTERMEDIARY BRANCHES	3/4"
4. BRANCHES TO FIXTURES	1/2"

Heating and Cooling:

- Use Mitsubishi Electric Energy Star compressor with multi-zone ceiling and wall mounted distribution units, per energy heat loss and cooling requirements of Title 24 report. Subcontractor to design a balanced system for the new addition and provide proposal for owner's approval.

NOTE:

1. PROVIDE FIRE-BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (CRC R 302.11)

EXISTING / PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

Revisions By

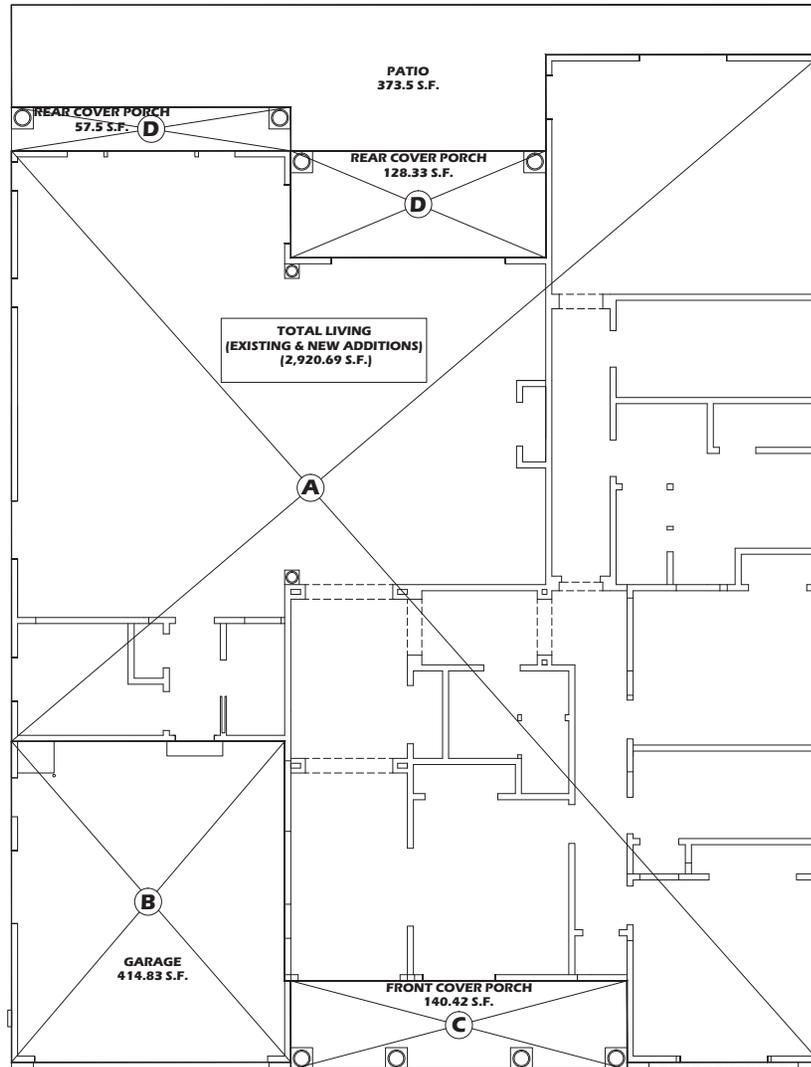
Revisions	By



A REBUILT HOME FOR:
THE NIKTAS RESIDENCE
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 CAMPBELL, CA 95008

EXISTING AND PROPOSED FIRST FLOOR PLAN

Date: 2-21-17
 Scale: AS NOTED
 Engineer: T.T.
 Reviewed: P.S.
 Job: N-2017-09
 Sheet: **A3**
 of 3 Sheets



EXISTING AND NEW SQUARE FOOTAGE

SCALE: 1/4" = 1'-0"

PLAN REBUILD CALCULATIONS: (E) + (N)	
A - LIVING	= 2,920.69 S.F.
B - GARAGE	= 414.83 S.F.
C - FRONT COVER PORCH	= 140.42 S.F.
D - REAR COVER PORCHS (57.5 S.F. + 128.33 S.F.)	= 185.83 S.F.
TOTAL COVERAGE:	= 3,662.00 S.F.
TOTAL LOT SIZE	= 9,158.0 S.F.
F.A.R. (3,662.00 S.F. / 9,158.0 S.F.)	= 40.0% < 45 %

Revisions	By

TRUONG DESIGN
 621 TULLY RD., SUITE 206, SAN JOSE, CA 95111
 TEL: 408-999-0229
 Email: truongdesign@gmail.com



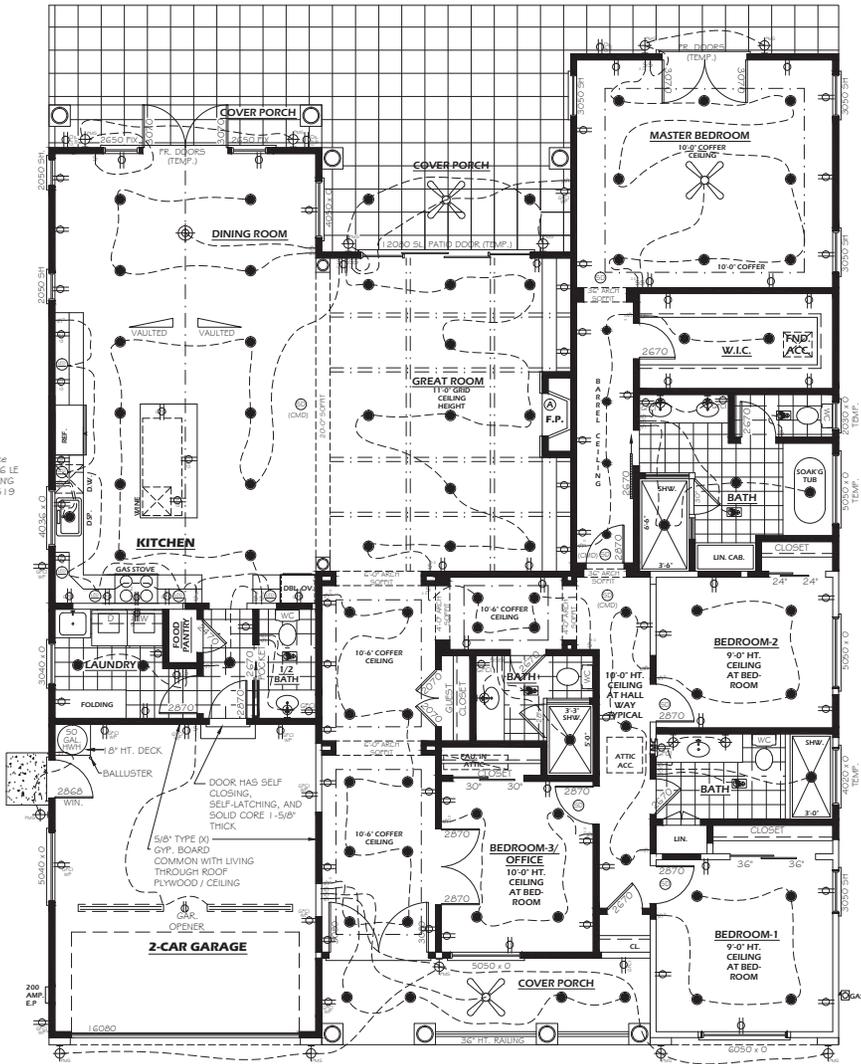
A REBUILT HOME FOR:
THE NIKTAS RESIDENCE
 1145, SALERNO DRIVE
 CAMPBELL, CA 95008

SQUARE FOOTAGE

Date:	2-21-17
Scale:	AS NOTED
Engineer:	T.T.
Reviewed:	p.s.
Job:	N-2017-09

Sheet: **A3.1**
 of Sheets

1. Heatlator fire place
2. Model # GNDG 36 LE
NON-WOOD BURNING
UL FILE # MH15519
3. WOOD MANTLE
STONE HEARTH



PROPOSED FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

GENERAL REQUIREMENTS FOR BATH:

1. All permanent lighting in bathrooms that are to be remodeled shall be high efficacy (e.g. fluorescent) or shall be controlled by a motion sensor. All light fixtures that are to be recessed into insulated ceilings (can lights) shall be installed contact (C.I.) rated so that insulation can be placed over them. The light fixture housing shall be arranged to prevent condensed air escaping into the attic or ceiling cavity and unobstructed air circulating from the attic or ceiling cavity into the conditioned space.
2. At least one 20-amp branch circuit shall be provided to supply the bathroom receptacle outlets). Outlets for other equipment within the same bathroom shall be permitted to be supplied from the 20-amp branch circuit when the circuit supplies a single bathroom.
3. At least one wall receptacle outlet shall be installed within 3 feet of the edge and adjacent to each basin location and shall be GFCI protected. The outlet shall not be installed in a face up position.
4. Pressure balance or thermostatic mixing valve is required at shower and/or tub shower combinations.
5. Glazing in enclosures for bathtubs and showers shall be tempered safety glazing.
6. Glazing in any portion of a building wall, where the bottom of the glazing is less than 60" above a standing surface and sash height shall be tempered safety glazing.
7. All fans shall exhaust 2' away from an exterior opening.
8. All lights over a shower or bathtub enclosed by walls and enclosures shall be marked "suitable for wet location". All lights over a bathtub with no enclosure shall be marked "suitable for damp location". No receptacles are permitted in a bathtub or shower space.
9. All knob and tube wiring that is exposed when walls are opened is to be removed back to the attic or under floor accessible spaces and spliced in a junction box with romex, or other approved wiring method, to be run back to the original location. Knob and tube boxes must be replaced to accommodate new wiring type. If removal of wiring would necessitate opening of additional walls not in the scope of the work, and the wiring is in sound condition, then it may remain.
10. Bathroom exhaust fans must comply with California Section 4.50C.1. The exhaust fan to be ENERGY STAR compliant and must be controlled by humidity control.

LIGHTING REQUIREMENTS:

1. HIGH EFFICACY LIGHTING MUST BE SWITCHED SEPARATELY FROM LOW EFFICACY LIGHTING.
2. OUTDOOR LIGHTING: ALL LIGHTS PERMANENTLY MOUNTED TO EXTERIOR SHALL BE HIGH EFFICACY OR COMPLY WITH A CONTROL WITH MOTION SENSOR WITH INTEGRAL PHOTO CONTROL. LIGHTING NOT ATTACHED TO BUILDINGS, LANDSCAPE LIGHTING, ARE EXEMPT.

ENERGY REQUIREMENTS:

1. All lighting shall be high efficacy (fluorescent, LED). LED lighting system and GFI-24 lamp holder shall be listed by Energy Commission and shall meet the requirement of Table 150-C.
- | Watts | Lumens/Watts |
|-----------|--------------|
| 5 or less | 30 |
| >5 to 15 | 40 |
| >15 to 40 | 50 |
| Over 40 | 60 |
2. All exhaust fans shall be switched separately from lighting systems.

NOTE: FOR EGRESS WINDOWS AT BEDROOMS:

- WINDOW MUST HAVE:**
1. A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (GRADE-LEVEL OPENINGS SHALL BE MIN. 5 SQ. FT.)
 2. MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES.
 3. MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.
 4. BOTTOM CLEAR OPENING: NOT MORE THAN 44 INCHES ABOVE THE FLOOR AND OPENS DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO A PUBLIC WAY.

HEATING AND AIR CONDITIONING SYSTEMS:

VENTILATION HEATING AND AIR-CONDITIONING SYSTEMS SHALL HAVE "MERV-6" FILTERS OR BETTER.

NOTE:
A COMPLETE CF-GR-LTG-01 FORM MUST BE PROVIDED TO THE CITY INSPECTOR PRIOR TO FINAL INSPECTION.

LIGHTING REQUIREMENTS:

1. KITCHEN: 50% OF INSTALLED WATTAGE MUST BE HIGH EFFICACY.
2. HIGH EFFICACY LIGHTING MUST BE SWITCHED SEPARATELY FROM LOW EFFICACY LIGHTING.
3. LIGHTING IN ADJACENT AREAS TO KITCHEN, INCLUDING DINING AND NOOK AREAS ARE CONSIDERED KITCHEN LIGHTING IF THEY ARE NOT SEPARATELY SWITCHED FROM KITCHEN LIGHTING.
4. ALL LIGHTS IN BATHROOMS SHALL BE HIGH EFFICACY LUMINAIRES OR COMPLY WITH EXCEPTIONS:
 - A. PROVIDE MANUAL - ON OCCUPANCY SENSOR AND MOTION SENSOR THAT COMPLIES WITH SEC. 119 (4) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LIGHTS TO BE TURNED AUTOMATICALLY OR OVERRIDE TO BE CONTINUOUSLY ON.
 - B. REGARDING ALL OTHER ROOMS, BEDROOMS, HALLWAYS, DINING, ETC. SHALL HAVE HIGH EFFICACY LUMINAIRES OR COMPLY WITH EXCEPTIONS: PROVIDE DIMMER SWITCH, PROVIDE A MANUAL ON OCCUPANCY SENSOR THAT COMPLIES WITH (CEC SEC. 119(4)) AND SHALL NOT HAVE A CONTROL THAT ALLOWS THE LIGHTING TO BE TURNED ON AUTOMATICALLY OR HAVE AN OVERRIDE ALLOWING THE LIGHTS TO BE ALWAYS ON. CLOSETS LESS THAN 70 SF. ARE EXEMPT FROM LIGHTING REQUIREMENTS.
 - C. OUTDOOR LIGHTING: ALL LIGHTS PERMANENTLY MOUNTED TO EXTERIOR SHALL BE HIGH EFFICACY OR COMPLY WITH A CONTROL WITH MOTION SENSOR WITH INTEGRAL PHOTO CONTROL. LIGHTING NOT ATTACHED TO BUILDINGS, LANDSCAPE LIGHTING, ARE EXEMPT FROM LIGHTING REQUIREMENTS.

WALL LEGEND



ELECTRICAL SYMBOLS	
DESCRIPTION	
[Symbol]	DUPLEX WALL OUTLET
[Symbol]	EXT. WEATHERPROOF DUPLEX OUTLET
[Symbol]	DRYER / OVEN S.C. 220V. PLUG - IN
[Symbol]	DUPLEX WALL - MTD. SWITCHED OUTLET
[Symbol]	SINGLE PLUG RECESSED FLOOR OUTLET
[Symbol]	DOOR BELL (CHIMES)
[Symbol]	3 LIGHT SWITCH
[Symbol]	3-WAY LIGHT SWITCH
[Symbol]	VACANCY SENSOR (INCANDESCENT LIGHTS)
[Symbol]	DIMMER LIGHT SWITCH W/LED
[Symbol]	3-WAY DIMMER SWITCH
[Symbol]	LOW-VOLTAGE DIMMER SWITCH
[Symbol]	OCCUPANCY SENSOR LIGHT SWITCH
[Symbol]	EXT. BOX FOR SURFACE LIGHT FIXTURE
[Symbol]	EXT. BOX FOR WALL MTD. LIGHT FIXTURE
[Symbol]	EXT. EXTERIOR FIXTURES MUST BE FLUORESC. OR PHOTO-MOTION CONTROLLED (FR. FAN RATED)
[Symbol]	ROOM-CEILING-FANS-W/ LIGHT (REQUIRED 2-SWITCHES)
[Symbol]	EXTERIOR FIXTURES MUST BE FLUORESC. OR PHOTO-MOTION SENSOR CONTROLLED
[Symbol]	CHANGELAMP RATED
[Symbol]	FAN RATED
[Symbol]	RECESSED LED LIGHT FIXTURE 4", 4", 3"
[Symbol]	FLUORESCENT FIXTURE
[Symbol]	SMOKE DETECTOR, HARD WIRE AC - DIC POWER, CONNECTED AND LOCATED IN EACH BEDROOM & HALL OUTSIDE, BOTTOM AND TOP OF STAIRCASE (PROPERTY OR PROVIDED BY SEC. R31.01 (2013 CBC))
[Symbol]	CARBON MONOXIDE DET. (SEC. R31.01 (2013 CBC))
[Symbol]	LED LIGHTS (UNDER-CABINET LIGHTING)
[Symbol]	VACANCY SENSOR FOR INCANDESCENT LIGHTS
[Symbol]	OCCUPANCY SENSOR
[Symbol]	PANASONIC CEILING EXHAUST FAN
[Symbol]	PANASONIC EXHAUST FAN W/ FLUOR. LIGHT
[Symbol]	PHONE (ALL CAT. 5 OR 6 POWER/IN ONLY)
[Symbol]	TELEVISION
[Symbol]	EXT. MAIN ELECTRICAL PANEL (150 AMP)
[Symbol]	SUB PANEL (100 AMP)
[Symbol]	EXT. MAIN ELECTRICAL PANEL (200 AMP)

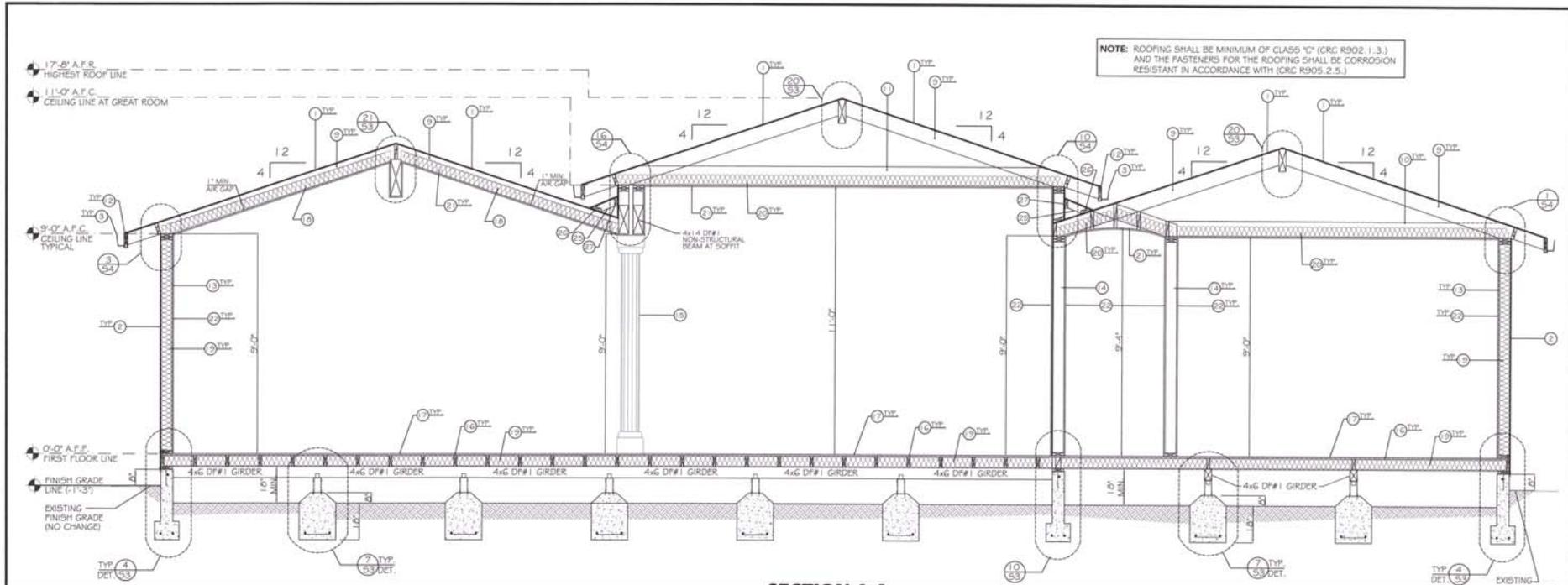
Revisions	By



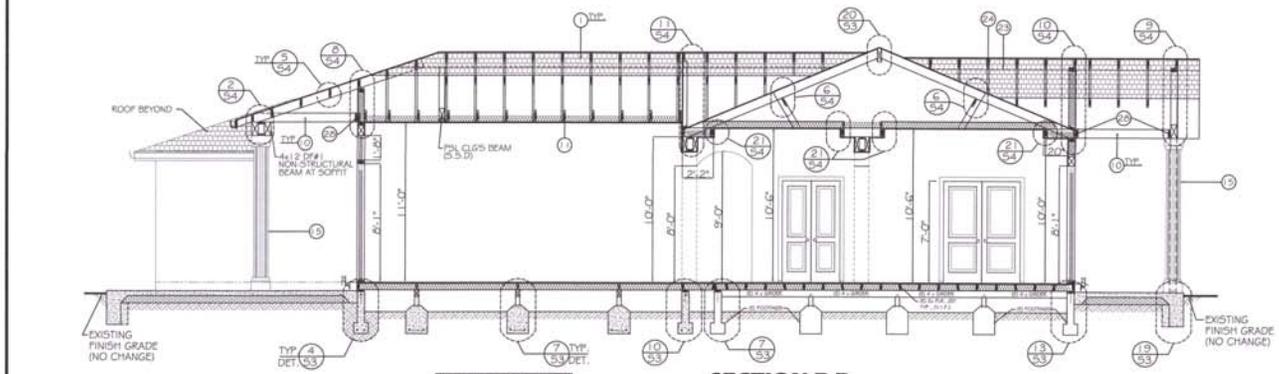
A REBUILT HOME FOR:
THE NIKTAS RESIDENCE
1145 SALERNO DRIVE
CAMPBELL, CA 95008

PROPOSED FIRST FLOOR ELECTRICAL PLAN

Date: 2-21-17
Scale: AS NOTED
Engineer: T.T.
Reviewed: P.S.
Job: N-2017-09



SECTION A-A
SCALE: 1/2" = 1'-0"



SECTION B-B
SCALE: 1/4" = 1'-0"

- SECTION NOTES:**
- 40 YEARS PRESIDENTIAL COMPOSITION ROOF (CBO 5414) OVER #30 FELT OVER 1/2" CDX PLYWOOD NAJ W84 @ 6" O.C. EDGES; 12" O.C. (FIELD)
 - 7/8" STUCCO WITH WIRE MESH OVER TWO LAYERS OF GRADE 10" PAPER OVER 1/2" CDX WALL PLYWOOD NAJ W84 @ 6" O.C. (END); 12" O.C. (FIELD)
 - 26 GAUGE GALVANIZED G.I. GUTTER (5" FACIA GUTTER) WITH DOWNSPOUTS TO FLASHING BLOCKS
 - 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE AND 2" ABOVE PAVED AREAS
 - 2x6 BULK WITH VENT @ 1 VENT/50 (3-2" Ø) HOLES
 - 2 x 12 PRIMED WOOD FASCIA, TYPICAL
 - 2 x 6 DF#2 RIDGE, TYPICAL
 - 2 x 6 DF#1 FURIN, TYPICAL
 - 2 x 6 DF#2 ROOF RAFTER @ 24" O.C., TYPICAL (U.N.O.)
 - 2 x 6 DF#2 CEILING JOIST @ 24" O.C., TYPICAL (U.N.O.)
 - 1.75" x 9.5" 2-ZE PSL CEILING JOIST @ 24" O.C.
 - OVERHANG - 18" PROJECTION WITH EXPOSED RAFTER TAILS
 - 2 x 6 DF#2 STUDS @ 16" O.C., (TYPICAL FOR ALL EXTERIOR STUD WALLS)
 - 2 x 4 DF#2 STUDS @ 16" O.C., (TYPICAL FOR ALL INTERIOR STUD WALLS)
 - 12" ROUND DECORATIVE COLUMN (COLOR - WHITE)
 - 2 x 6 DF#2 FLOOR JOIST @ 16" O.C., TYPICAL (U.N.O.)
 - 3/4" (7) # (5) SUB-FLOOR PLYWOOD (SUE) # NAJ W104 @ 6" O.C. EDGES AND 12" O.C. (FIELD)
- INSULATIONS**
- 5" RIGID INSULATION WITH 1" (MIN.) AIR GAP ON TOP.
 - 8-19 BATT INSULATION
 - 8-35 BATT INSULATION
- GYPSUM BOARD**
- 5/8" GYP. BRD., TYPICAL AT CEILINGS.
 - 1/2" GYP. BRD., TYPICAL AT WALLS.
- CALIF. FRAME AND CRICKETS**
- 2x10 DF#1 CALIF. FRAME RIDGE, TYPICAL
 - 2 x 4 DF#2 @ 24" O.C. (MIN.) TYPICAL
 - 2 x 4 DF#2 @ 24" O.C., CRICKET WITH 2-16d TORQ NAIL TO LEDGER # SLEEPER
 - CONTINUOUS 2x BEV. SLEEPER W/2-16d TO LOWER ROOF RAFTER
 - CONTINUOUS 2x BEV. LEDGER W/2-16d TO 2 x STUD WALLS AT EACH STUD
 - CONTINUOUS 2x6 DF#1 LEDGER W/3-16d TO 2 x STUD (AT EACH STUD) AND/OR CEILING BEAM

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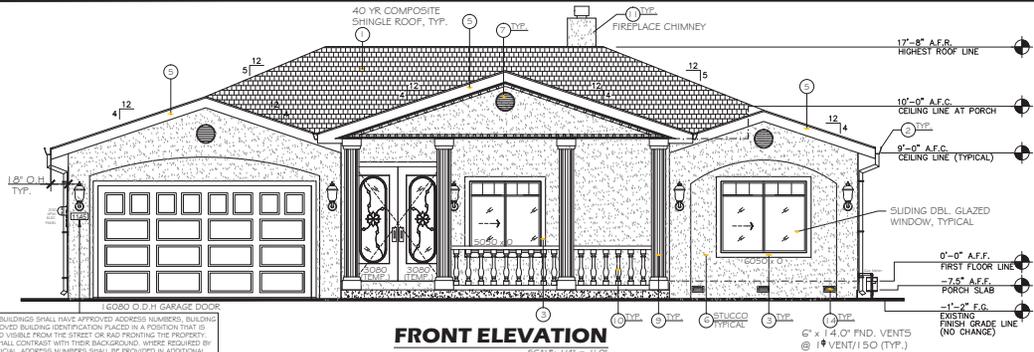
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ENGINEER'S SIGNATURE

A REBUILD HOME FOR:
THE NIKTAS RESIDENCE
 1145 SALERNO DRIVE
 CAMPBELL, CA 95008

SECTION A-A

Date:	2-21-17
Scale:	AS NOTED
Engineer:	T.T.
Reviewed:	P.S.
Job:	N-2017-09
Sheet:	A5

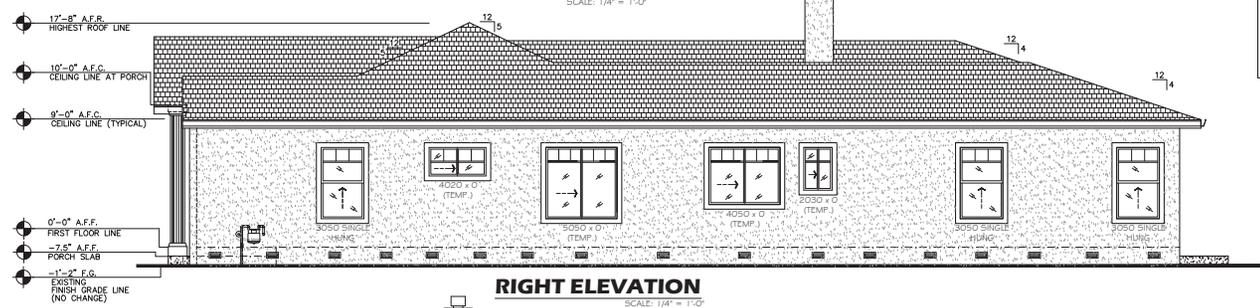


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. (CFC EMB. 505.1)



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ATTIC ACCESS:**
1. A MINIMUM 22" x 36". THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE OPENINGS.
- VENTILATION:**
1. ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN.
1. PORCH SHALL BE PROVIDED MINIMUM THREE 4"x1'6" SOFFIT VENTS AT THE CEILING. BORE FOUR 3/8" HOLES IN ROOF PLYWOOD UNDER THE CALIFORNIA ROOF TO PROVIDE VENTILATION TO PORCH SOFFIT VENTS.
- DOORS:**
1. INTERIOR AND EXTERIOR DOORS STYLE AND FINISH BY OWNER.
- WINDOWS AND GLAZING:**
1. WINDOWS SHALL BE DUAL PANE WITH VINYL FRAMES (MIN U VALUE OF 0.6) MANUFACTURER AND COLOR TO BE DETERMINED BY OWNER.
2. EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH HEIGHT AND SHALL HAVE A MIN. OPENABLE OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.
3. SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, BATHTUBS AND SHOWERS.
4. ALL EXTERNAL DOORS AND WINDOWS SHALL BE FINISHED WITH WEATHER RESISTANT COATING AND WEATHER STRIPPED.

ROOF AND ELEVATIONS PLAN NOTES:

- 40 YEARS PRESIDENTIAL COMPOSITION ROOF (CBO S4 14) OVER #30 FELT OVER 1/2" CDX PLYWOOD (NAIL W/84 @ 6" O.C. (EDGE), 12" O.C. (FIELD))
 - 26 GAUGE GALVANIZED G.I. GUTTER (5" FACIA GUTTER) WITH DOWNSPOUTS TO FLASH BLOCKS.
 - 1 x 4 WOOD TRIM AT ALL EXTERIOR WINDOWS AND DOORS WITH DRIP CAP.
 - TYPICAL MOISTOP E-2 SEAL FLASHING AROUND ALL WINDOW AND DOOR OPENINGS.
 - 2 x 1/2" PRIMED WOOD FASCIA WITH G.I. GUTTERS WITH DOWNSPOUTS TO FLASH BLOCKS.
 - 7/8" STUCCO WITH WIRE MESH OVER TWO LAYERS OF GRADE D PAPER AND HAS 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE AND 2" ABOVE PAVED AREAS.
 - 1 1/8" x 1 1/8" ROUND GABLE LOUVER VENT RECESSED.
 - OVERHANG - 18" PROJECTION W/ EXPOSED RAFTER TAILS.
 - 12" ROUND DECORATIVE COLUMN (COLOR - WHITE)
 - 36" HEIGHT AVALON BALUSTER RAILINGS (COLOR - WHITE)
- MISCELLANEOUS ITEMS:**
* FOR SPECIFIC OR ADDITIONAL INFORMATION, SEE FLOOR PLANS, SCHEDULES, AND ROOF PLAN.
- FLASHING / SHEET METAL WORK**
1. CHIMNEY: MUST EXTEND A MINIMUM OF 2'-0" ABOVE ANY PORTION OF A ROOF WITHIN 1'-0" RADIUS OF CHIMNEY. USE MFG. APPROVED SPARK ARRESTOR.
2. CHIMNEY CAP WITH MFG. APPROVED LISTED SPARK ARRESTOR (1/2" MESH SCREEN MAXIMUM)
- SCREENING / VENTING:**
1. LAWE VENTS: WHERE REQUIRED, PROVIDE MINIMUM 3" x 14 1/2" AT 8'-0" MAX. (EXCEPT KEEP VENT MINIMUM 3'-0" FROM OPENINGS IN WALL BELOW)
14. FOUNDATION VENTS: PROVIDE MINIMUM 1-1/2 S.F. PER 25 LINEAL FEET OF EXTERIOR WALL OR 1 S.F. FOR EACH 150 S.F. OF UNDERFLOOR AREA.

NOTE: ROOFING SHALL BE MINIMUM OF CLASS "C" (CRC R902.1.3.) AND THE FASTENERS FOR THE ROOFING SHALL BE CORROSION RESISTANT IN ACCORDANCE WITH (CRC R905.2.5.)

Revisions	By

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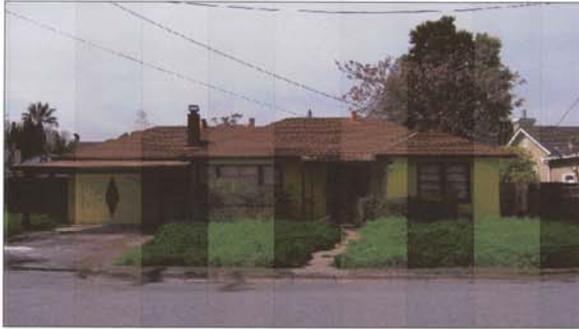


A REBUILT HOME FOR:
THE NIKTAS RESIDENCE
1145 SALERNO DRIVE
CAMPBELL, CA 95008

**FRONT, REAR
RIGHT AND LEFT
ELEVATIONS**

Date:	2-21-17
Scale:	AS NOTED
Engineer:	T.T.
Reviewed:	P.S.
Job:	N - 2017-09

Sheet: **A6**
of 2 Sheets



(E) FRONT VIEW
SCALE: N.T.S.



(E) NORTH PERSPECTIVE VIEW
SCALE: N.T.S.



(E) NORTH-WEST PERSPECTIVE VIEW
SCALE: N.T.S.



(E) NORTH-EAST (NEIGHBOR) PERSPECTIVE VIEW
SCALE: N.T.S.



(E) NORTH-EAST PERSPECTIVE VIEW
SCALE: N.T.S.



(E) SOUTH PERSPECTIVE VIEW
SCALE: N.T.S.



(E) SOUTH-WEST PERSPECTIVE VIEW
SCALE: N.T.S.



(E) SOUTH-EAST (NEIGHBOR) PERSPECTIVE VIEW
SCALE: N.T.S.

Revisions	By

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A REBUILT HOME FOR:
THE NIKTAS RESIDENCE
1145 SALERNO DRIVE
CAMPBELL, CA 95008

**(E) FRONT, NORTH,
SOUTH PERSPECTIVE
STREET VIEWS**

Date: 2-21-17
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Reviewed: P.S.
Job: N-2017-09
Sheet:

A6.2
of Sheets

