



**CITY OF CAMPBELL**  
**Community Development Department**

July 14, 2017

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **July 25, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Jimmy Chang for a Planned Development Permit (PLN2016-257) to allow for façade improvements, new mechanical entry gates, conversion of garports to carports (and adding new carports), enlargement of existing trash enclosures, conversion of private patio areas to common open space, alterations to existing staircases, installation of new lighting fixtures, and removal of ten protected trees, through an associated Tree Removal Permit (PLN2017-200), in an existing apartment community (d.b.a. The Parc at Pruneyard) located at **225 Union Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

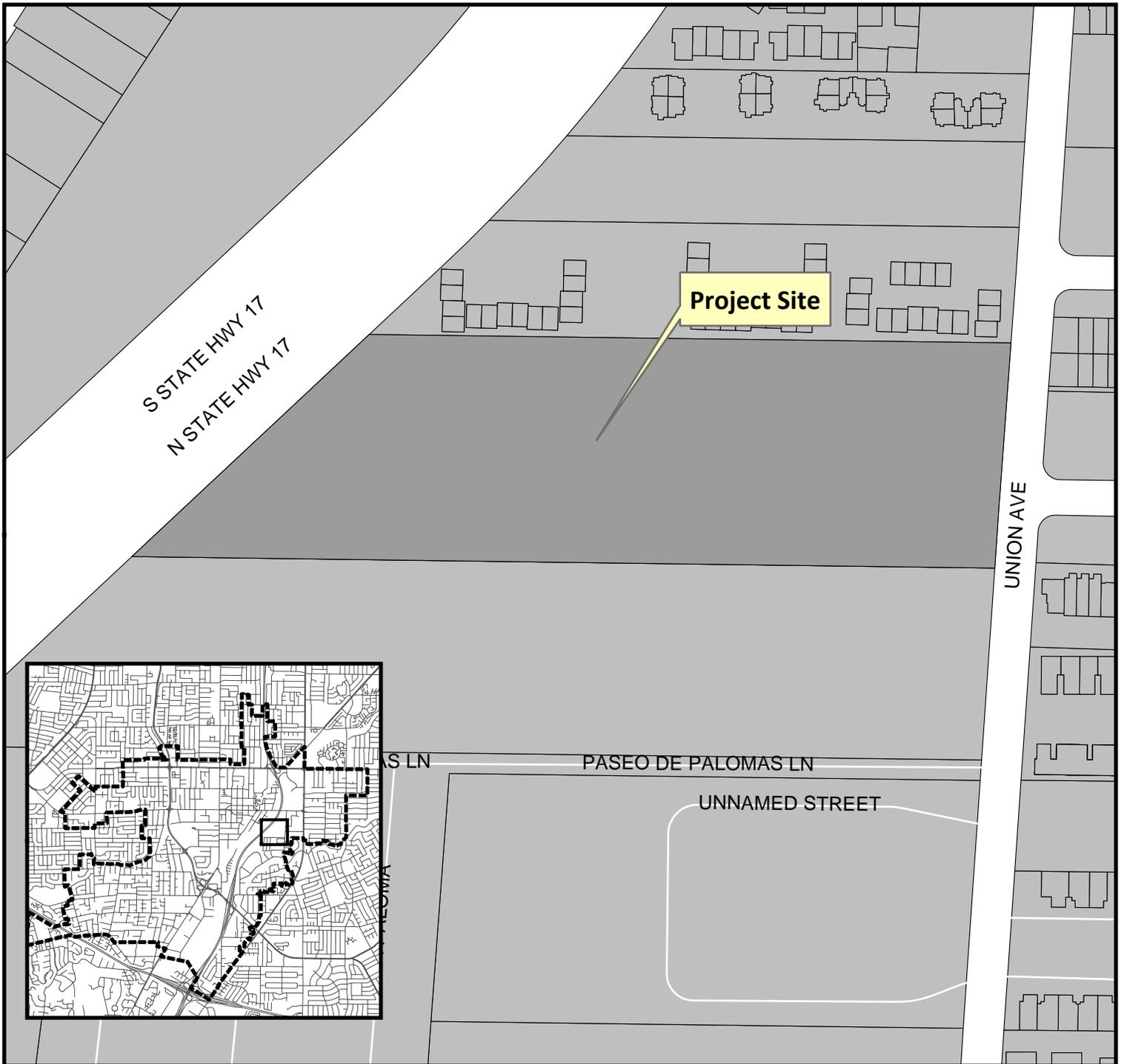
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **225 Union Avenue**

# Project Location Map

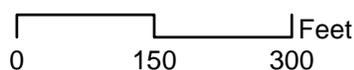


**Project Location:** 225 Union Avenue

**Application Type:** PD Permit and Tree Removal

**Planning File No.:** PLN2016-257 and 2017-200

**Description:** To allow for facade and site improvements, new mechanical entry gates, and removal of ten protected trees.



Community Development Department  
Planning Division

# THE PARC AT PRUNEYARD

## EXTERIOR IMPROVEMENTS: 225 UNION AVENUE, CAMPBELL, CA 95008



GENERAL SCOPE OF WORK	PROJECT DATA SUMMARY	DRAWING INDEX	PROJECT INFO																																																																																																																																																																																																																																																																																															
<p><b>BUILDING FACADE IMPROVEMENTS</b></p> <p>NEW FACADE IMPROVEMENTS AT BUILDINGS 1, 2, 3 &amp; 4. THE FACADE RENOVATION WILL BE APPLIED ONLY AT ELEVATIONS FACING THE MAIN DRIVEWAYS AND STREET WILL INCLUDE THE FOLLOWING:</p> <ul style="list-style-type: none"> <li>- REMOVE EXISTING WINDOWS AND REPLACE WITH NEW VINYL WINDOWS AT BUILDINGS 1 &amp; 3 ONLY.</li> <li>- REMOVE EXISTING LAP SIDING AT DESIGNATED ELEVATIONS AND APPLY HARDIE LAP SIDING, HARDIE AND REVEAL PANEL.</li> <li>- BUILD NEW GABLE ROOFS WITH STANDING SEAM METAL ROOF AS NOTED ON THE ELEVATIONS.</li> <li>- INSTALL NEW ROOF EQUIPMENT SCREENS AT BUILDINGS 1 AND 3</li> <li>- INSTALL NEW WOOD TRELLISES AT STREET SIDE ELEVATIONS.</li> </ul> <p><b>BUILDING COURTYARD IMPROVEMENTS AT BUILDINGS 1 AND 3</b></p> <ul style="list-style-type: none"> <li>- REMOVE THE EXISTING STAIRS AT DESIGNATED LOCATIONS.</li> <li>- REMOVE EXISTING MAINTENANCE STORAGE BUILDING AND BUILD A NEW ELEVATOR TOWER WITH BICYCLE STORAGE INCLUDED.</li> <li>- REMOVE EXISTING WALKWAYS AT DESIGNATED LOCATIONS.</li> <li>- REMOVE UPPER WALKWAY TO ACCOMMODATE NEW ELEVATOR.</li> </ul> <p><b>SITE IMPROVEMENTS</b></p> <ul style="list-style-type: none"> <li>- LANDSCAPE IMPROVEMENTS THROUGHOUT THE SITE.</li> <li>- RECONFIGURE PARKING AT DESIGNATED LOCATIONS AND ADD PARKING STALL AS NOTED ON SITE DATA SHEET A0.1. REMOVE AND ADDITION OF CARPORTS INCLUDED IN RECONFIGURATION.</li> <li>- MODIFY AND ENLARGE EXISTING TRASH ENCLOSURES.</li> </ul> <p><b>APPLICABLE CODES</b></p> <ul style="list-style-type: none"> <li>• 2016 CALIFORNIA BUILDING CODE</li> <li>• 2016 CALIFORNIA PLUMBING CODE</li> <li>• 2016 CALIFORNIA ELECTRICAL CODE</li> <li>• 2016 CALIFORNIA FIRE CODE</li> <li>• 2016 CALIFORNIA TITLE 24 ENERGY REGULATIONS</li> <li>• ALL APPLICABLE LOCAL ORDINANCES &amp; MUNICIPAL CODES</li> </ul> <p><b>ABBREVIATION LIST</b></p> <table border="0"> <tr> <td><b>SYMBOLS</b></td> <td>COL COLUMN</td> <td>FOC FACE OF CONCRETE</td> <td>LAW LAUNDRY</td> <td>RAG RETURN AIR GRILLE</td> <td>WD WOOD</td> </tr> <tr> <td>1 ANGLE</td> <td>CONC CONCRETE</td> <td>FGM FACE OF GYPSUM BOARD</td> <td>LAB LB # #</td> <td>RFG REFRIGERATOR</td> <td>WB W/FRY BOARD</td> </tr> <tr> <td>2 AND</td> <td>CONT CONSTRUCTION</td> <td>FSG FACE OF STEEL</td> <td>LN LN</td> <td>REG REGISTER</td> <td>WT WEIGHT</td> </tr> <tr> <td>3 CENTER LINE</td> <td>CONT CONTINUOUS</td> <td>FRM FRAME</td> <td>LV LV RM</td> <td>REQD REQUIRED</td> <td>W/WF WELDED WIRE FABRIC</td> </tr> <tr> <td>4 CENTER LINE</td> <td>CTR CENTER</td> <td>FT FT</td> <td>LW LW</td> <td>REQD REQUIRED</td> <td>YD YARD</td> </tr> <tr> <td>5 DIAMETER OR ROUND</td> <td>DRY DRYER</td> <td>FTS FOOTING</td> <td>HTL HETRAL</td> <td>REF REF</td> <td></td> </tr> <tr> <td>6 FINISH</td> <td>D DBL DOUBLE</td> <td>GA GAUSE</td> <td>MEH MEH</td> <td>S.C. SOLID CORE</td> <td></td> </tr> <tr> <td>7 NUMBER SQUARE FOOT</td> <td>DF DF</td> <td>DOUGL FR OR DRINKING FOUNTAIN</td> <td>MEB MEBSHANE</td> <td>SCN SCANTLE</td> <td>AAH AMERICAN CONCRETE INSTITUTE</td> </tr> <tr> <td>8 ANCHOR BOLT</td> <td>DAG DAG</td> <td>G.D. GARAGE DISPOSAL</td> <td>MFR MANUFACTURER</td> <td>S.G.D. SLIDING GLASS DOOR</td> <td>IAA THE AMERICAN INSTITUTE OF ARCHITECTS</td> </tr> <tr> <td>9 ABOVE</td> <td>DN DN</td> <td>DRIP DRIP</td> <td>MN MNUM</td> <td>SHT SHEET</td> <td>ANSI AMERICAN INSTITUTE OF STEEL CONSTRUCTION</td> </tr> <tr> <td>10 AGGREGATE CONCRETE PAVING</td> <td>DRM DR</td> <td>DINNG ROOM</td> <td>MTR MTR BDM</td> <td>SPE SPECIFICATION</td> <td>ASTM AMERICAN SOCIETY FOR TESTING &amp; MATERIALS</td> </tr> <tr> <td>11 AIR CONDITIONING</td> <td>DN DN</td> <td>DOWN</td> <td>MTL METAL</td> <td>SPEC SPECIFICATION</td> <td>CA CALIFORNIA ADMINISTRATIVE CODE</td> </tr> <tr> <td>12 AREA DRAIN</td> <td>DRS DR</td> <td>DOWNROUT</td> <td>NTL NOT IN CONTRACT</td> <td>STB STRUCTURE OR STRUCTURAL</td> <td>CSO CALIFORNIA BUILDING CODE</td> </tr> <tr> <td>13 ADDRESS</td> <td>DS DS</td> <td>DRAINAGE</td> <td>N/S NOT TO SCALE</td> <td>STR STORAGE</td> <td>CEC CALIFORNIA ELECTRICAL CODE</td> </tr> <tr> <td>14 ACU ACQUANT</td> <td>DS DS</td> <td>DRAINAGE</td> <td>NTS NOT TO SCALE</td> <td>STR STRUCTURE OR STRUCTURAL</td> <td>CMC CALIFORNIA MECHANICAL CODE</td> </tr> <tr> <td>15 ABOVE FINISH FLOOR</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OV OVER</td> <td>STR STRUCTURE OR STRUCTURAL</td> <td>CPC CALIFORNIA PLUMBING CODE</td> </tr> <tr> <td>16 AT</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OP OPPOSITE</td> <td>SUBR SUB</td> <td>CA CALIFORNIA MECHANICAL CODE</td> </tr> <tr> <td>17 ALUM ALUMINUM</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>CCS CONSTRUCTION SPECIFICATION INSTITUTE</td> </tr> <tr> <td>18 ANGLE</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>ICC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>19 ANGLE</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL FIRE PROTECTION ASSOCIATION</td> </tr> <tr> <td>20 BAR ROOM</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>21 BOARD</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>22 BED ROOM</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>23 BLDG BUILDING</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>24 BLOC BLOCING</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>25 BK BACK</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>26 BOT BOTTOM</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>27 CAB CABINET</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>28 CEN CENTER</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>29 CLS CEILING</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>30 CLO CLOSET</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> <tr> <td>31 CLR CLEAR</td> <td>DS DS</td> <td>DRAINAGE</td> <td>OPP OPPOSITE</td> <td>SQ SQ FT</td> <td>IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS</td> </tr> </table>	<b>SYMBOLS</b>	COL COLUMN	FOC FACE OF CONCRETE	LAW LAUNDRY	RAG RETURN AIR GRILLE	WD WOOD	1 ANGLE	CONC CONCRETE	FGM FACE OF GYPSUM BOARD	LAB LB # #	RFG REFRIGERATOR	WB W/FRY BOARD	2 AND	CONT CONSTRUCTION	FSG FACE OF STEEL	LN LN	REG REGISTER	WT WEIGHT	3 CENTER LINE	CONT CONTINUOUS	FRM FRAME	LV LV RM	REQD REQUIRED	W/WF WELDED WIRE FABRIC	4 CENTER LINE	CTR CENTER	FT FT	LW LW	REQD REQUIRED	YD YARD	5 DIAMETER OR ROUND	DRY DRYER	FTS FOOTING	HTL HETRAL	REF REF		6 FINISH	D DBL DOUBLE	GA GAUSE	MEH MEH	S.C. 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</table> <p><b>UNIT COUNT:</b></p> <table border="0"> <tr> <td>1 BEDROOM UNITS (704 SF):</td> <td>212</td> </tr> <tr> <td>2 BEDROOM UNITS (965 SF):</td> <td>40</td> </tr> <tr> <td>TOTAL:</td> <td>252 (UNCHANGED)</td> </tr> </table> <p><b>SITE DATA:</b></p> <table border="0"> <tr> <td>TYPE:</td> <td>EXISTING</td> <td>PROPOSED</td> </tr> <tr> <td>LOT COVERAGE:</td> <td>37%</td> <td>38%</td> </tr> <tr> <td>FAR:</td> <td>54</td> <td>54</td> </tr> <tr> <td>DENSITY CALCULATION:</td> <td colspan="2">25 DWELLING UNITS/ACRE (NO CHANGE)</td> </tr> </table> <p><b>PARKING COUNT:</b></p> <p>REQUIRED:</p> <table border="0"> <tr> <td>1 BEDROOM (5 ADDED FOR GUEST STALL):</td> <td>212 X 2.5 = 530</td> </tr> <tr> <td>2 BEDROOM (5 ADDED FOR GUEST STALL):</td> <td>40 X 3 = 120</td> </tr> <tr> <td>TOTAL:</td> <td>650 (504 COVERED)</td> </tr> </table> <p>PROVIDED PARKING COUNT BREAKDOWN:</p> <table border="0"> <tr> <td>PROVIDED</td> <td>EXISTING</td> <td>REMOVED</td> <td>ADDED</td> <td>PROPOSED</td> </tr> <tr> <td>COVERED:</td> <td>221</td> <td>6</td> <td>7</td> <td>222</td> </tr> <tr> <td>UNCOVERED:</td> <td>170</td> <td>6</td> <td>16</td> <td>180</td> </tr> <tr> <td>COMPACT:</td> <td>12</td> <td></td> <td></td> <td></td> </tr> <tr> <td>LEASING:</td> <td>4</td> <td>4 (RELOCATED)</td> <td></td> <td>4</td> </tr> <tr> <td>ADA:</td> <td>1</td> <td>1 (RELOCATED)</td> <td></td> <td>1</td> </tr> <tr> <td>TOTAL:</td> <td>408</td> <td></td> <td></td> <td>419</td> </tr> </table> <p>PROVIDED BICYCLE PARKING: 68 (17 SPACES IN BIKE STORAGE AT EACH BUILDING)</p> <p><b>CARPORIT BREAKDOWN:</b></p> <table border="0"> <tr> <td>CARPORITS:</td> <td>7</td> <td>1</td> <td>18</td> <td>25</td> </tr> <tr> <td></td> <td></td> <td></td> <td>(1 NEW 17 GARAGE CARPORIT CONVERSIONS)</td> <td></td> </tr> <tr> <td>GARAGE CARPORITS:</td> <td>17</td> <td>17 CONVERTED TO CARPORITS</td> <td>0</td> <td>0</td> </tr> <tr> <td>TOTAL:</td> <td>24</td> <td></td> <td></td> <td></td> </tr> </table> <p>REFER TO SHEET A0.1 FOR SITE 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PLAN</li> <li>A.2.3 BUILDING 1 PROPOSED PLAN</li> <li>A.2.4 BUILDING 2 PROPOSED PLAN</li> <li>A.2.5 BUILDING 3 PROPOSED PLAN</li> <li>A.2.6 BUILDING 4 PROPOSED PLAN</li> <li>A.3.0 ROOF PLAN</li> <li>A.4.0 EXISTING EXTERIOR ELEVATIONS</li> <li>A.4.1 EXISTING EXTERIOR ELEVATIONS</li> <li>A.4.2 PROPOSED EXTERIOR ELEVATIONS</li> <li>A.4.3 PROPOSED EXTERIOR ELEVATIONS</li> <li>A.4.4 PROPOSED EXTERIOR ELEVATIONS</li> <li>A.4.5 INTERIOR COURTYARD ELEVATIONS</li> <li>A.4.5a INTERIOR COURTYARD ELEVATIONS</li> <li>A.4.6 INTERIOR COURTYARD ELEVATIONS</li> <li>A.4.7 ELEVATOR &amp; STORAGE PLANS</li> <li>A.4.8 ELEVATOR &amp; STORAGE PLANS</li> <li>A.4.9 ELEVATOR ELEVATIONS</li> <li>A.4.10 ELEVATOR ELEVATIONS</li> <li>A.5.0 TRASH ENCLOSURE DETAILS</li> </ul> <p><b>LANDSCAPE:</b></p> <ul style="list-style-type: none"> <li>L.1.1 LANDSCAPE PLAN</li> <li>L.1.2 LANDSCAPE PLAN</li> <li>L.1.3 LANDSCAPE PLAN</li> <li>L.2.1 MWLEO PLAN</li> <li>L.2.2 MWLEO PLAN</li> <li>L.2.3 MWLEO PLAN</li> <li>L.2.4 IRRIGATION DETAILS</li> <li>L.3.0 PLANTING LEGEND NOTES</li> <li>L.3.1 PLANTING PLAN</li> <li>L.3.2 PLANTING PLAN</li> <li>L.3.3 PLANTING PLAN</li> <li>L.3.4 PLANTING DETAILS</li> <li>L.4.1 DETAILS</li> </ul> <p><b>CIVIL:</b></p> <ul style="list-style-type: none"> <li>C.1.0 PRELIMINARY SITE PLAN</li> <li>C.2.0 CONCEPTUAL GRADING AND DRAINAGE PLAN</li> <li>C.3.0 CONCEPTUAL GRADING AND DRAINAGE PLAN</li> <li>C.3.1 CONCEPTUAL GRADING AND DRAINAGE PLAN</li> <li>C.3.2 CONCEPTUAL GRADING AND DRAINAGE PLAN</li> <li>C.3.3 CONCEPTUAL GRADING AND DRAINAGE PLAN</li> </ul>	<p><b>OWNER:</b></p> <p>LAND &amp; HOUSES USA, INC. CONTACT: TIM THITTHAYANONT, P.E. 17485 MONTEREY ROAD, SUITE 308 MORGAN HILL, CA 95037 TEL: 714.655.4586</p> <p><b>ARCHITECT:</b></p> <p>R&amp;R ARCHITECTURE, INC. ANDREW RAYMUNDO, ARCHITECT CONTACT: OMAR HERNANDEZ 915 TERMINAL WAY, SUITE C SAN CARLOS, CA 94070 TEL: 650.802.6665</p> <p><b>PROJECT MANAGEMENT:</b></p> <p>STANTEC ARCHITECTURE CONTACT: JAMES SHIVELY 100 CALIFORNIA STREET SAN FRANCISCO, CA 94111 TEL: 415.281.5908</p> <p><b>LANDSCAPE ARCHITECT:</b></p> <p>KIKUCHI &amp; KANEL DESIGN GROUP CONTACT: NATHAN ROSE 730 MILL STREET HALF MOON BAY, CA 94019 TEL: 650.726.7100</p> <p><b>CIVIL ENGINEER:</b></p> <p>BKF ENGINEERS SURVEYORS PLANNERS CONTACT: JONATHAN TANG 255 SHORELINE DR., SUITE 200 REDWOOD CITY, CA 94065 TEL: 650.482.6306</p>
<b>SYMBOLS</b>	COL COLUMN	FOC FACE OF CONCRETE	LAW LAUNDRY	RAG RETURN AIR GRILLE	WD WOOD																																																																																																																																																																																																																																																																																													
1 ANGLE	CONC CONCRETE	FGM FACE OF GYPSUM BOARD	LAB LB # #	RFG REFRIGERATOR	WB W/FRY BOARD																																																																																																																																																																																																																																																																																													
2 AND	CONT CONSTRUCTION	FSG FACE OF STEEL	LN LN	REG REGISTER	WT WEIGHT																																																																																																																																																																																																																																																																																													
3 CENTER LINE	CONT CONTINUOUS	FRM FRAME	LV LV RM	REQD REQUIRED	W/WF WELDED WIRE FABRIC																																																																																																																																																																																																																																																																																													
4 CENTER LINE	CTR CENTER	FT FT	LW LW	REQD REQUIRED	YD YARD																																																																																																																																																																																																																																																																																													
5 DIAMETER OR ROUND	DRY DRYER	FTS FOOTING	HTL HETRAL	REF REF																																																																																																																																																																																																																																																																																														
6 FINISH	D DBL DOUBLE	GA GAUSE	MEH MEH	S.C. SOLID CORE																																																																																																																																																																																																																																																																																														
7 NUMBER SQUARE FOOT	DF DF	DOUGL FR OR DRINKING FOUNTAIN	MEB MEBSHANE	SCN SCANTLE	AAH AMERICAN CONCRETE INSTITUTE																																																																																																																																																																																																																																																																																													
8 ANCHOR BOLT	DAG DAG	G.D. GARAGE DISPOSAL	MFR MANUFACTURER	S.G.D. SLIDING GLASS DOOR	IAA THE AMERICAN INSTITUTE OF ARCHITECTS																																																																																																																																																																																																																																																																																													
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30 CLO CLOSET	DS DS	DRAINAGE	OPP OPPOSITE	SQ SQ FT	IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS																																																																																																																																																																																																																																																																																													
31 CLR CLEAR	DS DS	DRAINAGE	OPP OPPOSITE	SQ SQ FT	IFC INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS																																																																																																																																																																																																																																																																																													
LOCATION:	REQUIRED:	EXISTING:	PROPOSED:																																																																																																																																																																																																																																																																																															
FRONT AND STREET:	20 FEET	11'-6" FEET																																																																																																																																																																																																																																																																																																
SIDE:	5 FEET	6 FEET	NO CHANGE																																																																																																																																																																																																																																																																																															
REAR:	5 FEET	5 FEET	NO CHANGE																																																																																																																																																																																																																																																																																															
1 BEDROOM UNITS (704 SF):	212																																																																																																																																																																																																																																																																																																	
2 BEDROOM UNITS (965 SF):	40																																																																																																																																																																																																																																																																																																	
TOTAL:	252 (UNCHANGED)																																																																																																																																																																																																																																																																																																	
TYPE:	EXISTING	PROPOSED																																																																																																																																																																																																																																																																																																
LOT COVERAGE:	37%	38%																																																																																																																																																																																																																																																																																																
FAR:	54	54																																																																																																																																																																																																																																																																																																
DENSITY CALCULATION:	25 DWELLING UNITS/ACRE (NO CHANGE)																																																																																																																																																																																																																																																																																																	
1 BEDROOM (5 ADDED FOR GUEST STALL):	212 X 2.5 = 530																																																																																																																																																																																																																																																																																																	
2 BEDROOM (5 ADDED FOR GUEST STALL):	40 X 3 = 120																																																																																																																																																																																																																																																																																																	
TOTAL:	650 (504 COVERED)																																																																																																																																																																																																																																																																																																	
PROVIDED	EXISTING	REMOVED	ADDED	PROPOSED																																																																																																																																																																																																																																																																																														
COVERED:	221	6	7	222																																																																																																																																																																																																																																																																																														
UNCOVERED:	170	6	16	180																																																																																																																																																																																																																																																																																														
COMPACT:	12																																																																																																																																																																																																																																																																																																	
LEASING:	4	4 (RELOCATED)		4																																																																																																																																																																																																																																																																																														
ADA:	1	1 (RELOCATED)		1																																																																																																																																																																																																																																																																																														
TOTAL:	408			419																																																																																																																																																																																																																																																																																														
CARPORITS:	7	1	18	25																																																																																																																																																																																																																																																																																														
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TOTAL:	24																																																																																																																																																																																																																																																																																																	
		<p><b>SYMBOLS</b></p> <p>EXTERIOR ELEVATIONS</p> <p>ELEVATION NUMBER</p> <p>SHEET NUMBER</p> <p>ARCHITECTURAL DETAILS</p> <p>DETAIL NUMBER</p> <p>SHEET NUMBER</p> <p>LEGEND NOTES</p> <p>NOTE NUMBER</p>	<p><b>SYMBOLS</b></p> <p>EXTERIOR ELEVATIONS</p> <p>ELEVATION NUMBER</p> <p>SHEET NUMBER</p> <p>ARCHITECTURAL DETAILS</p> <p>DETAIL NUMBER</p> <p>SHEET NUMBER</p> <p>LEGEND NOTES</p> <p>NOTE NUMBER</p>																																																																																																																																																																																																																																																																																															

EXTERIOR IMPROVEMENTS:

PARC AT PRUNEYARD

225 UNION AVENUE  
CAMPBELL, CA 95008

REVISIONS	
1	11.25.16
2	03.31.17
3	RESPONSE TO CITY COMMENTS 03.03.17

TITLE SHEET

JOB:	1551	DRAWN:	KR/PI
		SHEET NO.:	<b>A0.0</b>

**FLOOR AREA RATIO: (MAX =.55)**

(ALL SQUARE FOOTAGE ARE APPROXIMATE)

**EXISTING FLOOR AREA:**

BLDG 1 (79 UNITS):	58,939 S.F.
1ST FL. (39 UNITS):	29,888 S.F.
2ND FL. (40 UNITS):	29,051 S.F.
BLDG 2 (47 UNITS):	38,451 S.F.
1ST FL. (23 UNITS):	19,393 S.F.
2ND FL. (24 UNITS):	19,058 S.F.
BLDG 3 (79 UNITS):	58,939 S.F.
1ST FL. (39 UNITS):	29,888 S.F.
2ND FL. (40 UNITS):	29,051 S.F.
BLDG 4 (47 UNITS):	38,451 S.F.
1ST FL. (23 UNITS):	19,393 S.F.
2ND FL. (24 UNITS):	19,058 S.F.
RECYCLE BLDG:	6,175 S.F.
1ST FL.:	3,422 S.F.
2ND FL.:	2,753 S.F.
<b>TOTAL: (252 UNITS)</b>	<b>200,955 S.F.</b>

EXISTING F.A.R. = 0.54  
200,955 S.F./370,427 S.F. = 0.54

**PROPOSED FLOOR AREA:**

BLDG 1	REMOVE (E) STORAGE	58,939 S.F.
	NEW ENTRY	-376 S.F.
	NEW ELEVATOR	+24 S.F.
	<b>NEW BLDG 1 TOTAL</b>	<b>58,960 S.F.</b>
BLDG 2	REMOVE (E) STORAGE	38,451 S.F.
	NEW ENTRY	-376 S.F.
	NEW ELEVATOR	+445 S.F.
	<b>NEW BLDG 2 TOTAL</b>	<b>38,620 S.F.</b>
BLDG 3	REMOVE (E) STORAGE	58,939 S.F.
	NEW ENTRY	-376 S.F.
	NEW ELEVATOR	+227 S.F.
	<b>NEW BLDG 3 TOTAL</b>	<b>59,173 S.F.</b>
BLDG 4	REMOVE (E) STORAGE	38,451 S.F.
	NEW ENTRY	-376 S.F.
	NEW ELEVATOR	+545 S.F.
	<b>NEW BLDG 4 TOTAL</b>	<b>38,620 S.F.</b>
RECYCLE (NO CHANGE)		6,175 S.F.
BLDG 1		59,960 S.F.
BLDG 2		38,620 S.F.
BLDG 3		59,173 S.F.
BLDG 4		38,620 S.F.
RECYCLE		6,175 S.F.
<b>NEW TOTAL</b>		<b>202,548 S.F.</b>

PROPOSED F.A.R. = .54  
202,548 S.F./370,427 S.F. = .54

**LOT COVERAGE: (MAX = 40% OF SITE)**

(ALL SQUARE FOOTAGE ARE APPROXIMATE)

**EXISTING LOT COVERAGE:**

LANDSCAPE AREAS	67,169 S.F.
PAVED AREAS	164,669 S.F.
<b>TOTAL</b>	<b>231,838 S.F.</b>
BLDG 1	29,888 S.F.
BLDG 2	19,393 S.F.
BLDG 3	29,888 S.F.
BLDG 4	19,393 S.F.
RECYCLE	3,422 S.F.
<b>SUBTOTAL</b>	<b>102,041 S.F.</b>
BUILDINGS (5)	102,041 S.F.
CARPPTS (24)	36,342 S.F.
TRASH ENCLOSURES (2)	606 S.F.
<b>TOTAL</b>	<b>138,989 S.F.</b>

EXISTING LOT COVERAGE = 37%  
138,989 S.F./370,427 S.F. = .37

**PROPOSED LOT COVERAGE:**

LANDSCAPE AREAS	77,701 S.F.
PAVED AREAS	153,144 S.F.
<b>TOTAL</b>	<b>230,845 S.F.</b>
BLDG 1	29,888 S.F.
REMOVE (E) STORAGE	-376 S.F.
REMOVE (E) ENTRY COLUMNS	-12 S.F.
NEW ENTRY	+24 S.F.
NEW ELEVATOR	+373 S.F.
<b>NEW BLDG 1 TOTAL</b>	<b>29,897 S.F.</b>
BLDG 2	19,393 S.F.
REMOVE (E) STORAGE	-376 S.F.
NEW ELEVATOR	+357 S.F.
<b>NEW BLDG 2 TOTAL</b>	<b>19,374 S.F.</b>
BLDG 3	29,888 S.F.
REMOVE (E) STORAGE	-376 S.F.
REMOVE (E) ENTRY COLUMNS	-12 S.F.
NEW ENTRY	+237 S.F.
NEW ELEVATOR	+373 S.F.
<b>NEW BLDG 3 TOTAL</b>	<b>30,110 S.F.</b>
BLDG 4	19,393 S.F.
REMOVE (E) STORAGE	-376 S.F.
NEW ELEVATOR	+357 S.F.
<b>NEW BLDG 4 TOTAL</b>	<b>19,374 S.F.</b>
RECYCLE (NO CHANGE)	3,479 S.F.
CARPPTS	35,942 S.F.
REMOVE (E) CARPPTS	-918 S.F.
NEW CARPPTS	+1,120 S.F.
<b>NEW CARPORT TOTAL</b>	<b>36,244 S.F.</b>
TRASH ENCLOSURES (2)	606 S.F.
(E) ENCLOSURES	606 S.F.
MODIFIED ENCLOSURES	+1,104 S.F.
<b>TRASH ENCLOSURE TOTAL</b>	<b>498 S.F.</b>
BLDG 1	29,897 S.F.
BLDG 2	19,374 S.F.
BLDG 3	30,110 S.F.
BLDG 4	19,374 S.F.
RECYCLE	3,479 S.F.
CARPPORT	36,244 S.F.
TRASH ENCLOSURE	1,104 S.F.
<b>NEW TOTAL</b>	<b>139,582 S.F.</b>

PROPOSED LOT COVERAGE = 38%  
139,582 S.F./370,427 S.F. = .38

**DENSITY CALCULATION: (ALLOWABLE: 21-27 DWELLING UNITS/ACRE)**

**EXISTING UNIT COUNT:**

BLDG 1 = 79 UNITS	1 BED X 1 BATH (709 S.F.) = 75
	2 BED X 1 BATH (966 S.F.) = 4
BLDG 2 = 47 UNITS	1 BED X 1 BATH (709 S.F.) = 31
	2 BED X 1 BATH (966 S.F.) = 16
BLDG 3 = 79 UNITS	1 BED X 1 BATH (709 S.F.) = 75
	2 BED X 1 BATH (966 S.F.) = 4
BLDG 4 = 47 UNITS	1 BED X 1 BATH (709 S.F.) = 31
	2 BED X 1 BATH (966 S.F.) = 16
<b>TOTAL = 143 UNITS</b>	

EXISTING DENSITY = 28.8 DWELLING UNITS/ACRE  
252 UNITS/ 8.73 ACRE = 28.8

**PROPOSED UNIT COUNT: (NO CHANGE)**

BLDG 1 = 79 UNITS	1 BED X 1 BATH (709 S.F.) = 75
	2 BED X 2 BATH (966 S.F.) = 4
BLDG 2 = 47 UNITS	1 BED X 1 BATH (709 S.F.) = 31
	2 BED X 2 BATH (966 S.F.) = 16
BLDG 3 = 79 UNITS	1 BED X 1 BATH (709 S.F.) = 75
	2 BED X 2 BATH (966 S.F.) = 4
BLDG 4 = 47 UNITS	1 BED X 1 BATH (709 S.F.) = 31
	2 BED X 2 BATH (966 S.F.) = 16
<b>TOTAL = 143 UNITS</b>	

PROPOSED DENSITY = 28.8 DWELLING UNITS/ACRE  
252 UNITS/ 8.73 ACRE = 28.8

**PARKING COUNT AND RECONFIGURATION:**

**PARKING COUNT BREAKDOWN:**

PROVIDED	EXISTING	REMOVED	ADDED	PROPOSED
COVERED:	221	6	7	222
UNCOVERED:	170	6	16	180
COMPACT:	12			12
LEASING:	4	4 (RELOCATED)		4
ADA:	1	1 (RELOCATED)		1
<b>TOTAL:</b>	<b>408</b>			<b>419</b>

**CARPOT COUNT BREAKDOWN:**

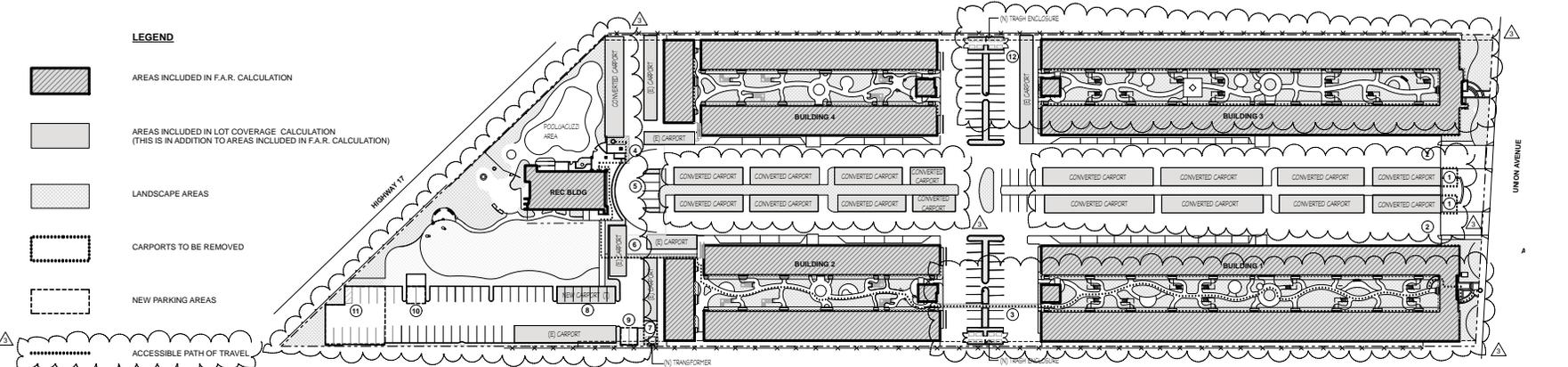
	EXISTING	REMOVED	ADDED	PROPOSED
CARPPTS:	7	0	18 (1 NEW, 17 GARAGE CARPORT CONVERSIONS)	25
GARAGE CARPPTS:	17	17 *CONVERTED TO CARPPTS	0	0
<b>TOTAL</b>	<b>24</b>			

\* GARPORT TO CARPORT CONVERSION OCCURRED UNDER PREVIOUS OWNERSHIP

**PARKING KEYNOTE:**

- ① REDUCE EXISTING COVERED PARKING BY (1) STALL
- ② REMOVE (1) UNCOVERED PARALLEL STALL
- ③ REMOVE (2) UNCOVERED STALLS TO ACCOMMODATE NEW ACCESSIBLE PARKING
- ④ NEW VAN ACCESSIBLE STALL
- ⑤ (4) RELOCATED UNCOVERED LEASING OFFICE STALLS
- ⑥ REMOVE (1) COVERED STALL TO ACCOMMODATE NEW ACCESSIBLE PARKING
- ⑦ REDUCE CARPORT BY (2) STALLS (1) OTHER STALL TO BE MODIFIED TO BE UNCOVERED TO ACCOMMODATE NEW TRANSFORMER
- ⑧ NEW (7) STALL CARPORT
- ⑨ (2) NEW UNCOVERED STALLS
- ⑩ (2) NEW UNCOVERED STALLS
- ⑪ (1) NEW UNCOVERED STALLS
- ⑫ REMOVE (2) STALLS TO ACCOMMODATE MODIFIED EXISTING TRASH ENCLOSURE

**SITE REFERENCE FOR SITE DATA BREAKDOWN: NTS**



EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
CAMPBELL, CA 95008

REVISIONS
1. 11.25.16
2. RESPONSE TO CITY COMMENTS 03.03.17

**SITE DATA**

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1551	KBJ/PT
	SHEET NO.

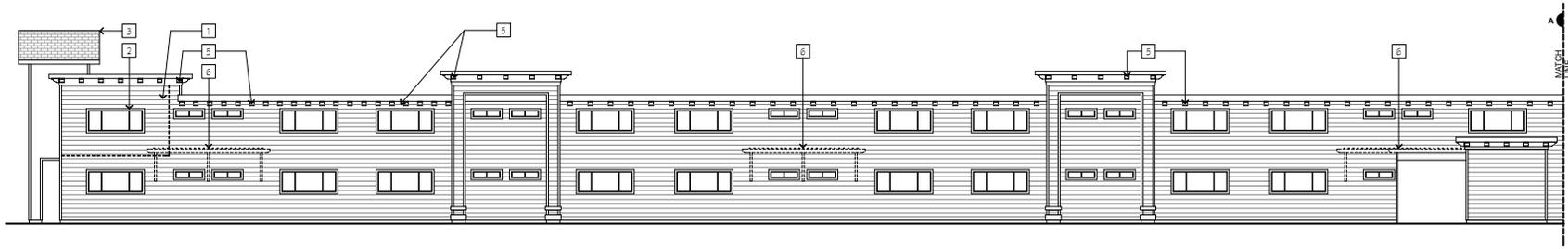


**ELEVATION KEYNOTES**

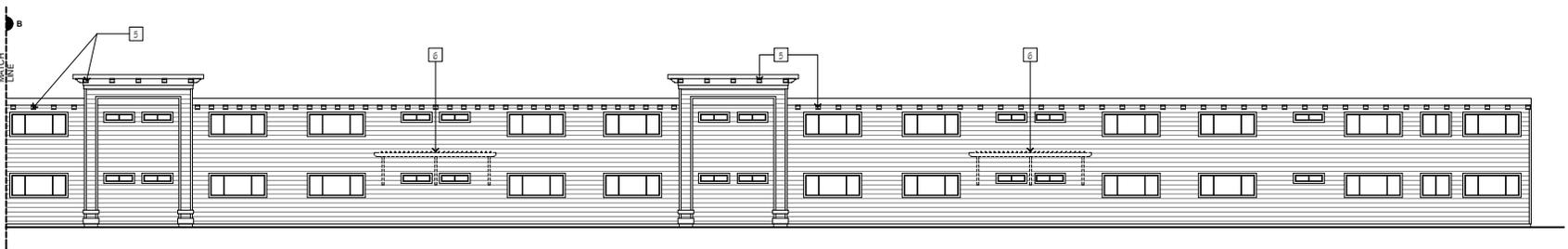
- 1 EXISTING GING TO BE REMOVED
- 2 EXISTING WINDOW TO BE REMOVED
- 3 EXISTING GABLE ROOF TO BE REMOVED
- 4 EXISTING ENTRY TO BE REMOVED
- 5 EXISTING CORBELS TO BE REMOVED
- 6 EXISTING TRELLIS TO BE REMOVED
- 7 EXISTING MAINTENANCE BUILDING TO BE REMOVED
- 8 EXISTING UTILITY SCREEN TO BE REPLACED
- 9 EXISTING SHINGLE ROOF TO BE REPLACED



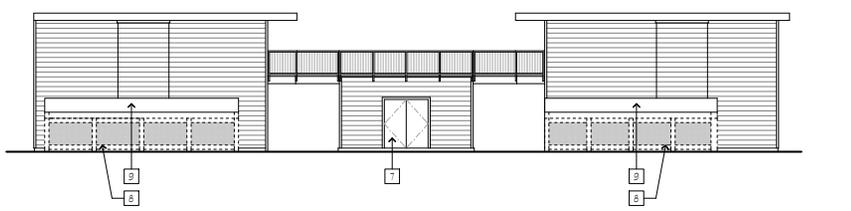
**1 BUILDING 1 EXISTING EAST ELEVATION (BUILDING 3 SIMILAR)**  
SCALE: 1/8" = 1'-0"



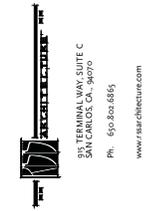
**2 BUILDING 1 EXISTING NORTH ELEVATION (BUILDING 3 SIMILAR)**  
SCALE: 1/8" = 1'-0"



**3 BUILDING 1 EXISTING NORTH ELEVATION (BUILDING 3 SIMILAR)**  
SCALE: 1/8" = 1'-0"



**4 BUILDING 1 EXISTING EAST ELEVATION (BUILDING 3 SIMILAR)**  
SCALE: 1/8" = 1'-0"



TERESA WANG SUITE C  
SAN CARLOS, CA 94070  
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www.naararchitecture.com

EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

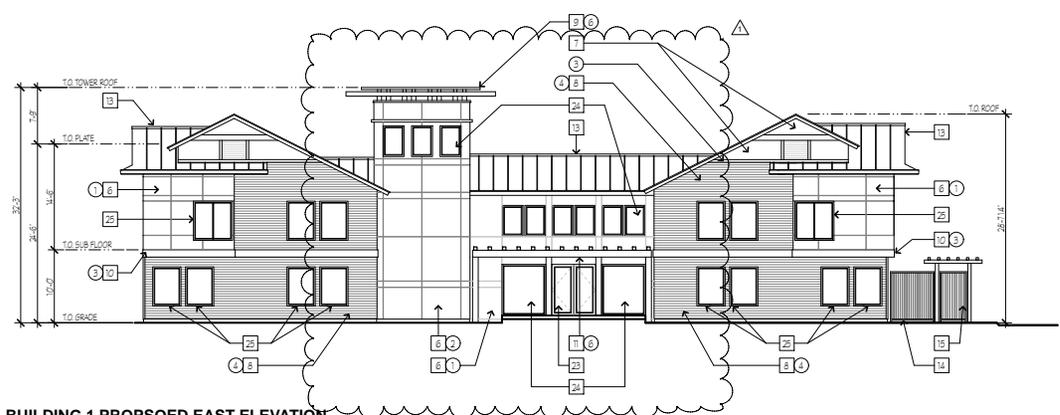
225 UNION AVENUE  
CAMPBELL, CA 95008

REVISIONS  
 ▲ RESPONSE TO CITY COMMENTS 03.08.17

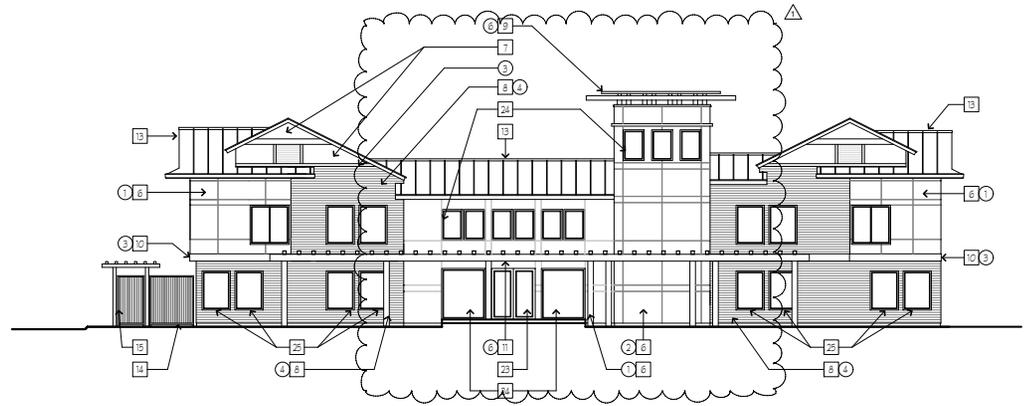
EXISTING EXTERIOR ELEVATIONS

JOB: 1551 DRAWN: KR/PI

SHEET NO. **A4.0**



**1 BUILDING 1 PROPOSED EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 BUILDING 3 PROPOSED EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"

**ELEVATION KEYNOTES**

- 1 EXISTING GUARDRAIL TO REMAIN
- 2 EXISTING ROOF SCREEN
- 3 EXISTING SIDING TO REMAIN
- 4 EXISTING WINDOWS TO REMAIN
- 5 EXISTING SHINGLE ROOF TO REMAIN
- 6 NEW HARDI REVEAL PANEL SYSTEM
- 7 NEW CEMENT PLASTER SMOOTH FINISH
- 8 NEW 4" SMOOTH HARDE PLANK LAP SIDING
- 9 NEW REDWOOD TRELLIS AT TOWER
- 10 NEW 2X2 PAGA/TRIM WOOD BOARD AT BUMP-OUTS
- 11 NEW REDWOOD TRELLIS AT BUILDING ENTRY
- 12 NEW 1X10 HORIZONTAL TRIM BOARD
- 13 NEW SPANDING BEAM ROOF BY CUSTOM-BUILT METALS MODEL# SL-1750
- 14 NEW METAL FENCE WITH 2X2 SQ. TUBE STEEL AND 1" METAL PICKETS
- 15 NEW MAN GATE
- 16 NEW ROOF SCREEN TO MATCH BUILDINGS 2 AND 4
- 17 NEW ELEVATOR BUILDING WITH HARDE REVEAL PANEL
- 18 NEW T.P.O. FLAT ROOF
- 19 NEW GABLE ROOF
- 20 NEW REDWOOD FENCE WITH 1X6 BOARDS SPACED 1"
- 21 NEW METAL GUARDRAIL TO MATCH EXISTING
- 22 NEW METAL FRAME STAIR WITH PRECAST CONCRETE STEPS
- 23 NEW STOREFRONT ENTRY DOOR BY KAWNEER
- 24 NEW STOREFRONT WINDOWS BY KAWNEER
- 25 NEW VINYL WINDOWS BY MILGARD MONTECITO SERIES
- 26 NEW REDWOOD TRELLIS AT ELEVATOR TOWER
- 27 NEW METAL FINISH
- 28 NEW CLOCK FEATURE

**COLOR KEYNOTES**

- 1 COTTON TAIL  
BENJAMIN MOORE - 2155-10
- 2 BLUE SPRUCE  
BENJAMIN MOORE - 1637
- 3 GRAY MOUNTAIN  
BENJAMIN MOORE - 1462
- 4 FOREST BROWN  
BENJAMIN MOORE - 2105-10
- 5 NIGHTFALL  
BENJAMIN MOORE - 1596
- 6 TRELLIS STAIN  
CABOT - FIELDSTONE

EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
 CAMPBELL, CA 95008

REVISIONS

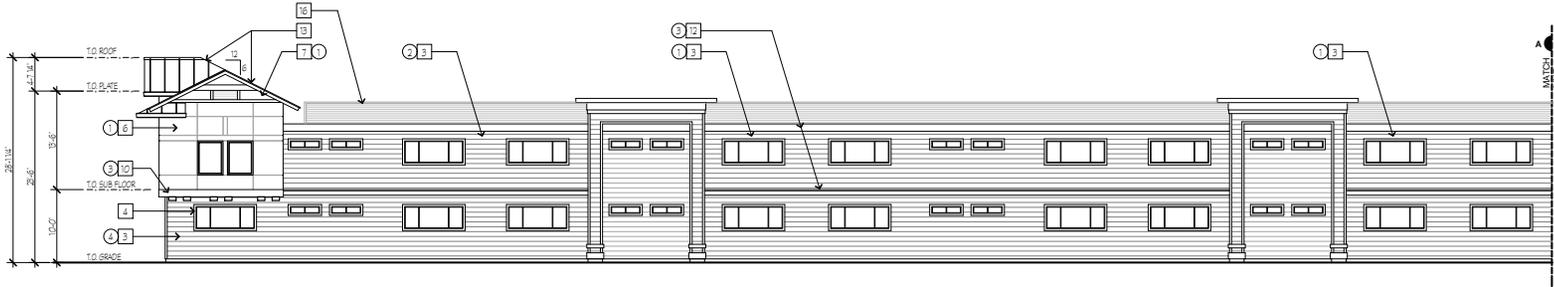
1	1.25.16
2	03.31.17
3	RESPONSE TO CITY COMMENTS 03.03.17

**PROPOSED EXTERIOR ELEVATIONS**

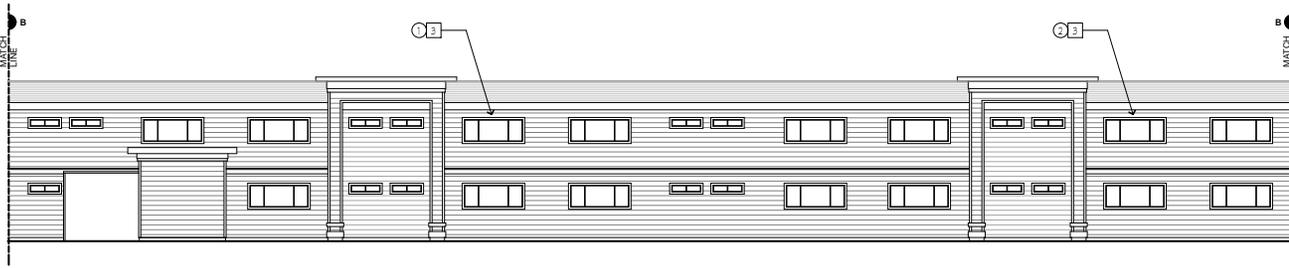
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**A4.2**

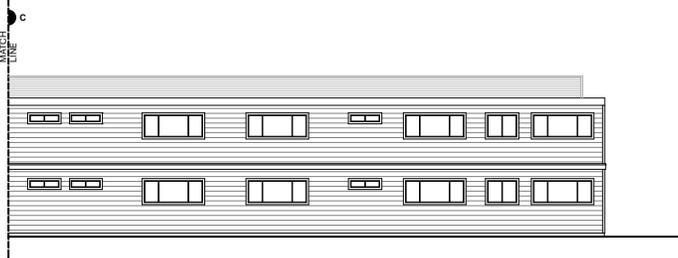
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 REFER TO SHEET A4.2  
 FOR NOTES NOT SHOWN.



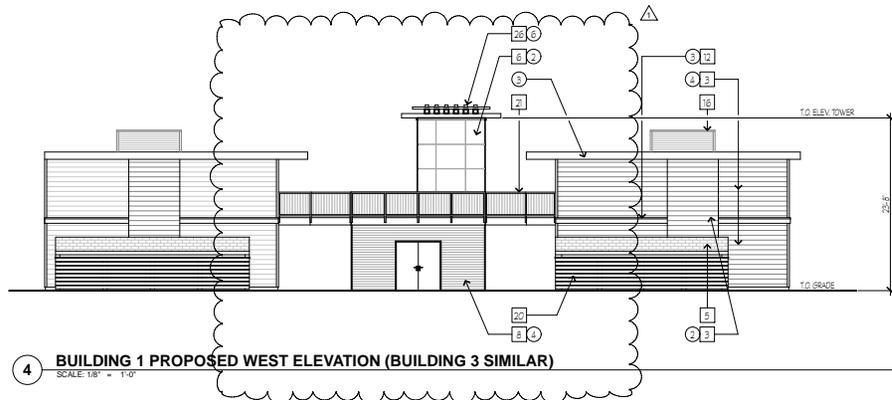
**1 BUILDING 1 PROPOSED NORTH ELEVATION (BUILDING 3 SIMILAR)**  
 SCALE: 1/8" = 1'-0"



**2 BUILDING 1 PROPOSED NORTH ELEVATION (BUILDING 3 SIMILAR)**  
 SCALE: 1/8" = 1'-0"



**3 BUILDING 1 PROPOSED NORTH ELEVATION (BUILDING 3 SIMILAR)**  
 SCALE: 1/8" = 1'-0"



**4 BUILDING 1 PROPOSED WEST ELEVATION (BUILDING 3 SIMILAR)**  
 SCALE: 1/8" = 1'-0"



EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
 CAMPBELL, CA 95008

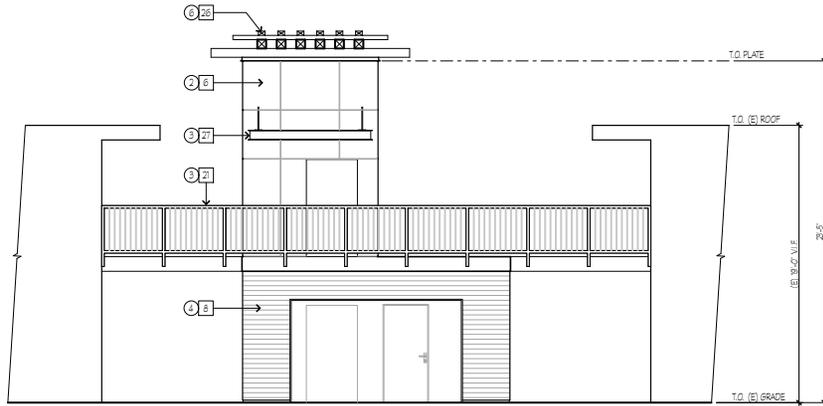
REVISIONS
1.25.16
03.31.17
RESPONSE TO CITY COMMENTS 03.03.17

PROPOSED EXTERIOR ELEVATIONS

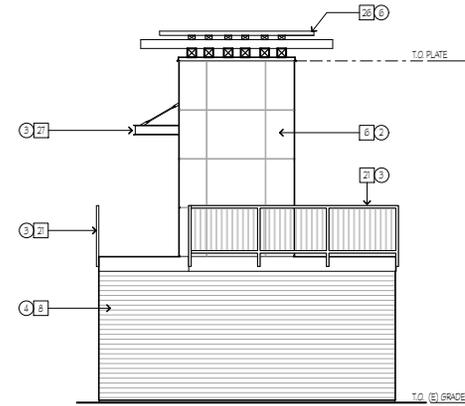
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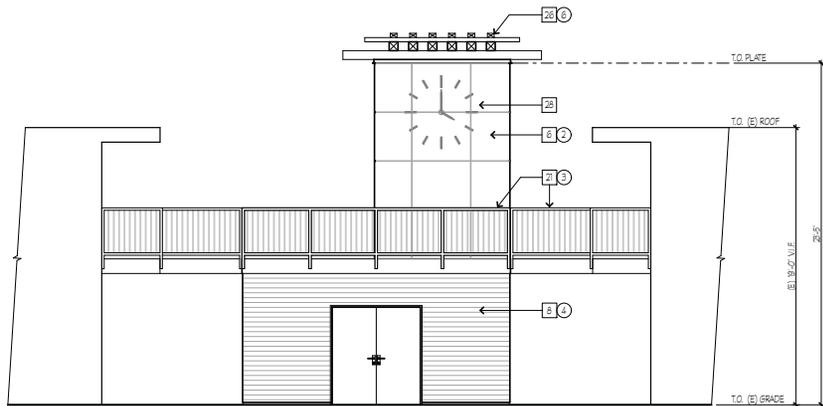
**ELEVATION KEYNOTES**  
 REFER TO SHEET A4.2  
 FOR NOTES NOT SHOWN.



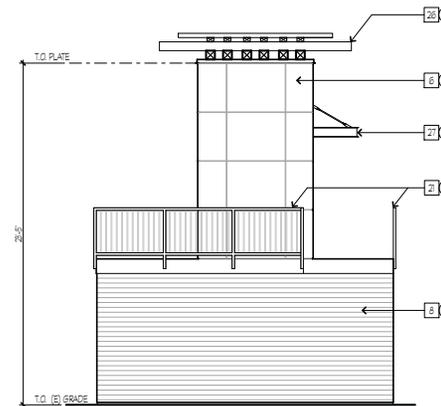
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 SCALE: 1/4" = 1'-0"



**2 ELEVATOR ELEVATIONS (BUILDINGS 1 & 3)**  
 SCALE: 1/4" = 1'-0"



**3 ELEVATOR ELEVATIONS (BUILDINGS 1 & 3)**  
 SCALE: 1/4" = 1'-0"



**4 ELEVATOR ELEVATIONS (BUILDINGS 1 & 3)**  
 SCALE: 1/4" = 1'-0"

EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
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REVISIONS
 1.25.16
 RESPONSE TO CITY COMMENTS 03.03.17

ELEVATOR ELEVATIONS

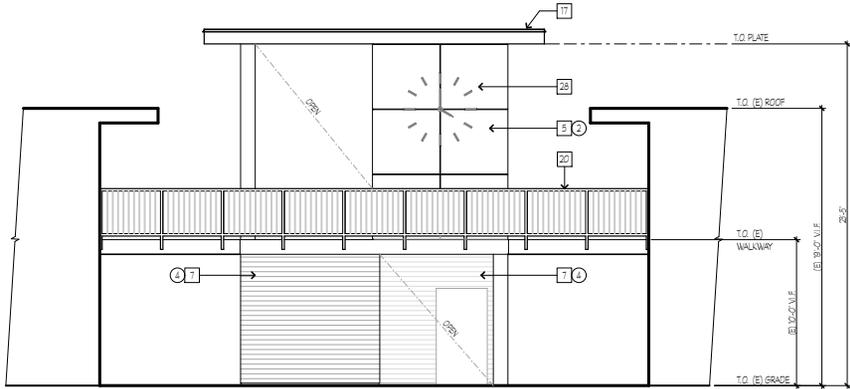
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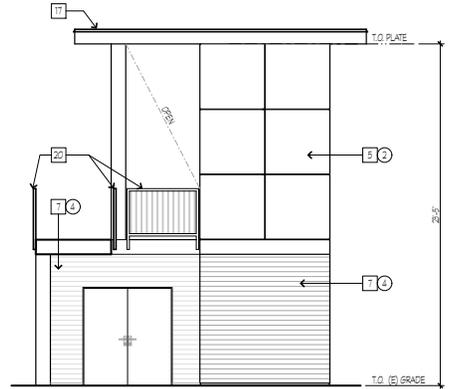
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**ELEVATION KEYNOTES**  
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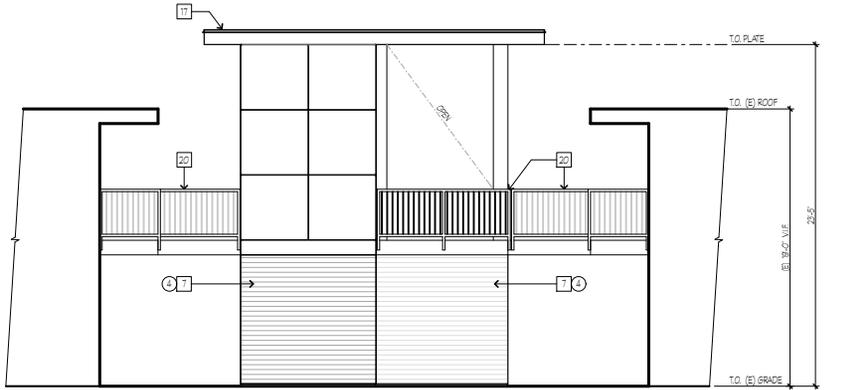
**RS&B ARCHITECTURE**  
 1000 MARINA WAY, SUITE C  
 SAN CARLOS, CA 94070  
 Ph. 650.802.6845  
 www.rsandb.com



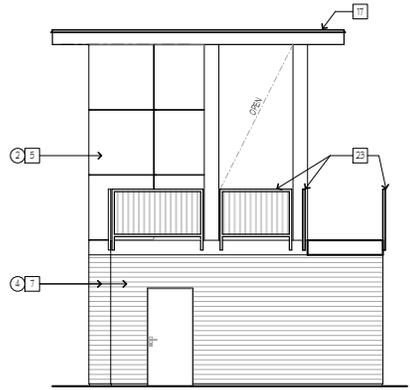
**1 ELEVATOR ELEVATIONS (BUILDINGS 2 & 4)**  
 SCALE: 1/4" = 1'-0"



**2 ELEVATOR ELEVATIONS (BUILDINGS 2 & 4)**  
 SCALE: 1/4" = 1'-0"



**3 ELEVATOR ELEVATIONS (BUILDINGS 2 & 4)**  
 SCALE: 1/4" = 1'-0"



**4 ELEVATOR ELEVATIONS (BUILDINGS 2 & 4)**  
 SCALE: 1/4" = 1'-0"

EXTERIOR IMPROVEMENTS:

**PARC AT PRUNEYARD**

225 UNION AVENUE  
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ELEVATOR ELEVATIONS

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**A4.10**



## LANDSCAPE LEGEND

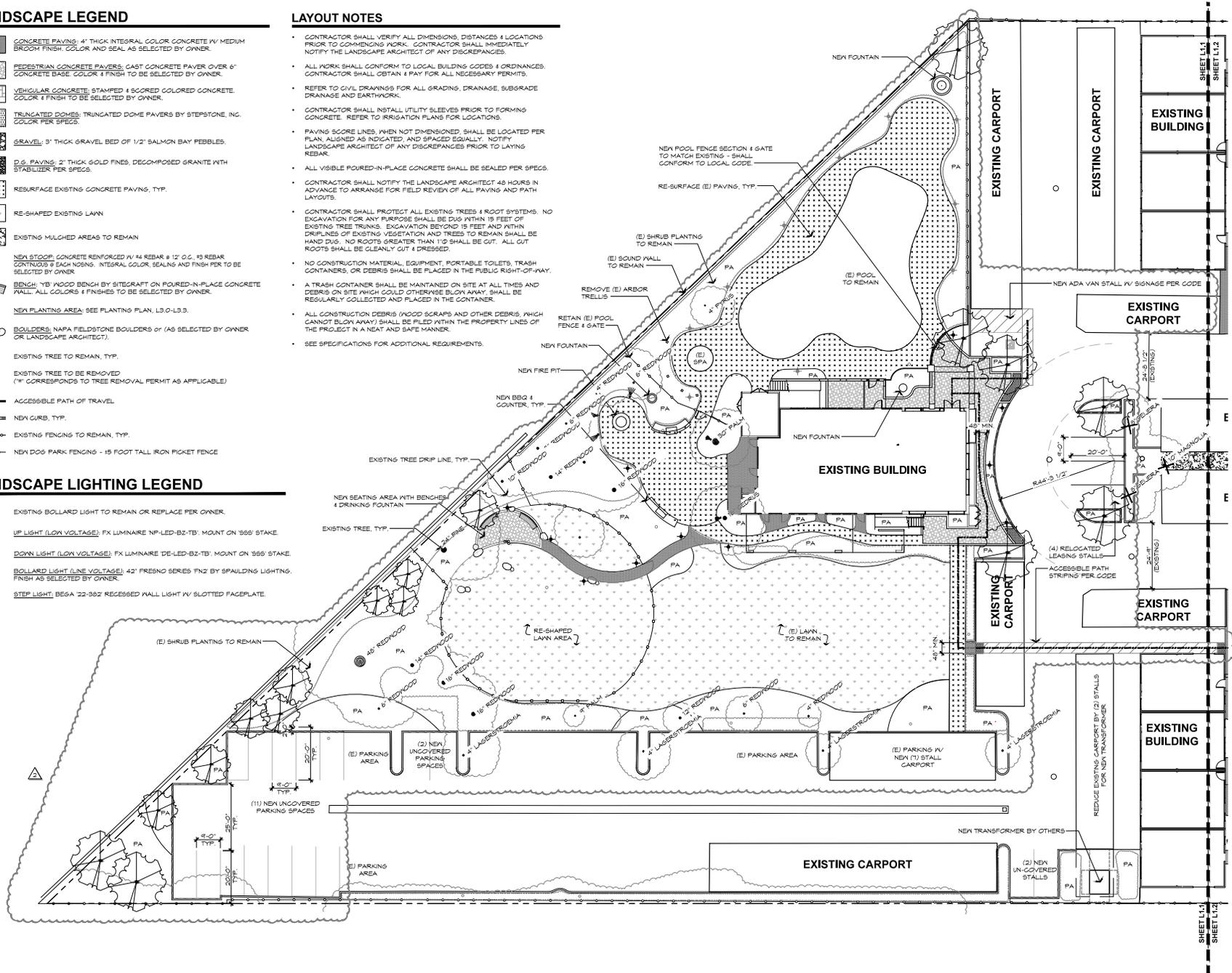
- CONCRETE PAVING: 4" THICK INTEGRAL COLOR CONCRETE W/ MEDIUM BROOK FINISH, COLOR AND SEAL AS SELECTED BY OWNER.
- PEDESTRIAN CONCRETE PAVERS, CAST CONCRETE PAVEMENT OVER 6" CONCRETE BASE, COLOR & FINISH TO BE SELECTED BY OWNER.
- VEHICULAR CONCRETE, STAMPED & SCORED COLORED CONCRETE, COLOR & FINISH TO BE SELECTED BY OWNER.
- TRUNCATED DOMES: TRUNCATED DOME PAVERS BY STEPSHINE, INC. COLOR PER SPECS.
- GRAVEL: 3" THICK GRAVEL BED OF 1/2" SALMON BAY PEBBLES.
- D.G. PAVING: 2" THICK GOLD FINES, DECOMPOSED GRANITE WITH STABILIZER PER SPECS.
- RESURFACE EXISTING CONCRETE PAVING, TYP.
- RE-SHAPED EXISTING LAWN
- EXISTING MULCHED AREAS TO REMAIN
- NEW STOOP: CONCRETE REINFORCED W/ #4 REBAR @ 12" O.C., 18 REBAR CONTIGUOUS @ EACH NOSE, INTEGRAL COLOR, SEALING AND FINISH PER TO BE SELECTED BY OWNER.
- BENCH: 18" WOOD BENCH BY SITEGRAPT ON POURED-IN-PLACE CONCRETE RAIL, ALL COLORS & FINISHES TO BE SELECTED BY OWNER.
- PA NEW PLANTING AREA: SEE PLANTING PLAN, L3.0-L3.3.
- BOULDERS: NAPA FIELDSTONE BOULDERS OR (AS SELECTED BY OWNER OR LANDSCAPE ARCHITECT).
- EXISTING TREE TO REMAIN, TYP.
- EXISTING TREE TO BE REMOVED ("X" CORRESPONDS TO TREE REMOVAL PERMIT AS APPLICABLE)
- ACCESSIBLE PATH OF TRAVEL
- NEW CURB, TYP.
- EXISTING FENCING TO REMAIN, TYP.
- NEW DOG PARK FENCING - 15 FOOT TALL IRON PICKET FENCE

## LANDSCAPE LIGHTING LEGEND

- EXISTING BOLLARD LIGHT TO REMAIN OR REPLACE PER OWNER.
- UP LIGHT (LOW VOLTAGE): FX LUMINAIRE NP-LED-B2-TB, MOUNT ON 3/8" STAKE.
- DOWN LIGHT (LOW VOLTAGE): FX LUMINAIRE DE-LED-B2-TB, MOUNT ON 3/8" STAKE.
- BOLLARD LIGHT (LINE VOLTAGE): 42" FRESNO SERIES FN2 BY SPAULDING LIGHTING, FINISH AS SELECTED BY OWNER.
- STEP LIGHT: BEGA 22-362 RECESSED WALL LIGHT W/ SLOTTED FACEPLATE.

## LAYOUT NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DISTANCES & LOCATIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- ALL WORK SHALL CONFORM TO LOCAL BUILDING CODES & ORDINANCES. CONTRACTOR SHALL OBTAIN & PAY FOR ALL NECESSARY PERMITS.
- REFER TO CIVIL DRAWINGS FOR ALL GRADING, DRAINAGE, SUBGRADE DRAINAGE AND EARTHWORK.
- CONTRACTOR SHALL INSTALL UTILITY SLEEVES PRIOR TO FORMING CONCRETE. REFER TO IRRIGATION PLANS FOR LOCATIONS.
- PAVING SCORE LINES, WHEN NOT DIMENSIONED, SHALL BE LOCATED PER PLAN, ALIGNED AS INDICATED, AND SPACED EQUALLY. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO LAYING REBAR.
- ALL VISIBLE POURED-IN-PLACE CONCRETE SHALL BE SEALED PER SPECS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT 48 HOURS IN ADVANCE TO ARRANGE FOR FIELD REVIEW OF ALL PAVING AND PATH LAYOUTS.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES & ROOT SYSTEMS. NO EXCAVATION FOR ANY PURPOSE SHALL BE DONE WITHIN 15 FEET OF EXISTING TREE TRUNKS. EXCAVATION BEYOND 15 FEET AND WITHIN DRIFTLINES OF EXISTING VEGETATION AND TREES TO REMAIN SHALL BE HAND DUG. NO ROOTS GREATER THAN 1/2" SHALL BE CUT. ALL CUT ROOTS SHALL BE CLEANLY CUT & DRESSED.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY SHALL BE REGULARLY COLLECTED AND PLACED IN THE CONTAINER.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE FILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



**Kikuchi + Kankel  
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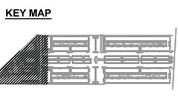
Landscape Architecture  
Environmental Design  
Site Planning  
730 Mill Street  
Half Moon Bay, CA 94019  
(650) 726-7100  
www.kkdesigngroup.com



**LANDSCAPE RENOVATIONS**

**PARC AT PRUNERYARD**

225 UNION AVE.  
CAMPBELL, CA



**NOT FOR CONSTRUCTION**

Revisions:	REVISIONS 4/27/17
Date:	PLANNING SET 11/28/16
Scale:	1" = 16'-0"
Drawn By:	NR, TL

**LANDSCAPE PLAN**

Sheet No.  
**L1.1**  
Of

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**Kikuchi + Kankel**  
Design Group

Landscape Architecture  
Environmental Design  
Site Planning

730 Mill Street  
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LANDSCAPE  
RENOVATIONS

**PARC AT  
PRUNEYARD**

225 UNION AVE.  
CAMPBELL, CA

**NOT FOR  
CONSTRUCTION**

REVISIONS  
4/21/17  
PLANNING SET  
11/28/16

Date: 10/31/16 PLANNING SET

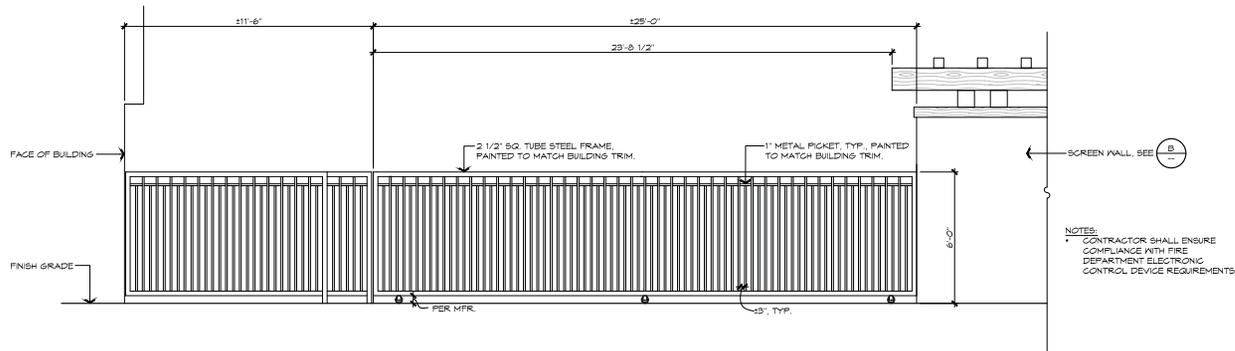
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NR, TL

**WALL & GATE  
ELEVATIONS**

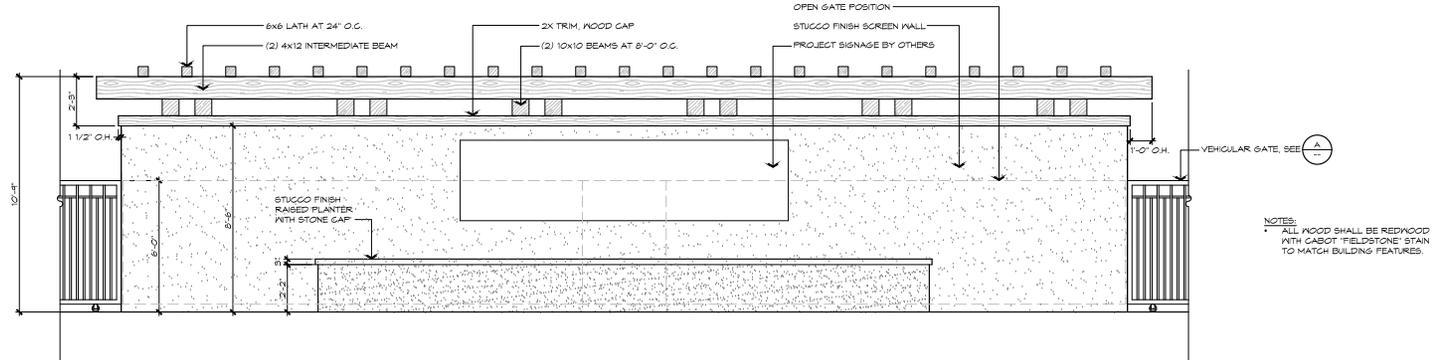
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**L4.1**

Of



**(A) VEHICULAR GATE**

SCALE: 3/8" = 1'-0"



**(D) SCREEN WALL**

SCALE: 3/8" = 1'-0"

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The Parc