



CITY OF CAMPBELL
Community Development Department

July 24, 2017

NOTICE OF ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

File No.: PLN2017-195
Applicant: Gilbert Fernandez
Project Address: 1203 Audrey Ave.
Property Owner: Yuanxin Ma
Zoning District: R-1-10 (Single-Family Residential)
General Plan: Low Density Residential
Project Description: An approximately 237 square foot one-story rear and front addition to an existing one-story single-family residence.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on July 24, 2017 and ends on August 3, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 3, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Victoria Hernandez, Assistant Planner, in the Community Development Department, at (408) 866-2732 or by email victoriah@cityofcampbell.com.

Project Location Map

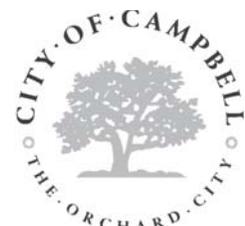
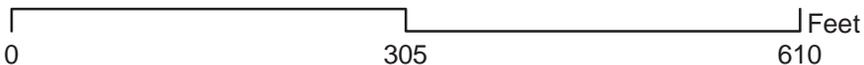


Project Location: 1203 Audrey Avenue

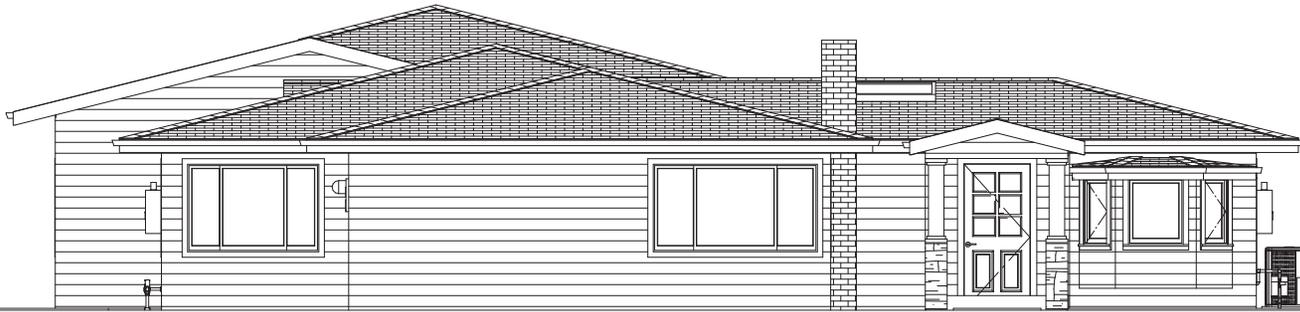
Application Type: Administrative Site and Architectural Review Permit

Planning File No.: PLN2017-195

Description: An approximately 237 square foot rear and front addition to an existing single family residence in the R-1-10 zoning district.



Community Development Department
Planning Division

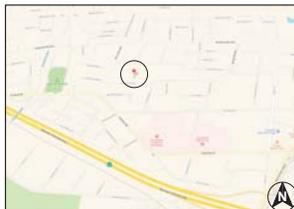


1203 AUDREY AVE CAMPBELL, CA 95008

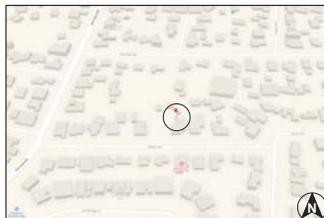
SCOPE OF WORK

Project includes an addition to the rear portion of the existing home. Existing Den in rear portion of home to be converted to a master bedroom with a master bathroom and walk in closet. Master bathroom to include two sinks, a jacuzzi, shower and toilet. New roof for addition to be trusses and roof to end as a gable. Foundation of addition to be slab on grade to match the existing foundation. A second addition to be added to the front area of the existing home. This addition to be a new front porch and bay window. New laundry room to be added to left side of home. All existing mechanical, plumbing and electrical to be replaced. New plumbing to be replaced only where existing plumbing fixtures are and where needed. Interior cosmetic remodeling also to be done including paint, doors, cabinets, tiles and flooring. Some interior walls to be removed in front portion of home to create an open floor plan. Exterior color of siding to be changed. Existing roof material to be replaced with composition shingles. Electrical and gas meter to remain in same location. Existing utility room to be removed. Furnace to be moved to attic, tankless water heaters and AC unit to be added to side elevation. Some existing trees to be removed and replaced. Existing car ports to be removed and replaced. Rear existing accessory building to remain and untouched.

VICINITY MAP



LOCATION MAP



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PROJECT DATA

A.P.N.	406-25-032
ZONING	R1-10
OCCUPANCY GROUP	R3 & U
CONSTRUCTION TYPE	VB
LOT SIZE	16,065 S.F.
EXISTING FLOOR PLAN:	
-1st Floor Area:	2,205 SF
-Garage:	300 S.F.
Total Square Footage:	2,505 SF
+(E) Accessory Building	1,156 SF
Total Square Footage	3,661 SF
NEW FLOOR PLAN	
-1st Floor Area:	2,442 SF
-Garage:	400 S.F.
Total Square Footage:	2,842 SF
+(E) Accessory Building	1,156 SF
Total Square Footage	3,998 SF
Total added living space:	237 SF

PROJECT CONTACTS

ARCHITECTURAL DESIGN
Interior Designer
Gilbert Fernandez
408.722.0057
gf.gilfernandez@gmail.com

STRUCTURAL DESIGN
T.B.D

TRUSS COMPANY
T.B.D.

TITLE 24 REPORT
Carstairs Energy Calculations
Timothy Carstairs
805.904.9048
timmycarstairs@yahoo.com

OWNER
Yuanxin Ma
412.980.1160

2016 CALGREEN MANDATORY MEASURES CHECKLIST

- Divert a minimum of 65% of the construction waste to recycle or salvage per Section 4.408.1. Please provide the following information on the plans.
- Show conformance on the plans with the following for indoor water use for new plumbing fixtures:
1.28 gallon/flush at water closets
2.0 gpm at shower heads
1.2 gpm at lavatory faucets
1.8 gpm at kitchen faucets
- Duct systems are sized, designed, and equipment is selected per Section 4.507.2. HVAC system installers must be trained and certified and special inspectors employed by the enforcing agency must be qualified.
- Protect annular spaces around pipes, electric cables, conduits at exterior walls against the passage of rodents (4.406.1).
- Cover duct openings and other related air distribution component openings during construction (4.504.1).
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compounds during construction (4.504.2.1)
- Paints, stains and other coating shall be compliant with VOC limits (4.504.2.2).
- Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds (4.504.2.3).
Documentation shall be provided to verify compliance.
- Carpet and carpet systems shall be compliant with VOC limits (4.504.3).
- Minimum 80% of floor area receiving resilient flooring shall comply with the VOC-emission limits per Sections 4.504.4.
- Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish system shall comply with low formaldehyde emission standards (4.504.5).
- Install capillary break and vapor retarder at slab on grade foundations. (4.505.2)
- Check moisture content of building materials used in wall and floor framing before enclosure (4.505.3).

GENERAL NOTES

ALL CONSTRUCTION SHALL COMPLY WITH ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY AND THE LATEST ADOPTED ADDITIONS OF THE FOLLOWING: 2016 CALIFORNIA BUILDING & RESIDENTIAL CODE (CBC, CRC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA FIRE CODE (CFC), THE 2016 CALIFORNIA ELECTRICAL CODE (CEC), 2016 CALIFORNIA ENERGY CODE (CEC) AND THE 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE.

THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS, AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND/OR CORRECTION PRIOR TO BEGINNING ANY WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF ALL TRADES WITH THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.

CHANGES TO THE PLAN DURING CONSTRUCTION OTHER THAN:
-CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE,
-INTERIOR DOOR AND ZERO-CLEARANCE FIREPLACE RELOCATION SHOWN ON THE APPROVE PLANS,
-A SINGLE NONBEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM, AND
-INTERIOR NON-STRUCTURAL WALL FINISHES:

SHALL CAUSE PLANS APPROVAL AND CONSTRUCTION TO BE SUSPENDED, A NEW PLAN CHECK (FOR THE NEW PLAN CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE COMMON PLAN CHECK PROCESS.



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Gilbert Fernandez III
REVISIONS

#	REVISIONS

ARCHITECTURAL TITLE PAGE
NOTES & PROJECT INFORMATION

1203 AUDREY AVE
CAMPBELL, CA 95008

07/17/2017

A 1

CRAWL SPACE VENTILATION CALC'S

NO VENTILATION REQUIRED. EXISTING AND PROPOSED AREAS ARE SLAB ON GRADE.

GENERAL SITE PLAN NOTES

CALL BEFORE YOU DIG. CONTACT UNDERGROUND SERVICE ALERT (USA) 1.800.227.2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.

BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING SITE UTILITIES.

EXCAVATION, FILLS, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DO NOT ENDANGER LIFE OR PROPERTY.

CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, UNLESS OTHERWISE NOTED.

FINISH GRADE SHALL SLOPE AWAY FROM THE FOUNDATION OF ALL BUILDINGS AND STRUCTURES A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF TEN FEET. (CBC 1804.3). ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MINIMUM OF 12 INCHES PLUS 2%.

ALL EXTERIOR HARD SURFACES (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 1% MINIMUM SLOPE AND SHALL DRAIN AWAY FROM THE BUILDING. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5%. MAXIMUM ALLOWABLE GRADED SLOPE IS 3 HORIZONTAL TO 1 VERTICAL (33%)

LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY.

NEW RAINWATER DOWNSPOUTS SHALL BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPE AREA PR MAY DRAIN TO SPLASH BLOCK OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING.

IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION "BEST MANAGEMENT PRACTICES" WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.

PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS.

TRENCHES SHALL BE LOCATED OUTSIDE OF THE DRIP LINES OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACT.

SEE COVER SHEET, FLOOR PLAN, AND BEST MANAGEMENT PRACTICES SHEET FOR ADDITIONAL PROJECT INFORMATION.

NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE.

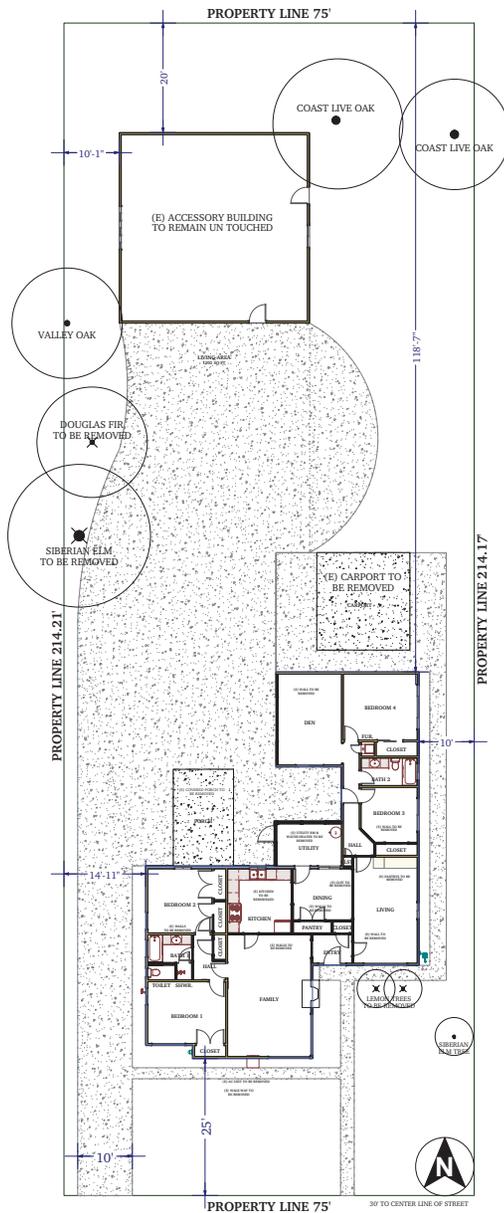
SETBACK VERIFICATION: PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE LLS OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS ARE PER THE APPROVED PLANS.

STORM WATER RETENTION NOTE: DISPOSITION AND TREATMENT OF STORM WATER WILL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STANDARDS AND IMPLEMENTATION STANDARDS ESTABLISHED BY THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM.

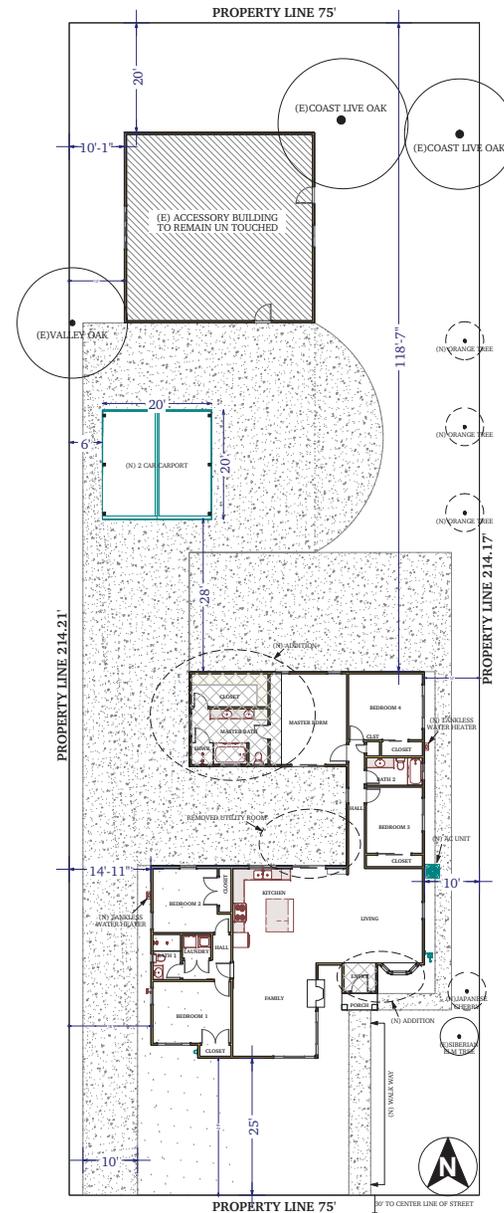
SEE ARBORIST REPORT FOR TREE IDENTIFICATION, AND ADDITIONAL INFORMATION, IF A REPORT WAS PROVIDED.

SEE LANDSCAPE, GRADING AND DRAINAGE PLANS FOR ADDITIONAL INFORMATION AND COORDINATION.

NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.



(E) DEMO/SITE PLAN
3/32" = 1' - 0"



(N) SITE PLAN
3/32" = 1' - 0"

REVISIONS	#	DATE	DESCRIPTION

EXISTING & PROPOSED SITE PLANS
NOTES

1203 AUDREY AVE
CAMPBELL, CA 95008

07/17/2017

A 2

FLOOR PLAN NOTES

- ① - A FIRE ESCAPE WINDOW SHALL BE PROVIDED IN EVERY BEDROOM WHERE THERE IS NOT A DOOR TO THE EXTERIOR WITH A SILL HIGH OF NOT MORE THAN 46" ABOVE THE FLOOR. SUCH WINDOW SHALL HAVE A CLEAR OPERABLE AREA OF NOT LESS THAN 5.7 SQ. FT. WITH NO DIMENSION LESS THAN 24" IN HEIGHT OR 20" IN WIDTH THAT WILL OPEN ONTO A STREET, ALLEY, YARD OR EXTERIOR COURT.
- ② - PROVIDE SMOKE DETECTORS AT ALL BEDROOMS & HALLWAYS AS REQUIRED (MIN. 3" FROM AC RETURN/VENTS).
- ③ - MINIMUM FINISHED WIDTH FOR A CORRIDOR IS NOT LESS THAN 36".
- ④ - PIPING IN UNCONDITIONED SPACE LEADING TO AND FROM WATER HEATERS SHALL BE INSULATED WITH AN INSTALLED THERMAL RESISTANCE OF R-3 OR GREATER FOR FIVE FEET OF PIPE CLOSEST TO THE WATER HEATER, OR WHATEVER SHORTER LENGTH IS IN UNCONDITIONED SPACES.
- ⑤ - DISTANCE BETWEEN RANGE TOP AND CABINET ABOVE SHALL NOT BE LESS THAN 30" UNPROTECTED, 24" PROTECTED AND NOT LESS THE RANGE MANUFACTURER'S SPECS. FOR HORIZONTAL DISTANCE (OR MIN. 6" IF NOT SPECIFIED).
- ⑥ - ALL HOSE BIBBS INSTALLED SHALL BE PROTECTED BY AN APPROVED NON-REMOVABLE TYPE BACK FLOW PREVENTION DEVICE.
- ⑦ WATER CLOSET
 - WATER CLOSETS (TOILET) COMPARTMENT MUST HAVE NOT LESS THAN 10" CENTERLINE OF BIDET TO RIM AND NOT LESS THAN 24" CLEAR IN FRONT OF THE UNIT AS PER CPC 407.6.
 - ALL WATER CLOSETS SHALL BE HIGH EFFICIENCY LOW FLOW (DUAL-FLUSH OR < 1.28 GAL. MAX PER FLUSH). CPC 402.2.
 - PROVIDE CAULKING AT BOTTOM OF ALL WATER CLOSETS - CPC 407.2.
 - BATHROOMS & WATER CLOSET COMPARTMENTS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPERABLE EXTERIOR OPENING WITH AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA WITHIN OF 1-1/2 SQ FT OR 5 AIR CHANGES PER HOUR.
- ⑧ SHOWER COMPARTMENTS
 - SHOWER COMPARTMENT MIN. 1024 SQ IN ENCOMPASSING A 30" CIRCLE CPC 411.7
 - THE THRESHOLD/DAM SHALL NOT BE LESS THAN 2 INCHES AND NOT MORE THAN 3 INCHES MEASURED FROM THE TOP OF THE DRAIN, CPC 411.6
 - MAINTAIN MINIMUM AREA AND DIMENSIONS 70" ABOVE THE SHOWER DRAIN. CPC 411.7
 - ALL GLAZING LESS THAN 60" ABOVE A SHOWER OR TUB FLOOR, ALL GLAZING WHERE THE NEAREST EXPOSED EDGE OF THE GLASS IS WITHIN 24" ARC OF EITHER VERTICAL EDGE OR A DOOR, AND GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
 - SHOWER STALLS AND TUB ENCLOSURES TO HAVE SAFETY GLAZING SHOWER DOORS. MAY NOT BE LESS THAN 22" MINIMUM WIDTH. SHOWER ENCLOSURE DOORS SHALL OPEN OUTWARD TO MAINTAIN 22" CLEARANCE. CBC 2407 & CPC 411.6
 - WATERPROOF GYPSUM BOARD UNDERLAY AT SHOWERS, TUBS AND OTHER SURFACES ADVERSELY AFFECTED BY WATER IS NOT ALLOWED AS PER GA-216 OR ASTM C940.
- ⑨ WINDOW & DOOR NOTES
 - ALL WINDOWS SHALL BE DUAL PANE UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR DOORS LEADING TO HOUSE SHALL HAVE ALUMINUM THRESHOLD AND FULLY WEATHERSTRIP.
 - SAFETY GLASS TO BE PROVIDED FOR DOORS AND WINDOWS ADJACENT TO OPENINGS. ALL WINDOWS IN BATHS, AND IN WINDOWS WHERE EXPOSED BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE FLOOR.
 - ALL WEATHER STRIPPING, CAULKING, AND SEALING OF EXTERIOR DOORS, WINDOWS, AND BLDG ENVELOPE OPENINGS, AS REQUIRED BY THE C.B.C. SHALL BE SUBJECT TO FIELD INSPECTION.
 - ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED.
 - GLASS WINDOWS AND DOORS THAT ARE SUBJECT TO HUMAN IMPACT, WITH 24" OF DOOR, CLOSER THAN 60" ABOVE AN EXTERIOR WALKING SURFACE OR WITHIN 18" OF AN INTERIOR FLOOR MUST BE TEMPERED GLASS OR REQUIRE A PROTECTIVE GRILL AS PER CBC 2406.

GENERAL NOTES

1. FIELD VERIFY ALL WORK AND DIMENSIONS PRIOR TO CONSTRUCTION.
2. PROVIDE BACKDRAFT DAMPERS TO ALL VENTS TO THE OUTSIDE.
3. RUCKSCREEN TO BE INSTALLED PRIOR TO FINAL INSPECTION.
4. ALL EXHAUST FANS TO HAVE DAMPERS.
5. NAILING SPECIFIED WITHIN THE STRUCTURE CALCULATIONS AND DETAILS SHALL BE DONE USING COMMON NAILS. PROVIDE I.C.B.O. APPROVAL PRIOR TO THE INSTALLATION OF AN ALTERNATE FASTENER.
6. MARKERS SHALL BE PLACED WITH THE BOTTOMS, EVEN WITH THE BOTTOM OF CEILING JOISTS. THEY SHALL BE OF A REASONABLY SUBSTANTIAL MATERIAL (SUCH AS HEAVY-GUAGE CARDBOARD OR WOOD) TO PREVENT BENDING OR DISLOIDMENT DURING PLACEMENT OF INSULATION.
7. ALL SHEAR WALLS TO ROOF UNLESS NOTED OTHERWISE.
8. MANUFACTURER'S CERTIFICATION OF GUL-LAM BEAMS MUST BE PROPERLY IDENTIFIED FOR THE LOCATION & THE SPECIFIC JOB TO BE PROVIDED BEFORE FRAMING INSPECTION.
9. POWER DRIVEN FASTENERS SHALL NOT BE USED IN STEM WALLS LESS THAN 5-1/2" WIDE OR GREATER THAN 5-1/2" HIGH. FOR INT. NON-BEARING WALLS, MAX PENETRATION SHALL NOT EXCEED 1/3 SLAB THICKNESS.
10. ALL LUMBER MUST BEAR AN APPROVED GRADING STAMP.
11. SURFACE WATER SHALL BE DRAINED AWAY FROM THE BUILDING FOR THE FIRST 5' BY AT LEAST 2% GRADE. THE OVERALL LOT DRAINAGE MUST BE NOT LESS THAN 1%.
12. NEW ROOFING TO BE CLASS "B" ROOF COVERING OR BETTER. THE INSTALLER SHALL PROVIDE A CERTIFICATION TO THE BUILDING DIVISION PRIOR TO FINAL INSPECTION.
13. VLOCATE AND EXPOSE ALL PROPERTY CORNERS & STRING THE SIDE YARD PROPERTY LINES PRIOR TO FOUNDATION INSPECTION.
14. INTERIOR WALL SURFACES TO BE 1/2" GYPSUM WALLBOARD (FLAMESPREAD GLASS III OR BETTER) UNLESS SPECIFIED OTHERWISE.
15. FLASH ALL EXTERIOR OPENINGS WITH 1" OR ALUMINUM ON KRAFT PAPER OR 15# FELT, 50 AS TO BE TOTALLY WATER PROOF AS PER CBC 1402.

INSULATION NOTES

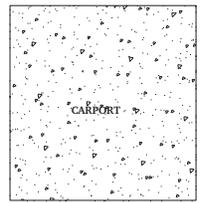
AFTER INSTALLING INSULATION, THE INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2.53, AND THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 2, SUB CHAPTER 2, ART. 3. THE CERTIFICATE SHALL STATE THE MANUFACTURER'S NAME AND MATERIALS INSTALLED 'R' VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION), THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED DENSITY FOR THE DESIRED 'R' VALUE. SECTION 1403(g) TITLE 24, CAC.

BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SEC. 1403(e) TITLE 24, CAC.

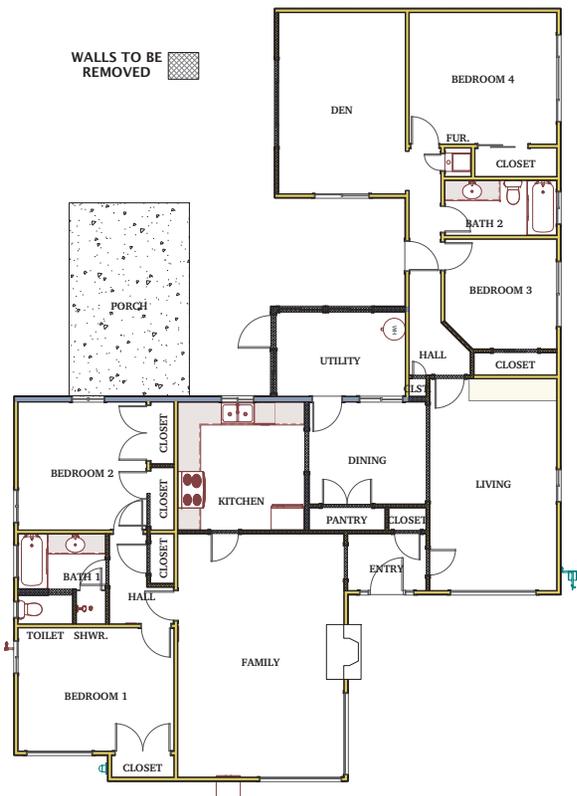
INSULATION SHALL CONFORM TO FLAMESPREAD RATINGS & SMOKE DENSITY REQUIREMENT (C.B.C. 2-5311, SEC. 1712 & 1713)

WALL REMOVAL CALCS

EXISTING EXTERIOR WALLS	264.6 LFT
EXTERIOR WALLS TO BE REMOVED	37 LFT
TOTAL % OF EXTERIOR WALLS REMOVED	14 % (37 LFT)
EXISTING INTERIOR WALLS	294.9 LFT
INTERIOR WALLS TO BE REMOVED	124.8 LFT
TOTAL % OF INTERIOR WALLS REMOVED	42% (124.8 LFT)
TOTAL % OF WALLS REMOVED	56 % (42% + 14%)

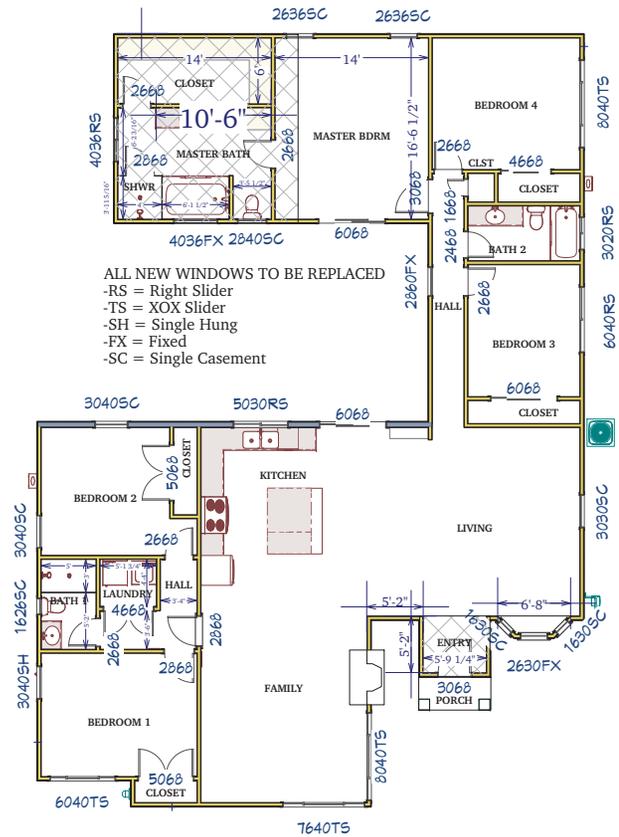


WALLS TO BE REMOVED



(E) FLOOR PLAN
3/16"= 1' - 0"

Plumbing Fixture Efficiency Notes:
 -Water Closet effective flush volume shall not exceed 1.28 gallons per flush.
 -Shower Head max flow rate not to exceed 2.0 gallons per minute at 80 psi.
 -Lavatory max flow rate not to exceed 1.2 gallons per minute at 60 psi, and minimum flow rate not less than 0.8 gallons per minute at 20 psi.
 -Kitchen Faucet max flow rate not to exceed 1.8 gallons per minute at 60 psi, and minimum flow rate (temporary increase shall not exceed 2.2 gallons per minute at 60 psi).



ALL NEW WINDOWS TO BE REPLACED
 -RS = Right Slider
 -TS = XOX Slider
 -SH = Single Hung
 -FX = Fixed
 -SC = Single Casement

(N) FLOOR PLAN/FLOOR AREA DIAGRAM
3/16"= 1' - 0"

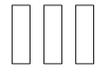
REVISIONS	
#	REVISIONS

(E) & (N) FLOOR PLANS
NOTES

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A 3



Gilbert Fernandez III
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 408-722-0057
 gilbertfernandezdesign.com

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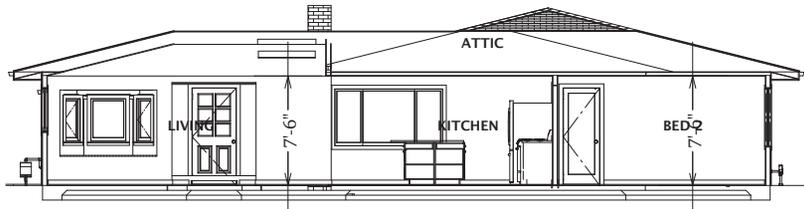
REVISIONS

EXISTING & PROPOSED ROOF PLANS
 CROSS SECTIONS
 NOTES

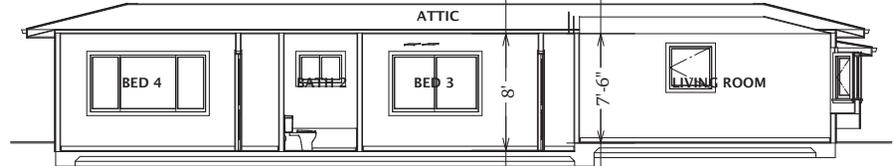
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A 4

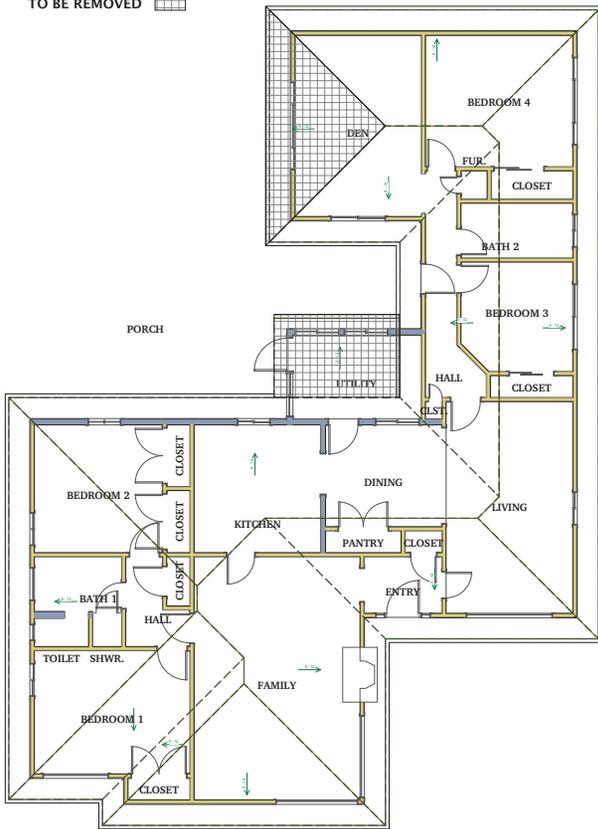


A
A4 CROSS SECTION A
 1/4" = 1' - 0"



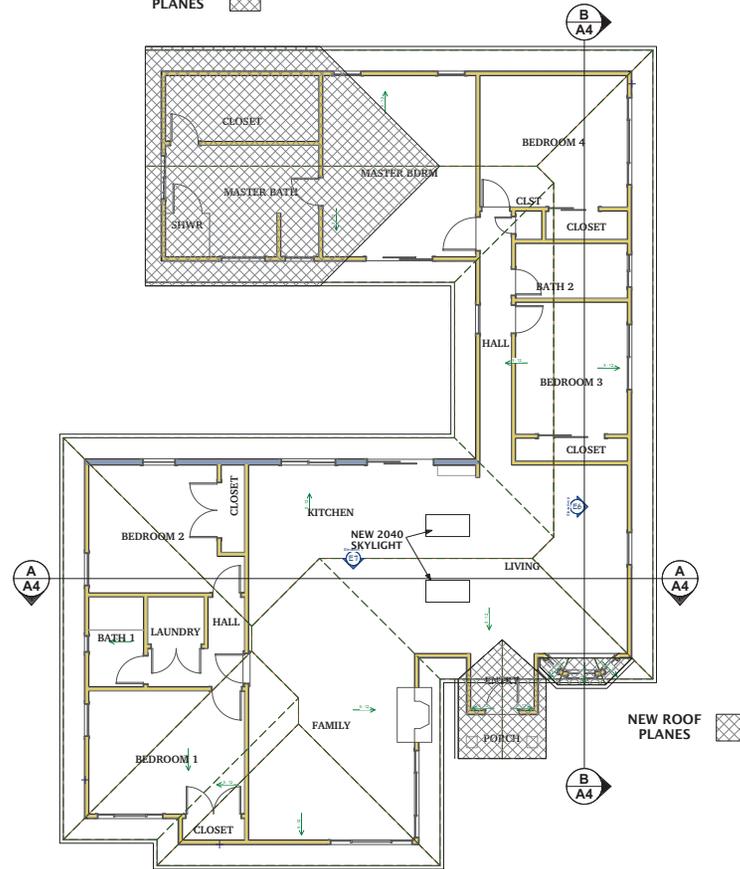
B
A4 CROSS SECTION B
 1/4" = 1' - 0"

(E) ROOF PLANES
 TO BE REMOVED



(E) ROOF PLAN
 3/16" = 1' - 0"

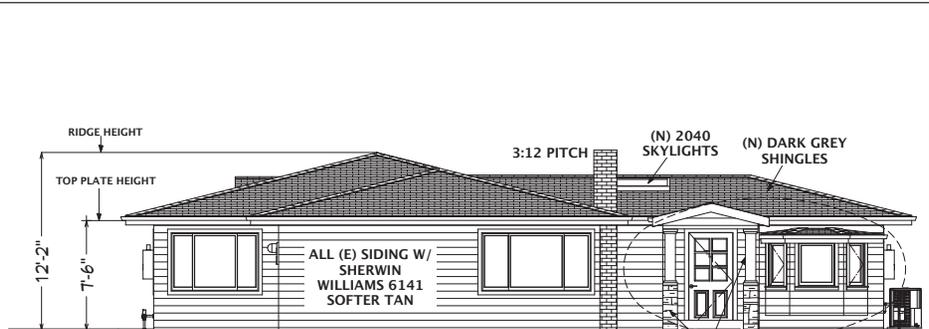
NEW ROOF
 PLANES



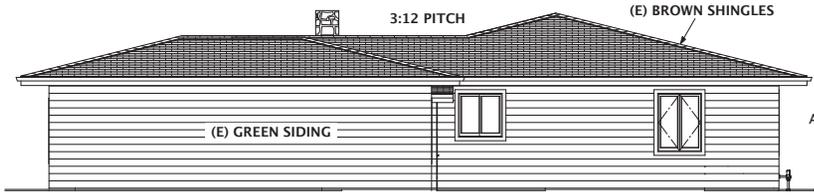
(N) ROOF PLAN
 3/16" = 1' - 0"



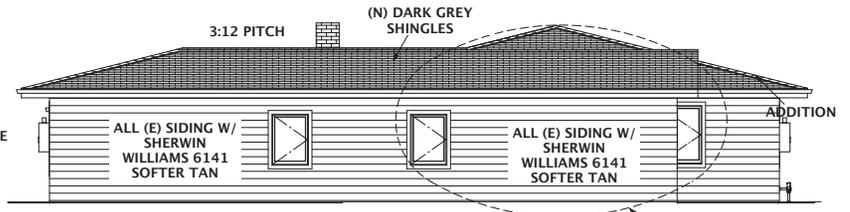
(E) FRONT ELEVATION
1/4" = 1' - 0"



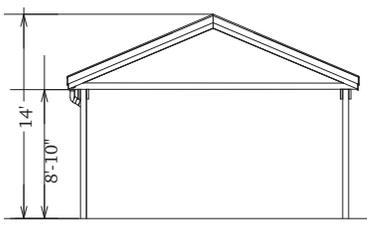
(N) FRONT ELEVATION
1/4" = 1' - 0"



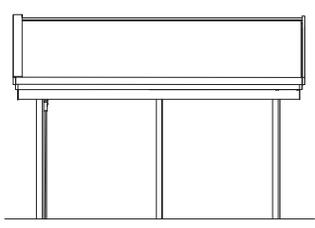
ALL WINDOWS TO BE REPLACED



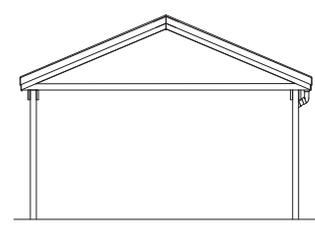
(N) REAR ELEVATION
1/4" = 1' - 0"



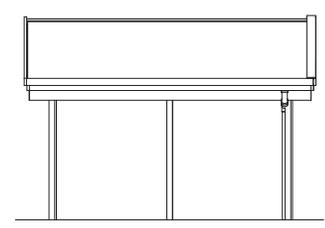
(N) CARPORT FRONT ELEVATION
1/4" = 1' - 0"



(N) CARPORT RIGHT ELEVATION
1/4" = 1' - 0"



(N) CARPORT REAR ELEVATION
1/4" = 1' - 0"



(N) CARPORT LEFT ELEVATION
1/4" = 1' - 0"

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 REVISIONS

(N)&(E) FRONT AND REAR ELEVATIONS

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07/17/2017

A 5



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REVISIONS

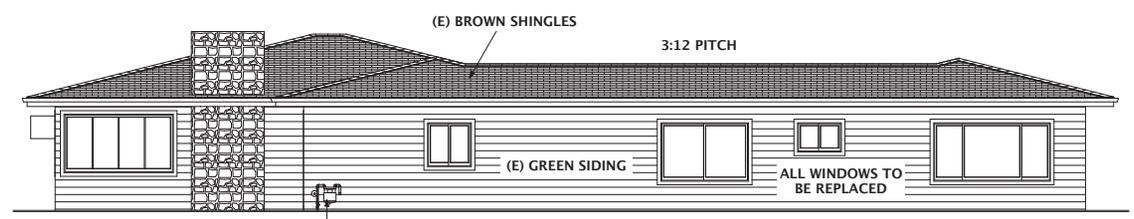
#	REVISIONS

(N)&(E) RIGHT AND LEFT ELEVATIONS
NOTES

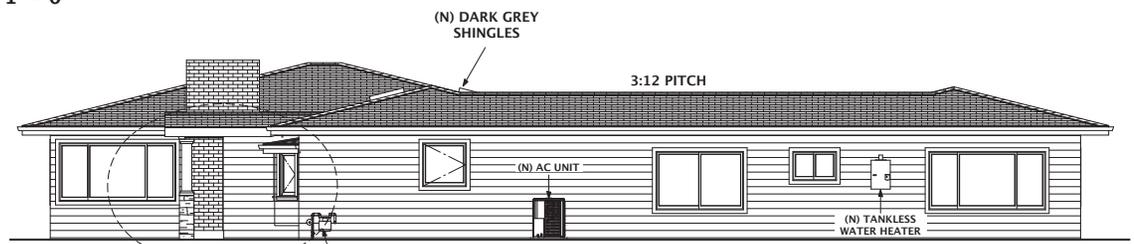
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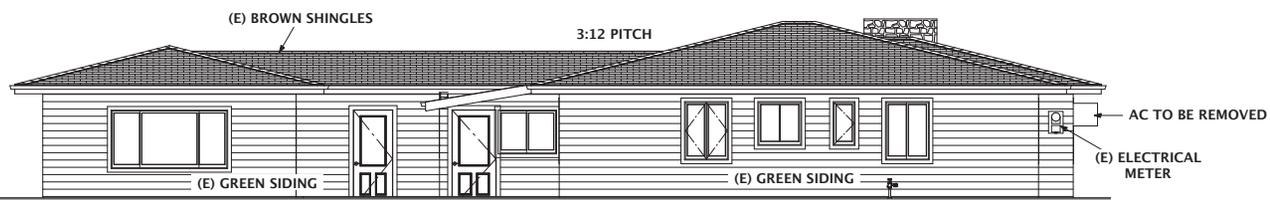
A 6



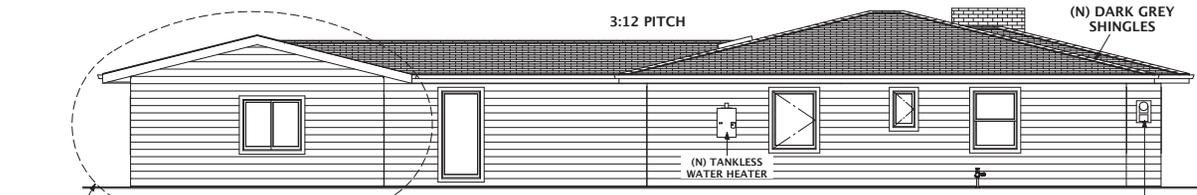
(E) RIGHT ELEVATION
1/4" = 1' - 0"



(N) RIGHT ELEVATION
1/4" = 1' - 0"



(E) LEFT ELEVATION
1/4" = 1' - 0"



(N) LEFT ELEVATION
1/4" = 1' - 0"