



**CITY OF CAMPBELL**  
Community Development Department

July 28, 2017

**NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

**File No.:** PLN2016-274  
**Applicant:** Ora Neinavay  
**Project Address:** 490 Sobrato  
**Property Owner:** Ora Neinavay  
**Zoning District:** Single Family Residential  
**General Plan:** Low Density Residential  
**Project Description:** Admin Site and Architectural Review permit for a single story addition to a home, resulting in a total floor area of 2,519 sq. ft.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on July 31, 2017 and ends on August 9, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 9, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'.

Questions or comments regarding this application may be addressed to Cindy McCormick, Senior Planner, in the Community Development Department, at (408) 871-5103 or by email [cindy@cityofcampbell.com](mailto:cindy@cityofcampbell.com).

# Project Location Map

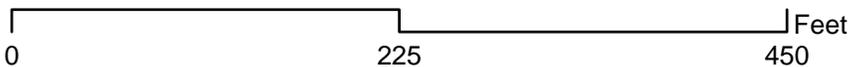


**Project Location:** 490 Sobrato

**Application Type:** Administrative Site and Architectural Review Permit

**Planning File No.:** PLN2016-274

**Description:** Addition to single-family residence



Community Development Department  
Planning Division

**-630.0 SF ADDITION.**  
**-CONVERTING GARAGE TO A LIVING SPACE.**  
**-NEW 383.0 SF GARAGE.**



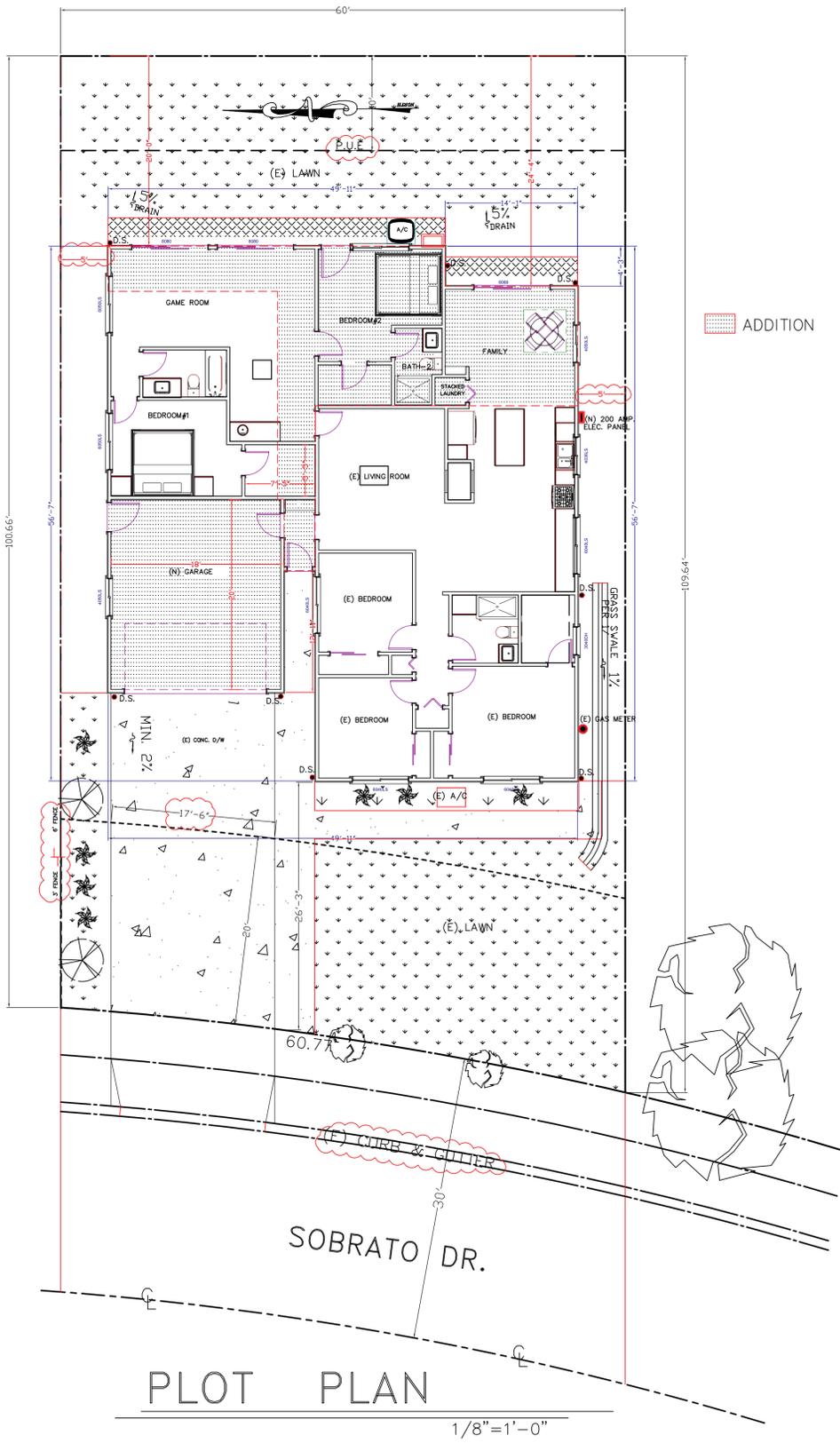
**OWNER:**  
**ORA NEINAVAY**  
**(408)750-4665**

**ADDRESS:**  
**490 SOBRATO DR.**  
**CAMPBELL CA**

THIS PROJECT SHALL COMPLY WITH THE 2016 CBC, CMC, CPC, 2016 CEC, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA FIRE CODE, 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA GREEN BUILDING STANDARD, AND LOCAL ORDINANCE.



**VICINITY MAP**



**PLOT PLAN**

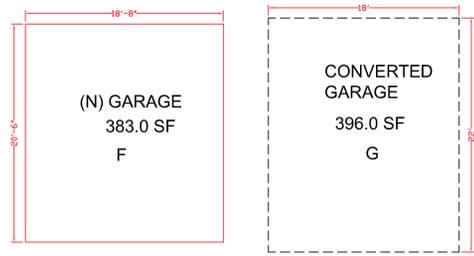
1/8" = 1'-0"

APN # 404-25-071  
 LOT SIZE:  
 GROSS: 6305+30.60.77=8128.1 SF  
 NET: 6305.0 SF  
 ZONING R-1-6 (SAN TOMAS AREA NEIGHBORHOOD)  
 TYPE OF CONSTRUCTION VB

OCCUPANCY GROUP R3/U  
 FIRE SPRINKLER SYSTEM NO  
 SETBACKS Front - 20 ft. / Side - 5 ft. / Rear - 20 ft.  
 ALLOWED  
 (E) LIVING AREA 1110.0 SF  
 (E) CONVERTED GARAGE 396.0  
 (N) ADDITION 630.0 SF  
 TOTAL LIVING AREA 2136.0 SF  
 (N) GARAGE 383.0 SF  
 COVERAGE (2136+383=2519)/6305=0.399  
 FIRE SPRINKLER SYSTEM: NO

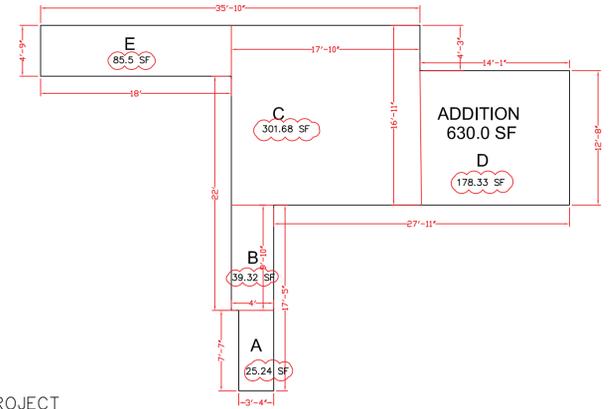
SCOPE OF WORK:  
 -CONVERTING EXISTING GARAGE TO LIVING SPACE.  
 -630 SF ADDITION AT BREEZEWAY & BACK.  
 -NEW 383.0 SF GARAGE.

DEVELOPMENT DATA:	SQUARE FEET		PERCENT OF SITE	
	EXISTING	PROPOSED	EXISTING	PROPOSED
LOT COVERAGE (Net)	1110+396=1506	1506+383+630=2519	23.8%	39.95 %
LOT COVERAGE(Gross)	1506	2519	18.5%	31.0 %
LANDSCAPE COVERAGE	3700.0	2500	58.7%	39.6 %
FRONT YARD PAVING COVERAGE	20'X17.5'=350.0 SF	20'X17.5'=350.0 SF	28.8 %	28.8 %
FLOOR AREA	1110.0	1110+630+396=2136	17.6%	33.8 %



**DESIGN CONSULTANT**

ARCHITECTURAL DESIGN:  
 LAZARI DESIGN  
 6154 ROYAL ACORN PL.  
 SAN JOSE CA 95120  
 PHONE (408) 781-8374  
 FAX (408) 323-9522  
 EMAIL: ELAZARI@COMCAST.NET  
 STRUCTURAL DESIGN:  
 MFA ENGINEERS & ASSOCIATES  
 370 GRAND PARK CIRCLE  
 SAN JOSE CA 95136  
 Tel: (408) 509-3461  
 Fax: (408) 781-8374  
 aliabiani@sbcglobal.net



**SHEET INDEX**

- A1 SITE PLAN & PROJECT INFORMATION
- A1-1 BUILDING & FIRE CONDITIONS
- A1-2 BLUEPRINT FOR A CLEAN BAY EXISTING & DEMO. FLOOR PLANS.
- A3 PROPOSED FLOOR PLAN
- A4 ELEVATIONS
- A5 SECTIONS
- A6 STREETSCAPE PLAN
- A7 T-24
- A8 RESIDENTIAL MANDATORY MEASURES
- A9 GREEN CHECKLIST-1
- A10 GREEN CHECKLIST-2
- G.N. STRUCTURAL NOTES
- S1 FOUNDATION & 1ST FLOOR FRAMING PLAN
- S2 ROOF FRAMING PLAN
- SD1 STRUCTURAL DETAILS
- WSW2 SIMPSON STRONG WALL DETAILS
- WSW4 SIMPSON STRONG WALL DETAILS

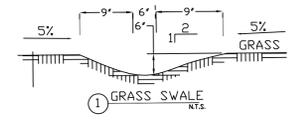
**GENERAL NOTES**  
 1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE DESIGNER OR ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY.  
 2. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE ENGINEER.  
 3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.  
 4. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OR THE OWNER BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.

**DEFINITION OF "SCOPE OF WORK" PER 18.32.010:**

**PER A1:**  
 EXISTING FLOOR AREA = 1110.0 SF  
 EXISTING GARAGE TO BE REMOVED = 396.0 SF  
 TOTAL = 1506.0 SF  
 REMOVED ROOF FRAMING = 396/1506 = 26.3% < 75% AS DEFINED IN 18.32.010

**PER A2:**  
 EXISTING EXTERIOR WALLS = 2X(27.92+39.75)+2X(18+22) = 215.3 FEET  
 EXISTING EXTERIOR WALLS WHICH WILL BE REMOVED = 2X(18+22)+11.58 = 92 FEET  
 EXISTING EXTERIOR WALLS WHICH WILL BE REMOVED = 92/215.3 = 42.7% < 75% AS DEFINED IN 18.32.010

EXISTING INTERIOR WALL TO BE REMOVED = 0.0 FOOT



**LAZARI DESIGN**

6154 ROYAL ACORN PLACE  
 SAN JOSE CA 95120

Tel: (408) 781-8374  
 elazari@comcast.net

OWNER

**MR. PHONE:**

**PROJECT LOCATION:**  
**ORA NEINAVAY**  
**490 SOBRATO DR.**  
**CAMPBELL CA**

REVISIONS	DATE

SCALE: AS SHOWN  
 DRAWN: E. LAZARI

SHEET TITLE:  
**SITE PLAN**

SHEET NO. **A1**

DATE: **MAY 2017**

AT LEAST THREE OF FOUR ITEMS SPECIFIED IN 18.32.010 ARE NOT SATISFIED, THEREFORE BUILDING IS NOT CONSIDERED AS A "NEW DWELLING USING PORTION OF THE ORIGINAL STRUCTURE".

CITY OF CAMPBELL

BUILDING INSPECTION DIVISION – COMMENTS TO THE DEVELOPMENT REVIEW COMMITTEE

DRC: June 1, 2017

ADDRESS: 490 Sobrato Dr. Project Application: **PLN2016-00274**

RECOMMENDATION:

Note: No building code issue has been reviewed at Development Review Committee; it will be reviewed in the Building Permit process. Please be aware that building codes are changing constantly; plans submitted for building permit shall comply with the code in effect at that time. Submit permit application together with required documents to the Building Inspection Division to obtain a building permit. No construction can be commenced without an appropriate building permit.

It is recommended that this item be forwarded to the Planning Commission for review, with the following conditions.

TO THE SATISFACTION OF THE BUILDING DIVISION MANAGER/BUILDING OFFICIAL:

- PERMITS REQUIRED: A building permit application shall be required for the proposed complete remodeling and addition to the existing structure. The building permit shall include Electrical/Plumbing/Mechanical fees when such work is part of the permit.
- PROJECT DESCRIPTION: This project is proposed as a "remodel and addition to an existing dwelling". The scope of work proposed under this project closely reflects the construction of a new single-family dwelling. The Building Inspection Division will not consider this project as new construction, but fees will be calculated based on the comparative similarities to new construction. This project will be reviewed under the provisions of Chapter 18.32 of the City Campbell Municipal Code to determine how this project will be defined at time of submittal for building permit.
- PLAN PREPARATION: Portions of this project require plans prepared under the direction and oversight of a California licensed Engineer or Architect. Plans submitted for building permits shall be "wet stamped" and signed by the qualifying professional person.
- CONSTRUCTION PLANS: The conditions of Approval shall be stated in full on the cover sheet of construction plans submitted for building permit.
- SIZE OF PLANS: The minimum size of construction plans submitted for building permits shall be 24 in. X 36 in.

- SITE PLAN: Application for building permit shall include a competent site plan that identifies property and proposed structures with dimensions and elevations as appropriate. Site plan shall also include site drainage details.
- SEISMIC REQUIREMENTS: Additions and Alterations to (e) residential structures shall comply with Section 3404 of the 2016 California Building Code (CBC).
- TITLE 24 ENERGY COMPLIANCE: California Title 24 Energy Compliance forms shall be blue-lined on the construction plans. 8 1/2 X 11 calculations shall be submitted as well.
- SPECIAL INSPECTIONS: When a special inspection is required by C.B.C. Chapter 17, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the building permits, in accordance with C.B.C Chapter 1, Section 106. Please obtain City of Campbell, Special Inspection forms from the Building Inspection Division Counter.
- The City of Campbell, standard Santa Clara Valley Non-point Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24" X 36") is available at the Building Division service counter.
- APPROVALS REQUIRED: The project requires the following agency approval prior to issuance of the building permit:
  - West Valley Sanitation District (378-2407)
  - Santa Clara County Fire Department (378-4010)
  - School District:
    - Campbell Union School District (378-3405)
    - Campbell Union High School District (371-0960)
    - Moreland School District (379-1370)
    - Cambrian School District (377-2103)

Note: To Determine your district, contact the offices identified above. Obtain the School District payment form from the City Building Division, after the Division has approved the building permit application.

  - Bay Area Air Quality Management District (Demolitions Only)
  - San Jose Water Company (279-7900)
- P.G.& E.: Applicant is advised to contact Pacific Gas and Electric Company as early as possible in the approval process. Service installations, changes and/or relocations may require substantial scheduling time and can cause significant delays in the approval process. Applicant should also consult with P.G. and E. concerning utility easements, distribution pole locations and required conductor clearances.
- INTENT TO OCCUPY DURING CONSTRUCTION: Owners shall declare their intent to occupy the dwelling during construction. The Building Inspection Division may require the premises to be vacated during portions of construction because of substandard and unsafe living conditions created by construction.
- BUILD IT GREEN: Applicant shall complete and submit a "Build it Green" inventory of the proposed new single family project prior to issuance of building permit.
- STORM WATER REQUIREMENTS: Storm water run-off from impervious surface created by this permitted project shall be directed to vegetated areas on the project parcel. Storm water shall not drain onto neighboring parcels.
- This project shall comply with the mandatory requirements for Residential Structures, Chapter 4 of the California Green Building Code 2013 ed.
- This Structure, if classified as a new Single Family Dwelling under Chapter 18.32 of the Campbell Municipal Code, shall be equipped with residential fire sprinklers compliant with Section R313 of the California Residential Code 2016 ed.

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DEVELOPMENTAL REVIEW COMMENTS

Plans and Scope of Review:  
**This project shall comply with the following:**  
 The California Fire (CFC), Building (CBC) and Electrical (CEC) Code, 2016 edition, as adopted by the City of Campbell Municipal Code (CBLMC) and California Code of Regulations (CCR).  
**The scope of this project includes the following:**  
 Addition of 1,409 sqft. and interior modification to an existing 1,110 sqft. one story single family residence with attached garage.  
**Plans Status:**  
 Plans are NOT APPROVED. To prevent plan review and inspection delays, the below noted Developmental Review Conditions shall be addressed as "notes" on all pending and future plan submittals and any referenced diagrams to be reproduced onto the future plan submittal.

- Plan Review Comments:**
- Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
  - Per city of Campbell Municipal Code (CBLMC) 18.32.010 - Definition of "Scope of Work" The building is consider as a new building, therefore, fire sprinkler is required for the proposed project.
  - Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. **Exception:** A one-time addition to an existing building that does not total more than 1,000 square feet of building area. **NOTE:** The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by CBLMC.

CITY	PLANS	SPECS	REV	REEL	AS	OCCUPANCY	CONSTR. TYPE	Applicant/Name	DATE	PAGE
CBL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			Ora Neinavas / Lazari Design	6/20/2017	1 OF 2
SECTION/FLOOR	AREA	LOAD	PROJECT DESCRIPTION		PROJECT TYPE OR SYSTEM					
			Residential Development		Design Review					
NAME OF PROJECT		LOCATION								
SFR		490 Sobrato Dr Campbell								
TABULAR FIRE FLOW		REDUCTION FOR FIRE SPRINKLERS		REQUIRED FIRE FLOW @ 20 PSI		BY Amadkani, Fardean				

Organized as the Santa Clara County Central Fire Protection District  
 Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga



DEVELOPMENTAL REVIEW COMMENTS

- Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33
- Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2010 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

**6. Address identification.** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1

**This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the Fire Code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]**

CITY	PLANS	SPECS	REV	REEL	AS	OCCUPANCY	CONSTR. TYPE	Applicant/Name	DATE	PAGE
CBL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			Ora Neinavas / Lazari Design	6/20/2017	2 OF 2
SECTION/FLOOR	AREA	LOAD	PROJECT DESCRIPTION		PROJECT TYPE OR SYSTEM					
			Residential Development		Design Review					
NAME OF PROJECT		LOCATION								
SFR		490 Sobrato Dr Campbell								
TABULAR FIRE FLOW		REDUCTION FOR FIRE SPRINKLERS		REQUIRED FIRE FLOW @ 20 PSI		BY Amadkani, Fardean				

Organized as the Santa Clara County Central Fire Protection District  
 Serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga

LAZARI DESIGN

6154 ROYAL ACORN PLACE  
 SAN JOSE CA 95120

Tel: (408) 781-8374  
 elazari@comcast.net

OWNER

MR. PHONE:

PROJECT LOCATION:  
 ORA NEINAVAY  
 490 SOBRATO DR.  
 CAMPBELL CA

REVISIONS	DATE

SCALE: AS SHOWN  
 DRAWN: E. LAZARI

SHEET TITLE:  
**BUILDING & FIRE CONDITIONS**

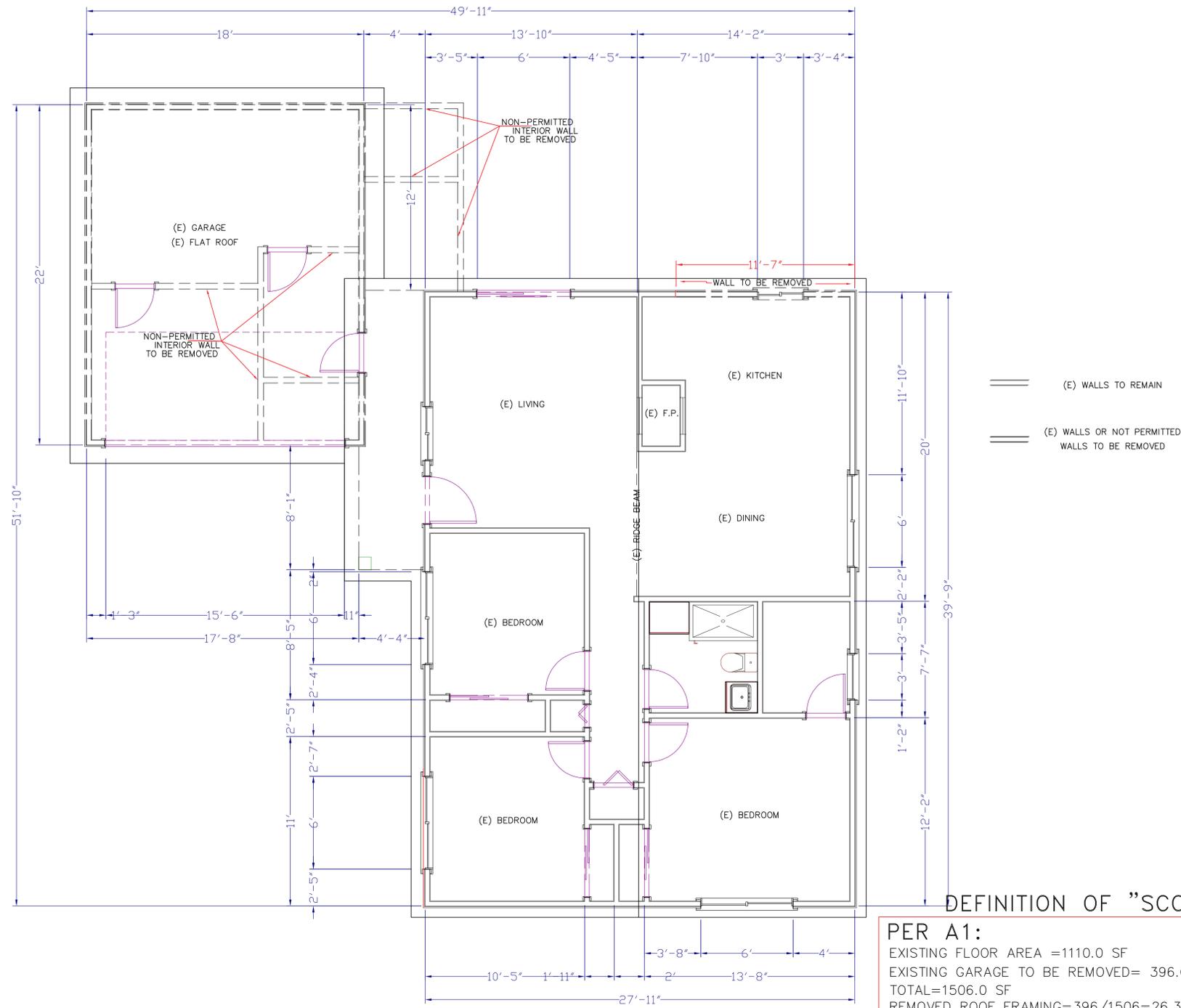
SHEET NO. **A1-1**

DATE: **MAY 2017**

OWNER

**MR. PHONE:**

**PROJECT LOCATION:**  
ORA NEINAVAY  
490 SOBRATO DR.  
CAMPBELL CA



**DEFINITION OF "SCOPE OF WORK" PER 18.32.010:**

**PER A1:**  
 EXISTING FLOOR AREA = 1110.0 SF  
 EXISTING GARAGE TO BE REMOVED = 396.0 SF  
 TOTAL = 1506.0 SF  
 REMOVED ROOF FRAMING = 396/1506 = 26.3% < 75% AS DEFINED IN 18.32.010

**PER A2:**  
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 EXISTING EXTERIOR WALLS WHICH WILL BE REMOVED = 2X(18+22)+11.58 = 92 FEET  
 EXISTING EXTERIOR WALLS WHICH WILL BE REMOVED = 92/215.3 = 42.7% < 75% AS DEFINED IN 18.32.010

**EXISTING INTERIOR WALL TO BE REMOVED = 0.0 FOOT**

**AT LEAST THREE OF FOUR ITEMS SPECIFIED IN 18.32.010 ARE NOT SATISFIED, THEREFORE, BUILDING IS NOT CONSIDERED AS A "NEW DWELLING USING PORTION OF THE ORIGINAL STRUCTURE".**

**EXISTING/DEMO FLOOR PLAN**

1/4" = 1'-0"

REVISIONS	DATE

SCALE: AS SHOWN  
DRAWN: E. LAZARI

SHEET TITLE:  
**EXISTING FLOOR PLAN**

SHEET NO. **A2**

DATE: **MAY 2017**

OWNER

MR. PHONE:

PROJECT LOCATION:  
ORA NEINAVAY  
490 SOBRATO DR.  
CAMPBELL CA

REVISIONS	DATE

SCALE: AS SHOWN  
DRAWN: E. LAZARI

SHEET TITLE:  
PROPOSED FLOOR PLAN

SHEET NO. **A3**

DATE: **MAY 2017**

**# FLOOR PLAN NOTES**

- REFRIGERATOR, PLUMBING FOR ICE MAKER, SELECTION BY OWNER.
- COOK TOP w/ OVERHEAD EXHAUST FAN, SELECTION BY OWNER.
- DISHWASHER w/ SURFACE MOUNT AIR GAP, SELECTION BY OWNER.
- KITCHEN SINK w/ DISPOSAL, SELECTION BY OWNER. KITCHEN HOOD HAS A MIN. 100 CFM EXHAUST RATE, AND HOOD TO HAVE BACKDRAFT DAMPER. IF HOOD IS PART OF INTERMITTENT WHOLE HOUSE FAN VENTILATION SYSTEM, MAX. SOUND RATING OF 3-SONES IS ALLOWED AT 100 CFM. (ASRAE 62.2 AND 2013 ENERGY CODE.)
- TUB / SHOWER w/ TEMPERED GLASS SHOWER ENCLOSURE (MIN. 22" DOOR), SELECTION BY OWNER
- STALL SHOWER/STEAM ROOM w/ TEMPERED GLASS SHOWER ENCLOSURE (22" MIN. DOOR), SELECTION BY OWNER. MIN. SHOWER STALL SIZE 1024 SQUARE INCHES CAPABLE OF ENCOMPASSING A 30" CIRCLE.
- WATER CLOSET, ULTRA LOW FLUSH TOILET (1.28 GALLON/FLUSH), SELECTION BY OWNER.
- LAVATORY, SELECTION BY OWNER.
- ISLAND CABINET TO +36" A.F.F.
- 9" KNEE SPACE BELOW COUNTER TOP.
- HORIZONTAL F.A.U. IN ATTIC ON PLY PLATFORM w/ ELECTRICAL OUTLET AND LIGHT IN ATTIC w/ FULL AIR-CONDITION PREP. (SEE 1/A3)
- F.A.U. IS FOR BOTH FLOORS WITH TWO THERMOSTAT (ZONING SYSTEM).
- 22" X 30" MIN. ATTIC ACCESS OPENING.
- 18" X 24" MIN. UNDERFLOOR ACCESS OPENING.
- 1/2" TYPE "X" GYP. BD. FROM FOUNDATION TO ROOF SHEATHING AT WALL BETWEEN GARAGE AND RESIDENCE ( OR ATTIC SPACES OPEN TO THE RESIDENCE)
- WASHING MACHINE, PROVIDE WATER & WASTE LINES
- DRYER, PROVIDE EXHAUST VENT TO EXTERIOR. -LAUNDRY VENTS MAY BE 4" MIN., EQUIPPED WITH A BACKDRAFT DAMPER AND NO LONGER THAN 14 FT. INCLUDING TWO 90-DEGREE ELBOWS.
- SOLID WOOD, 2-SELF CLOSING W/1 3/8" THICKNESS.
- SKYLIGHT, SEE A5. VELUX AMERICA INC. CITY OF LOS ANGELES CSJ08 62 00 & ER#0199. SEE DET. 2/A3

GREEN APPROVED PRODUCTS			
MATERIAL	NAME	MANUFACTURE	NOTES
CARPET	GLP 9980 CARPET	ATLAS CARPET MILLS	CERTIFIED BY CRI
ADHESIVE	Z95 UNITARY ADHESIVE	ADVANCED ADHESIVE TECHNOLOGIES, INC	ZERO VOC
PAINT	BEHR PREMIUM PLUS	BEHR	ZERO VOC
SEALANT	GE7000 12C-CRTRG	MOMENTIVE	
SIDING	GREAT BARRIER SIDING	GREAT BARRIER	
GLUE & CAULK	DWP-24	LIQUID NAILS	
CABINET		TIMBERLAKE	NAHB,LEED,KCMA CERTIFIED
INTERIOR DOORS	ALL PANEL DOORS	JELD-WEN	NAHB CERTIFIED
AEROSOL PAINTS AND COATINGS	NOT USED	NOT USED	
OSB PLYWOOD	OSB	TRUBORD, HOMEDEPOT	NAHB CERTIFIED
ENGINEERED WOOD	BEAM, JOISTS	WEYERHAEUSER	CALGREEN APPROVED

EXISTING FIXTURES FLOW RATES:  
MAXIMUM ALLOWED REDUCED FLOW RATES FOR EXISTING PLUMBING FIXTURES REQUIRED TO COMPLY WITH CIVIL CODE SECTION 1101.1-1101.8:  
1. 1.6 GALLONS PER FLUSH FOR TOILETS.  
2. 1.0 GALLON PER FLUSH FOR URINALS.  
3. 2.5 GPM FOR SHOWERHEAD.  
4. 2.2 GPM FOR ANY INTERIOR FAUCETS.

MECHANICAL, PLUMBING & ELECTRICAL NOTES:  
-TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3' FROM ANY OPENINGS INTO THE BUILDING (i.e., DRYERS, BATH AND UTILITY FANS, ETC.) MUST BE 3' AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS). CMC 504.5  
-SHOWER SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. CPC 418.0  
-A DEDICATED 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET. CEC 210.11  
-ALL PERMANENTLY INSTALLED HIGH EFFICACY LUMINARIES MUST BE SWITCHED SEPARATELY FROM LOW EFFICACY LUMINARIES.  
-COMPLETED CF-2R-LTG-01-E FORM MUST BE PROVIDED TO CITY BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.

USE ENERGY STAR APPLIANCES IF IT'S APPLICABLE FOR THE APPLIANCES.

-VOC LIMITS OF ADHESIVE, SEALANT CAULKS, PAINTS & COATINGS CONTAINERS SHALL BE ACCORDING TO CGBCS SECTION 4.504.2.1  
-ADHESIVE, SEALANT CAULKS, PAINTS & COATINGS CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR.

CAL GREEN NOTE:  
-FOR DRIVE WAY AND SITE LANDSCAPE RETAINING WALLS USE MIN 20% RECYCLED FLY ASH AND /OR SLAG INSTEAD OF PORTLAND CEMENT.  
-INSTALL HVAC SYSTEM TO ACCA MANUAL J, D AND S.  
-DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. ALSO SEE HVAC NOTES ON #2.  
-USE LOW-VOC INTERIOR WALL/CEILING PAINTS. (<50 GRAMS PER LITER (gpl) VOCs REGARDLESS OF SHEEN).  
-USE LOW-VOC COATINGS THAT MEET SCAQMD RULE 1113. REFER TO CUT SHEET FOR MATERIAL AND PROVIDER'S INFO.  
-USE LOW-VOC CAULKS, CONSTRUCTION ADHESIVES AND SEALANT THAT MEET SCAQMD RULE 1116. REFER TO CUT SHEETS FOR MATERIAL AND PROVIDER'S INFO.  
-REDUCE FORMALDEHYDE IN INTERIOR FINISH-MEET CURRENT CARB AIRBORNE TOXIC CONTROL MEASURE (ATCM)  
FOR COMPOSITE WOOD FORMALDEHYDE LIMITS BY MANDATORY COMPLIANCE DATES. SEE CUT SHEETS FOR DOOR, CABINETRY MATERIAL AND PROVIDER'S INFO.  
-ALL CARPET AND 50% OF RESILIENT FLOORING IS LOW EMITTING. SEE CUT SHEETS FOR MATERIAL & PROVIDER'S INFO.

ELECTRICAL LEGEND	
☉	CEILING MOUNTED LIGHT
☽	WALL MOUNTED LIGHT
Ⓛ	EXHAUST FAN CAPABLE OF PROVIDING 50 CFM/UNIT
Ⓢ	I.C. RATED CAN LIGHT AND CERTIFIED AS AIR TIGHT.
Ⓜ	WATERPROOF OUTLET W/ GROUND FAULT INTERRUPTER
Ⓛ	SINGLE POLE LIGHT SWITCH
Ⓛ	DIMMER
Ⓛ	THREE WAY LIGHT SWITCH
Ⓛ	VACANCY SENSOR SWITCH (manual-on occupancy sensor and motion sensor that complies with CEC section 110.9(b) and shall not have a control that allows the luminaries to be turned on automatically or that has an override allowing the luminaries to be always on.)
Ⓢ	RECEPTACLE
Ⓢ	SMOKE DETECTOR
Ⓢ	PHOTO CELL AND MOTION SENSOR EXTERIOR LIGHT SEE - OUTDOOR LIGHTING - NOTE BELOW.
H.E.	HIGH EFFICACY
—	PENDANT LIGHTS
—	FLUORESCENT LIGHT

**RECESSED LIGHTS NOTE:**  
ALL RECESSED LIGHTS ARE -LED.  
LED LIGHTING SYSTEM AND GU-24 LAMP HOLDER SHALL BE LISTED BY ENERGY COMMISSION AND SHALL MEET THE REQUIREMENTS OF THE TABLE 150-C. ALL LED, HALOGEN, ETC. LAMPS SHALL MEET ENERGY STAR REQUIREMENTS AND THE BOX IS AVAILABLE TO THE INSPECTOR UPON REQUEST.

WATTS	LUMENS/WATTS
5 OR LESS	30
>5 TO 15	45
>15 TO 40	60
OVER 40	90

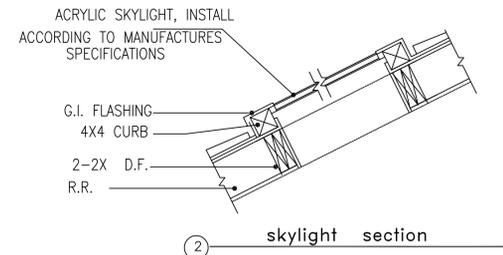
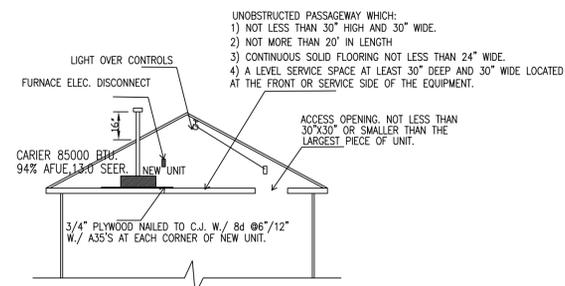
HVAC & ENVIRONMENTAL NOTES:  
-DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SPECIFIED PER SECTION 4.507.2.  
HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.  
-ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.  
-VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE MERV 6 FILTERS OR BETTER.  
Exhaust Fan:  
BATHROOM EXHAUST FANS MUST BE ENERGY STAR COMPLIANT, MUST BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. CGBCS SEC. 4.506

SHOWER NOTES:  
-BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER HEAD AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A SMOOTH, HARD, NONABSORBENT SURFACE. SUCH WALL SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET PER CRC R307.2. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER COMPARTMENT.

FLOW RATE:  
-ALL (N) WATER CLOSETS SHALL BE 1.28 GPM PER FLUSH & KITCHEN FAUCETS 1.8 GPM AT 60 PSI, SHOWERHEADS, 2.0 GPM AT 80 PSI, AND LAVATORY FAUCETS MAX. 1.2 GPM AT 60 PSI AND MIN. 0.8 GPM AT 20 PSI, PER TABLES 4.303.2 HIGH EFFICIENCY CONSUMPTION.  
PLUMBING FIXTURE AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1401.1 CPC.  
CGBCS SEC. 4.506.1  
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS.

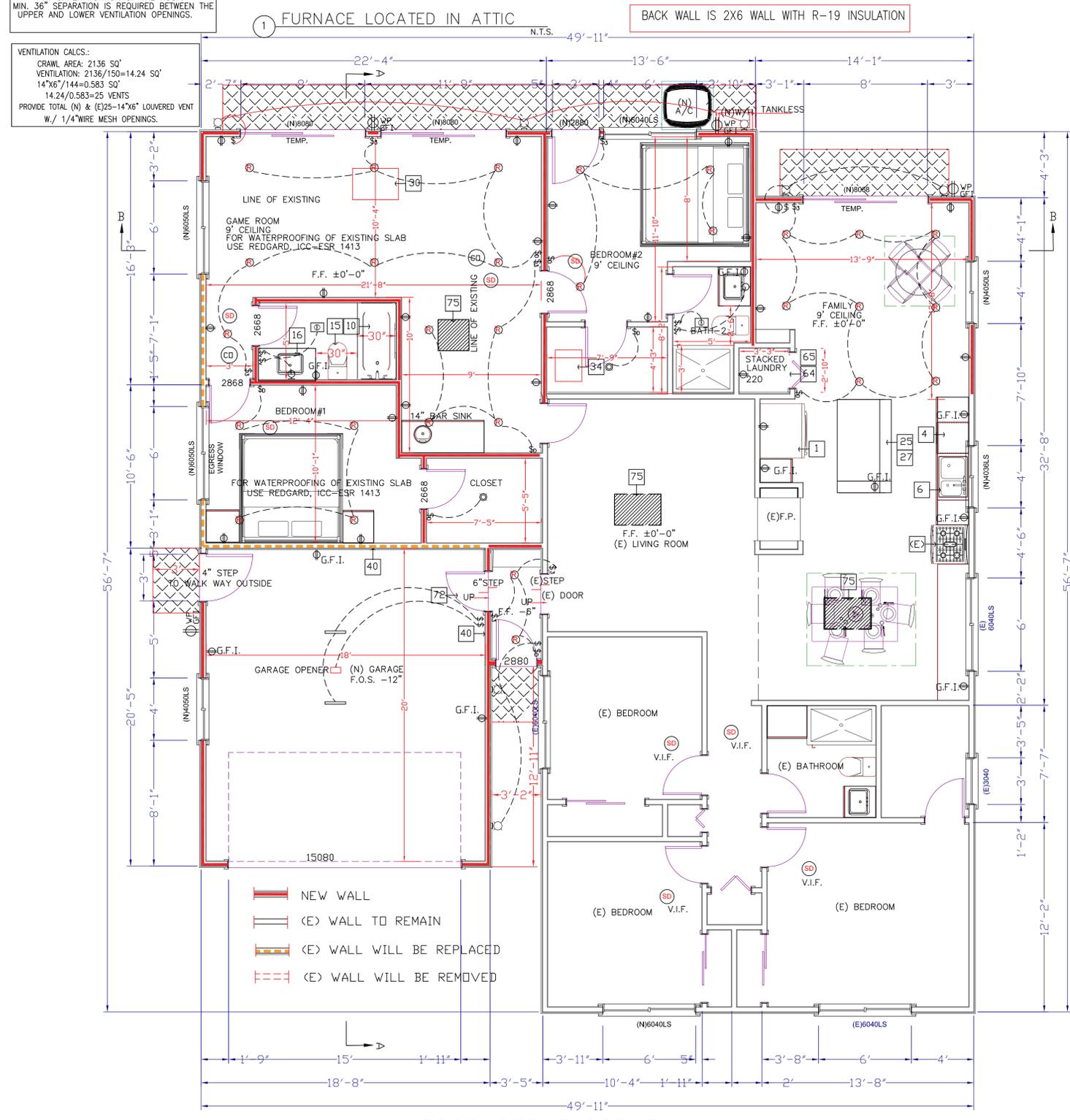
CD CARBON MONOXIDE ALARMS WITH WIRING AND BATTERY BACK-UP AT NEW CONSTRUCTION. -CARBON MONOXIDE DEVICES MUST BE APPROVED AND LISTED BY THE STATE FIRE MARSHAL AND THAT EVIDENCE OF APPROVAL AND LISTING MUST BE PROVIDED TO THE TOWN BUILDING INSPECTOR PRIOR TO INSTALLATION. CRC R315.1.4

ELECTRICAL NOTES:  
-PROVIDE TWO 20-AMP SMALL APPLIANCES BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING, PANTRY OR OTHER SIMILAR AREAS.  
-A DEDICATED 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE BATHROOM RECEPTACLE OUTLETS.  
-ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHEN, (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY, UTILITY, WET BAR SINKS ( WITHIN 6' OF THE EDGE OF THE SINK), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFI) PROTECTION.  
EXTRA ELEC. NOTES:  
-ALL BRANCH CIRCUITS THAT SUPPLYING IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.  
-IN ALL AREAS SPECIFIED IN 210.52, ALL 125-VOLT, 5-AND 20 AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.  
OUTDOOR LIGHTING:  
-OUTDOOR LIGHTING ATTACHED TO THE BUILDING MUST BE HIGH EFFICACY, OR CONTROLLED BY A MANUAL ON/OFF SWITCH WITH MOTION SENSOR OR PHOTO-CONTROL DEVICES. NOTE THAT THE MANUAL SWITCH SHALL NOT OVERRIDE TO-OFF THE AUTOMATIC ACTIONS OF MOTION SENSOR OR PHOTO CONTROLLED DEVICES. NOTE THAT LIGHTING NOT ATTACHED TO THE BUILDING (i.e., LANDSCAPER LIGHTING) IS EXEMPT. CA ENERGY CODE 150(k) 9.



-CALCS. FOR ROOF VENTILATION:  
1409/150=9.4 sq'  
(3.14X1.25X1.25)/3/144=0.102  
9.4/2/102=47 BLOCKS  
PROVIDE 3-2.5" HOLES AT 47 BLOCK  
ALSO PROVIDE 10-12" EYEBROW ROOF VENTS. AT UPPER PORTION OF THE ROOF. MIN. 36" SEPARATION IS REQUIRED BETWEEN THE UPPER AND LOWER VENTILATION OPENINGS.

VENTILATION CALCS.:  
CRAWL AREA: 2136 SQ'  
VENTILATION: 2136/150=14.24 SQ'  
14"x6"/144=0.583 SQ'  
14.24/0.583=25 VENTS  
PROVIDE TOTAL (N) & (E) 25-14"x6" LOUVERED VENT W./ 1/4" WIRE MESH OPENINGS.



PROPOSED FLOOR PLAN

1/4"=1'-0"

OWNER

**MR. PHONE:**

**PROJECT LOCATION:**  
ORA NEINAVAY  
490 SOBRATO DR.  
CAMPBELL CA



**FRONT ELEVATION**

SCALE: 3/16"=1'-0"

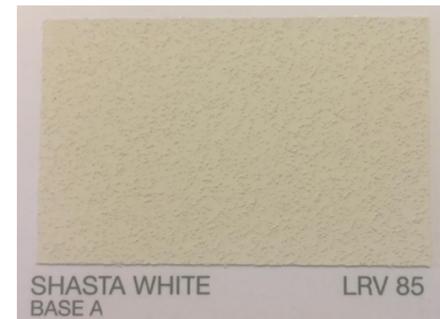


ROOF, COMP. SHINGLE



**REAR ELEVATION**

SCALE: 3/16"=1'-0"



SHASTA WHITE  
BASE A LRV 85

STUCCO COLOR

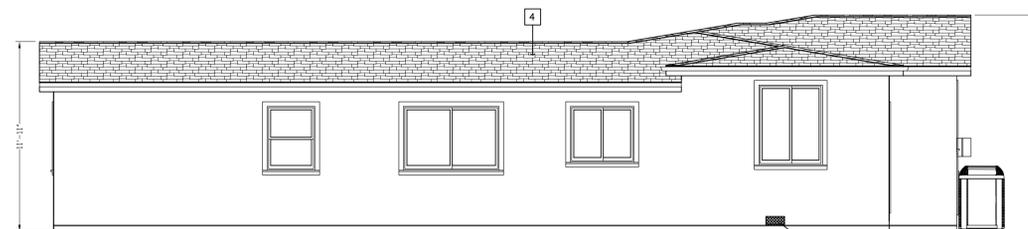


#1090 STORM CLOUD  
BASE B LRV 32

TRIMS COLOR

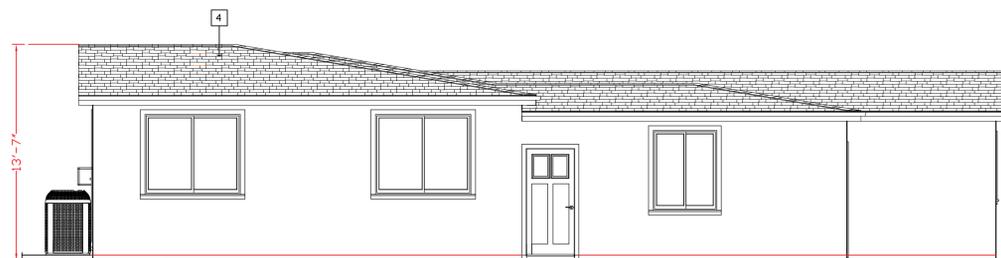
**# EXTERIOR ELEVATION NOTES**

1. EXTERIOR WALLS: 7/8" CEMENT PLASTER, 3 COATS o/ 2 LAYERS OF "D" PAPER o/ PLYWOOD SHEATHING. COLOR: SHASTA WHITE, (LRV 85)
2. EXTERIOR TRIMS: FOAM TRIMS. COLOR: STORM CLOUD (LRV 32)
3. WINDOWS/SLIDING DOORS: INTEGRITY (OR SIMILAR), VINYL WINDOWS, DUAL GLAZED ,SASH COLOR = WHITE. U-FACTOR FOR (N) WINDOWS IS: 0.3 SHGC FOR (N) WINDOWS IS: 0.28
4. ROOFING: COMP. SHINGLE. MIN. CLASS-C
5. FASCIA & GUTTER: SELECTION BY OWNER.



**RIGHT ELEVATION**

SCALE: 3/16"=1'-0"



**LEFT ELEVATION**

SCALE: 3/16"=1'-0"

REVISIONS	DATE

SCALE: AS SHOWN  
DRAWN: E. LAZARI

SHEET TITLE:  
**ELEVATIONS**

SHEET NO. **A4**

DATE: **MAY 2017**

OWNER

**MR. PHONE:**

**PROJECT LOCATION:**  
ORA NEINAVAY  
490 SOBRATO DR.  
CAMPBELL CA

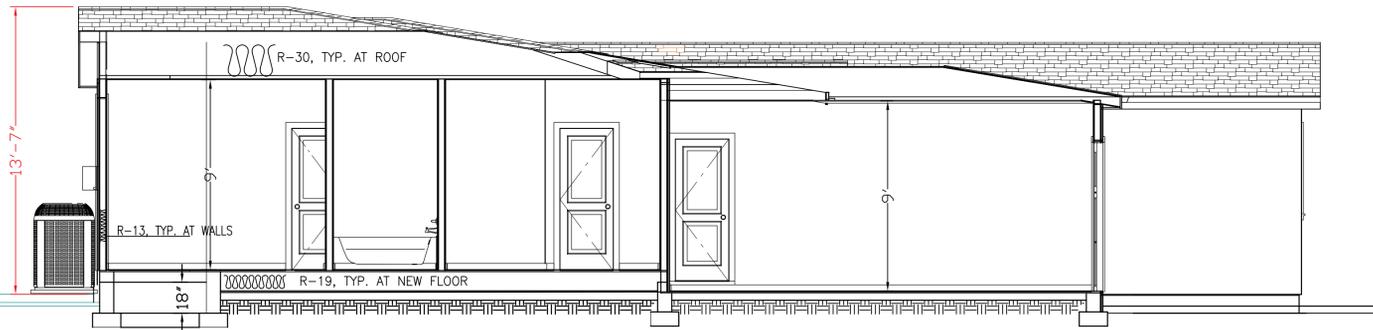
REVISIONS	DATE

SCALE: AS SHOWN  
DRAWN: E. LAZARI

SHEET TITLE:  
**SECTIONS**

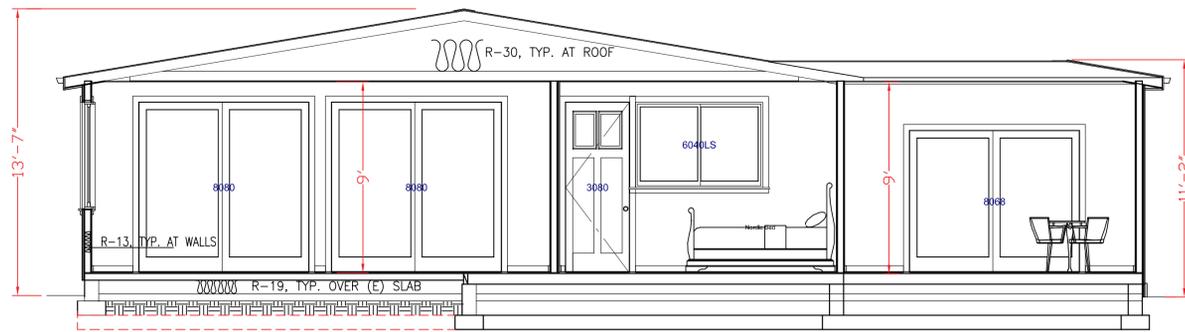
SHEET NO. **A5**

DATE: **MAY 2017**



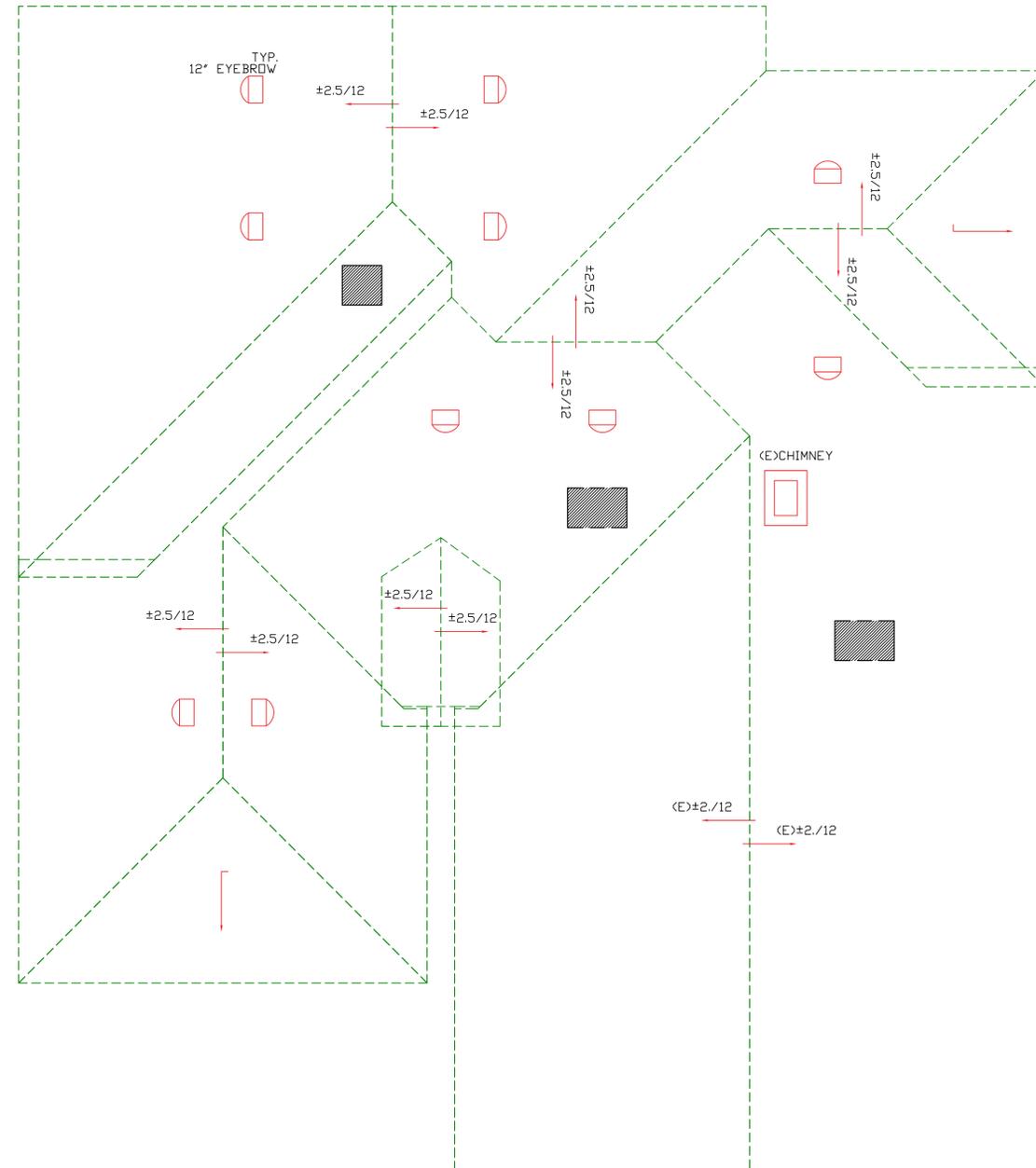
**SECTION A-A**

SCALE: 1/4"=1'-0"



**SECTION B-B**

SCALE: 1/4"=1'-0"



**PROPOSED ROOF PLAN**

1/4"=1'-0"

**LAZARI DESIGN**

6154 ROYAL ACORN PLACE  
SAN JOSE CA 95120

Tel: (408) 781-8374  
elazari@comcast.net

OWNER

**MR.**  
**PHONE:**



**NORTH NEIGHBOR**

SCALE: 1/8"=1'-0"



**PROJECT (490 SOBRATO DR.)**

SCALE: 1/8"=1'-0"



**SOUTH NEIGHBOR**

SCALE: 1/8"=1'-0"

**PROJECT LOCATION:**  
**ORA NEINAVAY**  
**490 SOBRATO DR.**  
**CAMPBELL CA**

REVISIONS	DATE

SCALE: AS SHOWN  
DRAWN: E. LAZARI

SHEET TITLE:  
**STREETSCAPE PLAN**

SHEET NO. **A6**

DATE: **MAY 2017**