



CITY OF CAMPBELL
Community Development Department

August 11, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **August 22, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Holly Hartman for a Site and Architectural Review Permit (PLN2017-130) for the construction of a new single-story single-family residence using portions of an existing home, and a new detached garage on property located at **1019 Audrey Avenue**. Staff is recommending that this project be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1019 Audrey Avenue**

Project Location Map

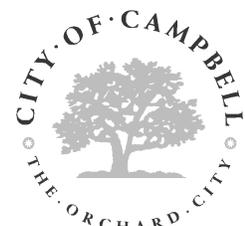
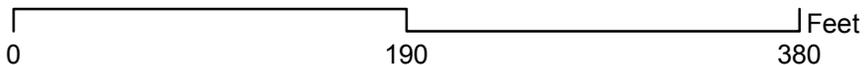


Project Location: 1019 Audrey Avenue

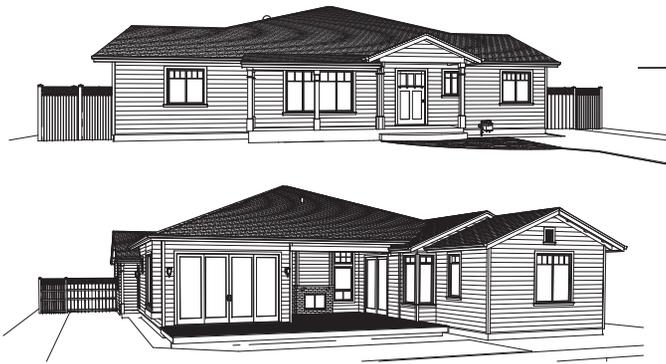
Application Type: Site and Architectural Review Permit

Planning File No.: PLN2017-130

Description: New 2,463 square foot, single-story single family residence with a 480 square foot detached garage and accessory structure in the R-1-10 zoning district.



Community Development Department
Planning Division



PROJECT SUMMARY

ASSESSORS PARCEL NUMBER: 406 - 24 - 004

LOT SIZE: 13,140 Gross sq. ft. (Property to center line of street)
10,950 Net sq. ft.

DEVELOPMENT DATA:

	Square Feet		Percent of Site	
	Existing	Proposed	Existing	Proposed
Building coverage	1,881	3,229	17.1%	29.4%
Landscape coverage	6,356	5,432	58.0%	49.6%
Paving coverage	2,703	2,289	24.7%	20.9%
FLOOR AREA RATIO: Total bldg divided by net lot size	17.1%	28.8%		

ADJACENT LAND USES:

Direction	Use
North	SINGLE FAMILY
South	SINGLE FAMILY
East	SINGLE FAMILY
West	SINGLE FAMILY

PARKING:

# Standard Spaces	# Compact Spaces	# Disabled Spaces	# TOTAL PARKING
			4

RESTAURANT AND ASSEMBLY USES:

Seating Count

RESIDENTIAL PROJECTS:

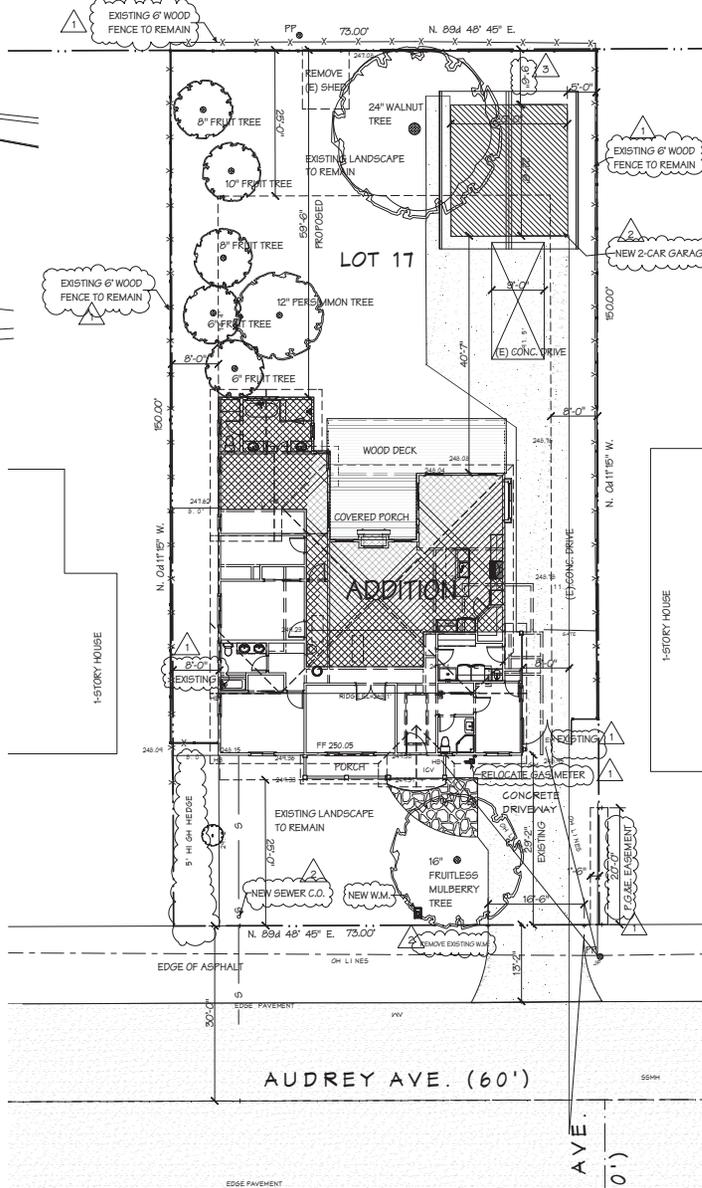
	UNIT TYPE A	UNIT TYPE B	UNIT TYPE C	UNIT TYPE D
Living Area (square footage)	2,463 S.F.			
Garage Area (square footage)	480 S.F.			
Total Area (square footage)	2,943 S.F.			
Number of Bedrooms	4			
Total Number of Units per Type				

4. The following conditions only apply if the applicant has a need to install / upgrade utility services (water, sewer, gas, etc.) in the street:

- Utility Encroachment Permit:** Separate permits for the installation of utilities to serve the development will be required (including water, sewer, gas, electric, etc.). Applicant shall apply for and pay all necessary fees for utility permits for sanitary sewer, gas, water, electric and all other utility work.
- Utility Coordination Plan:** Prior to issuance of building permits for the site, the applicant shall submit a utility coordination plan and schedule for approval by the City Engineer for installation and/or abandonment of all utilities. The plan shall clearly show the location and size of all existing utilities and the associated main lines, indicate which utilities and services are to remain, which utilities and services are to be abandoned, and where new utilities and services will be installed. Joint trenches for new utilities shall be used whenever possible.
- Pavement Restoration:** Based on the utility coordination plan, the applicant shall prepare a pavement restoration plan for approval by the City Engineer prior to any utility installation or abandonment. Streets that have been reconstructed or overlaid within the previous five years will require boring and jacking for all new utility installations. **Audrey Avenue** has not been reconstructed or overlaid in the last 5 years. The pavement restoration plan shall indicate how the street pavement shall be restored following the installation or abandonment of all utilities necessary for the project.

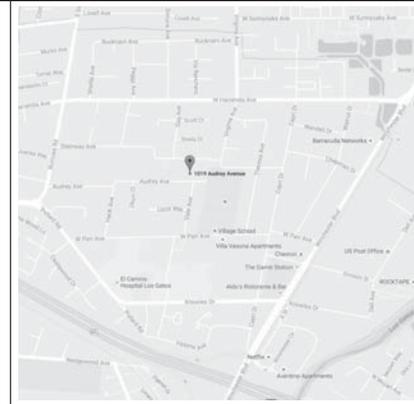
SHEET INDEX

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A-5	CROSS SECTIONS
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SITE PLAN

1" = 10'-0"



VICINITY MAP

A.P.N.: 406 - 24 - 004
 ZONING: R 1 - 10 (SAN TOMAS AREA PLAN)
 LOT SIZE: 10,950 S.F.
 EXISTING HOUSE: 1,784 S.F.
 EXISTING HOUSE REMOVED: 73.5 S.F.
 REMAINING EXIST. HOUSE: 1,710.5 S.F.
 ADDITION: 752.5 S.F.
 TOTAL HOUSE: 2,463 S.F.
 BACK PORCH: 170 S.F.
 FRONT PORCH: 97 S.F.
 SIDE PORCH: 19 S.F.
 NEW GARAGE: 480 S.F.
 LOT COV. ALLOWED: 10,950 X .35 = 3,832 S.F.
 PROPOSED: 3,229 = 29.4%
 F.A.R. ALLOWED: 10,950 X .45 = 4,927 S.F.
 PROPOSED: 2,943 = 26.8%

TYPE OF CONSTRUCTION: VB
 OCCUPANCY GROUP: R-3, U
 THIS PROJECT SHALL COMPLY WITH 2016 CBC, CBC, CMC, CPC, CEC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.

SITE DATA

- Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exceptions: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CBC Sec. 313.2 as adopted and amended by CBLMC.
- Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CBC, Chapter 33 and our Standard Detail and Specification S8-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CBC Chap. 33
- Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected to any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 131142.

REVISIONS BY

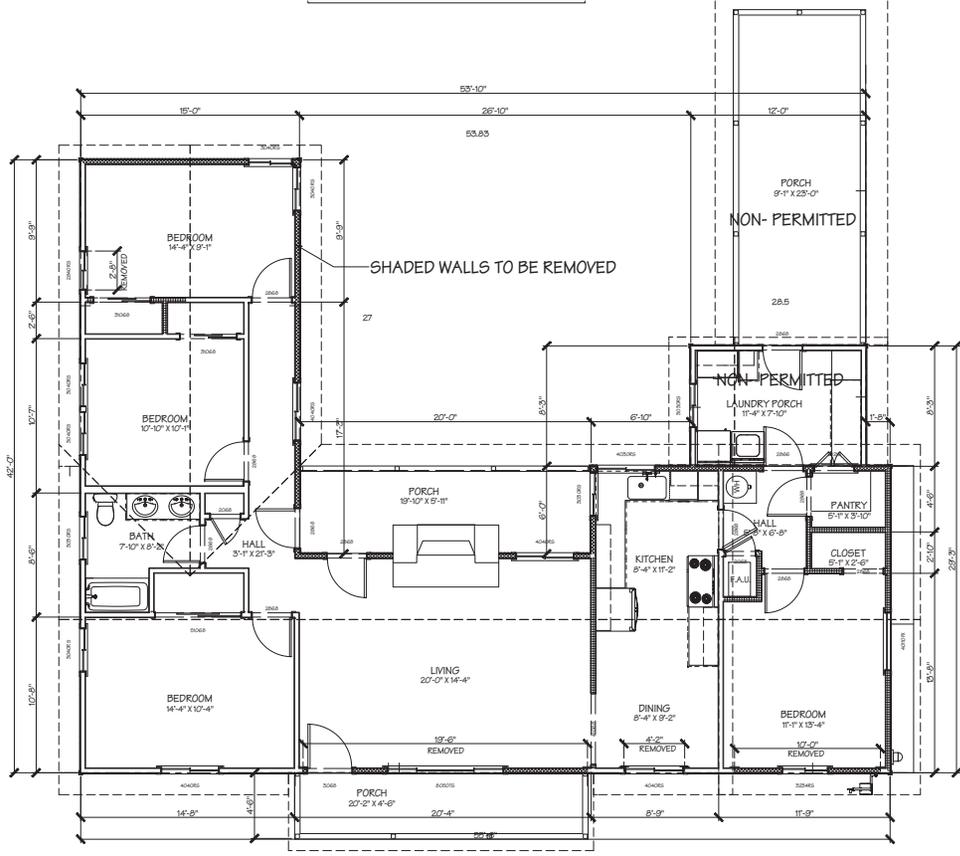
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PLANNING	6-29-17	▲
PLANNING	7-24-17	▲

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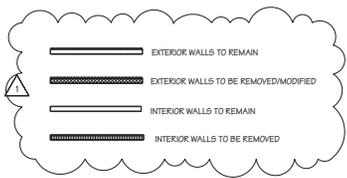
ADDITION & REMODEL FOR:
ADAM & MEGAN SCOFIELD
 1019 AUDREY AVENUE, CAMPBELL, CA 95008

Date: 4-12-17
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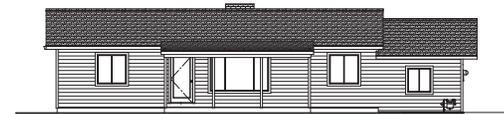
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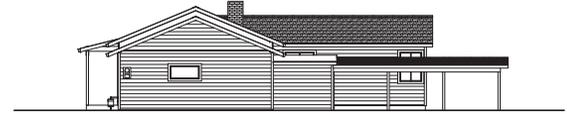
LIVING AREA
1784 SQ. FT.



EXISTING & DEMO FLOOR PLAN



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



REVISIONS	BY
PLANNING 5-23-17	▲
PLANNING 6-28-17	▲
PLANNING 7-24-17	▲

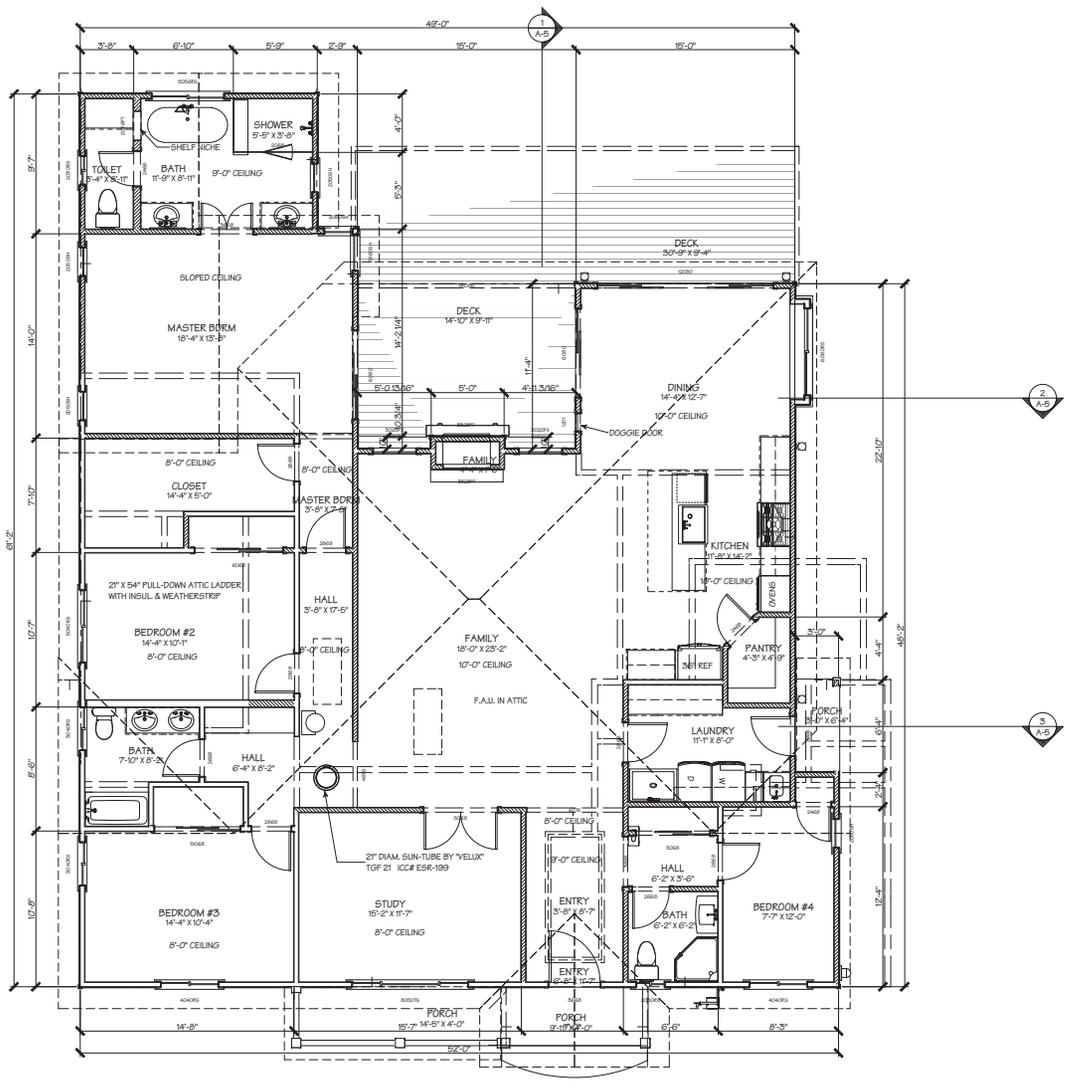
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ADDITION & REMODEL FOR:
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Date	4 - 12 - 17
Scale	1/4" = 1'-0"
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of	Sheets

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE
- ADJUST DIMENSIONS TO ALIGN WITH EXISTING CONDITIONS IN THE FIELD, WHERE APPLICABLE.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY.
- ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE POSTED AND PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.
- SLOPE FINISH GRADE AT 1/8" MIN. FOR 10' AWAY FROM HOUSE & 1/4" MIN. TO AN APPROVED FACILITY. FLATWORK AT 1/8" AWAY FROM STRUCTURE.
- PROVIDE NON-REMOVABLE BACK-FLOW PROTECTION AT ALL EXTERIOR HOSE BIBBS
- PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS, ALL WINDOW OPENINGS OF 5/8" MIN. CLEAR HEIGHT, 20" MIN. CLEAR WIDTH, 5/7 SQ. FT. MIN. AREA, WITH 44" MINIMUM TO BOTTOM OF THE OPERABLE AREA.
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (I.E. DRYERS, BATH & UTILITY FANS, ETC.) SHALL BE A MINIMUM OF 3 FEET AWAY FROM ANY OPENINGS INTO THE BUILDING (DOORS, WINDOWS, OPENING SKYLIGHTS, OR ATTIC VENTS)
- ALL AIR DUCTS PENETRATING A SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GA. MINIMUM
- ALL EXHAUST FANS SHALL BE "ENERGY STAR" AND SEPARATELY SWITCHED WITH TIMER OR HANDBUST SWITCHES AND CAPABLE OF 5 AIR CHANGES PER HOUR (MIN. 50 CFM) AT BATHS, TOILETS, AND LAUNDRY
- ALL WATER CLOSETS SHALL BE MINIMUM 120 GALLONS PER FLUSH
- PROVIDE A SMOOTH, HARD, NONABSORBENT SURFACE OVER FIBER BOARD TO A MINIMUM HEIGHT OF 72" ABOVE THE DRAIN INLET AT SHOWERS & TUBSHOWERS (NO GREEN BOARD). INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- SHOWER AND TUBSHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCE ANTI-SCALD VALVES TO 120°F MAX.
- SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 1500 SQUARE INCHES, SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH CIRCLE, AND OUTWARD SWING 22" MIN. DOOR
- ALL UNDER FLOOR PLUMBING CLEANOUTS SHALL BE WITHIN 20" OF THE UNDER FLOOR ACCESS, OR EXTENDED TO THE EXTERIOR
- KITCHEN SHALL HAVE SEPARATE CIRCUITS FOR DISPOSAL, DISHWASHER, & TWO (2) 20 AMP CIRCUITS LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS
- ELECTRIC DRIVERS AND COOK TOPS SHALL HAVE A DEDICATED 30 AMP CIRCUIT. PROVIDE WIRES WITH INSULATED NEUTRAL
- LAUNDRY ROOM AND BATHROOM COUNTERTOP OUTLETS SHALL BE EACH SUPPLIED WITH A DEDICATED 20 AMP CIRCUIT
- ALL ELECTRIC SWITCHES SHALL BE ON THE SCREEN SIDE OF THE GROUND.
- ALL BRANCH CIRCUITS IN ALL ROOMS OTHER THAN BATHS SHALL BE PROTECTED BY COMBINATION AFCI-FAULT CIRCUIT INTERRUPTERS INSTALLED IN A READILY ACCESSIBLE LOCATION (E.G. 201.10.2)
- LIGHT FIXTURES LOCATED OVER OR WITHIN 18" OF TUBS OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"
- A PERMANENT LABEL SHALL IDENTIFY EACH PANE OF SAFETY GLAZING
- 1-24 INSTALLATION CERTIFICATE (OF 28-110-01-E) SHALL BE SUBMITTED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTION.
- RECESSED LUMINAIRES IN INSULATED CEILING SHALL BE AT 1 & 1/2" RATED, ELECTRIC BALLAST AND CALLED 18" HIGH
- DRYER EXHAUST VENTS SHALL BE PER MANUFACTURER REQUIREMENTS OR MAX. 14' IN LENGTH, TERMINATING 2' CLEAR OF ANY OPENING
- JOISTS AND BEAMS OF DUCT SYSTEMS SHALL BE SEALED WITH UL 181 LISTED DUCT TAPE, AND INSULATED WITH R-6 MIN.
- ALL PENETRATIONS INTO UNCONDITIONED SPACE (ATTICS, UNDER FLOORS, ETC.) SHALL BE CALKED, GASKETED, WEATHERSTRIP, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
- ALL PENETRATIONS IN TOP PLATES, FLOORS, ETC. SHALL BE CALKED WITH A RESIDENTIAL FIRE RATED CALK WITH AN ASTM E836 OR E834 RATING
- EGRESS WINDOWS WITH MULTIPLE LATCHES SHALL HAVE THEM INTERCONNECTED AND OPERABLE FROM THE LOWEST LATCH.
- SHOWER ENCLOSURE DOORS SHALL OPEN OUT WITH A CLEAR OPENING OF 22" MIN. IN THE OPEN POSITION
- 31.
- ALL 15-AMP AND 20-AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED FINGER-RESISTANT RECEPTACLES (IEC 406.10)
- MAIN ENTRY DOOR SHALL BE OPERABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
- VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE A MERV-6 FILTER OR BETTER.
- PROVIDE STATE ARCHITECT CERTIFIED EARTHQUAKE-ACTUATED GAS SHUT OFF VALVES AT ALL NEW, RELOCATED, AND REPLACED GAS UTILITY METERS.
- PROVIDE A DEDICATED 20 AMP CIRCUIT FOR EACH FAN MOTOR (F.A.U., EXHAUST, ETC.)
- PROVIDE LISTED 10V INTERCONNECTED WITH BATTERY BACKUP SMOKE/ CARBON MONOXIDE DETECTORS AS SHOWN (IEC 294.3, 304.5)
- A GAS PIPING LAYOUT PLAN SHALL BE PROVIDED TO THE FIELD INSPECTOR BY THE CONTRACTOR AT TIME OF INSPECTION.
- FOR ANY LED LIGHTS TO QUALIFY AS HIGH EFFICACY LIGHTS, THEY MUST BE CERTIFIED BY THE ENERGY COMMISSION AND LISTED IN THEIR DATABASE AT <http://www.applianceenergy.ca.gov/>. PROVIDE TO THE FIELD INSPECTOR EVIDENCE OF CERTIFICATION FOR ALL HIGH EFFICACY LED LIGHTS AS SELECTED BY THE OWNER.
- ALL PLASTIC PIPE AND FITTINGS SHALL MEET THE NATIONAL SANITATION FOUNDATION AND STANDARDS REFERENCED IN TABLE 7001 OF THE 2016 CPC (COMB-1-300.5)
- ALL PIPE, TUBE, SOLVENT, CEMENT, THREAD SEALANT, SOLDER AND/OR FLUX AND FITTINGS FOR POTABLE WATER SYSTEMS SHALL MEET THE NATIONAL SANITATION FOUNDATION STANDARDS AND OF THE 2016 CPC 6041
- ALL GAS LINE PRESSURE TESTING SHALL BE AT 10 PSI FOR 15 MINUTES AND WELDED PIPING @ 60 PSI FOR 30 MINUTES. CPC 1215.3



NEW FLOOR PLAN

SYMBOLS & LEGEND	
	EXISTING WALLS TO REMAIN
	WALLS TO BE REMOVED
	NEW WALLS
	1-HOUR FIRE WALLS
	AFCI PROTECTED DUPLEX OUTLET
	220V OUTLET
	GFCI PROTECTED OUTLET
	GFCI PROTECTED WEATHERPROOF OUTLET
	WALL SWITCH (FLOORES, LED ONLY)
	WALL SWITCH, MANUAL ON, AUTO OFF
	TIMER OR HANDBUST WALL SWITCH
	DIMMER WALL SWITCH
	2-WAY WALL SWITCH (FLOORES, LED ONLY)
	WALL MOUNT L.E.D. LIGHT
	CEILING MOUNT L.E.D. LIGHT
	CEILING MOUNT FLOORES, LIGHT
	UNDER CAB. FLOORES, LIGHT
	RECESSED L.E.D. LIGHT
	HEATER REGISTER
	SMOKE DETECTOR (A.C. D.C.) INTERCONNECTED
	LISTED CARBON MONOXIDE DET. (A.C. D.C.) INTERCONNECTED
	EXHAUST FAN, ENERGY STAR/VENTED TO OUTDOORS
	CEILING FAN

REVISIONS	BY
PLANNING 5-23-17	
PLANNING 6-28-17	
PLANNING 7-24-17	

HOMETEC ARCHITECTURE, INC.	
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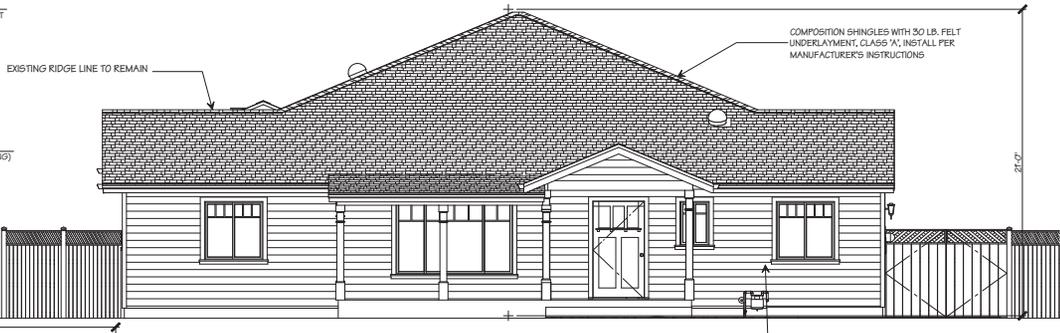
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Scale	1/4" = 1'-0"
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Sheet	A-3
of	Sheets



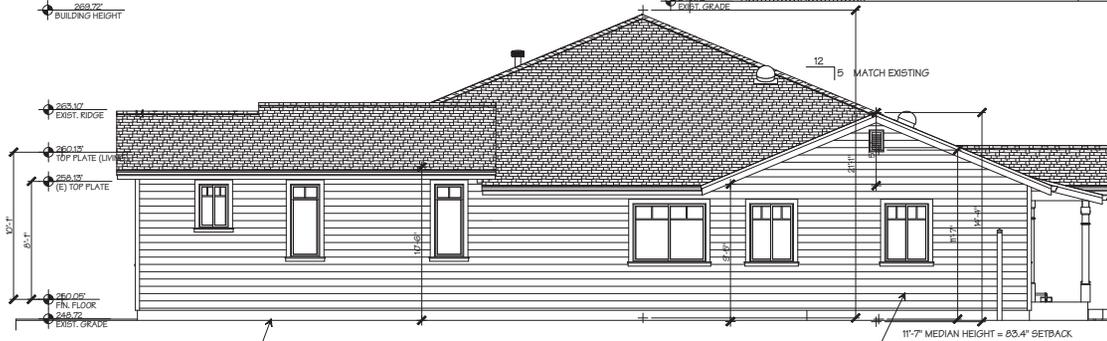
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6. Address identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1

269.72' BUILDING HEIGHT
 263.17' EXIST. RIDGE
 260.13' TOP PLATE (LIVING)
 258.13' (E) TOP PLATE
 260.05' FIN. FLOOR
 248.72' EXIST. GRADE



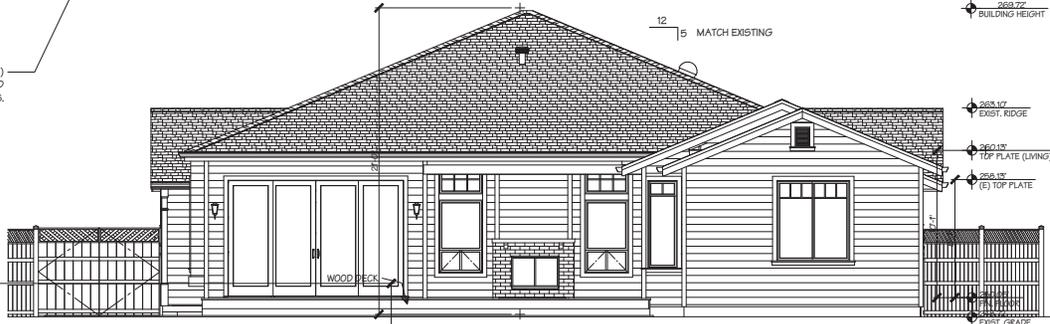
SOUTH ELEVATION



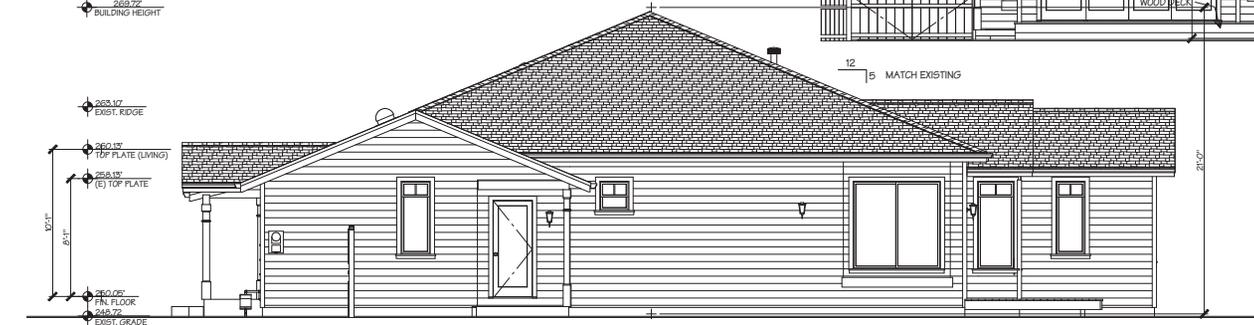
WEST ELEVATION

SLOPE FINISH GRADE AT 5% MIN. FOR 12' AWAY FROM HOUSE & 1% MIN. TO AN APPROVED FACILITY

8\"/>



NORTH ELEVATION



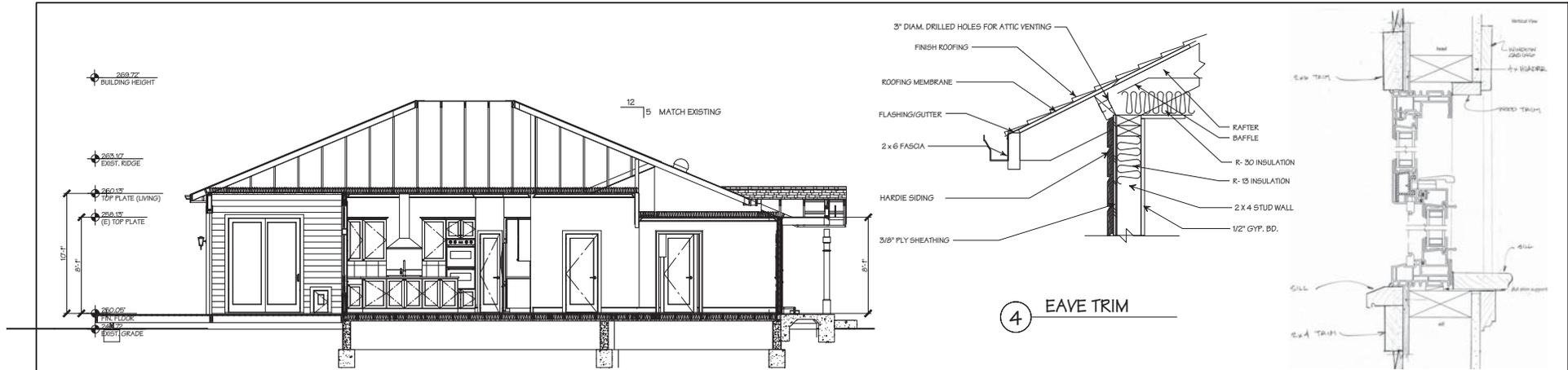
EAST ELEVATION

REVISIONS	BY
PLANNING	▲
5-23-17	▲
PLANNING	▲
5-23-17	▲
PLANNING	▲
7-24-17	▲

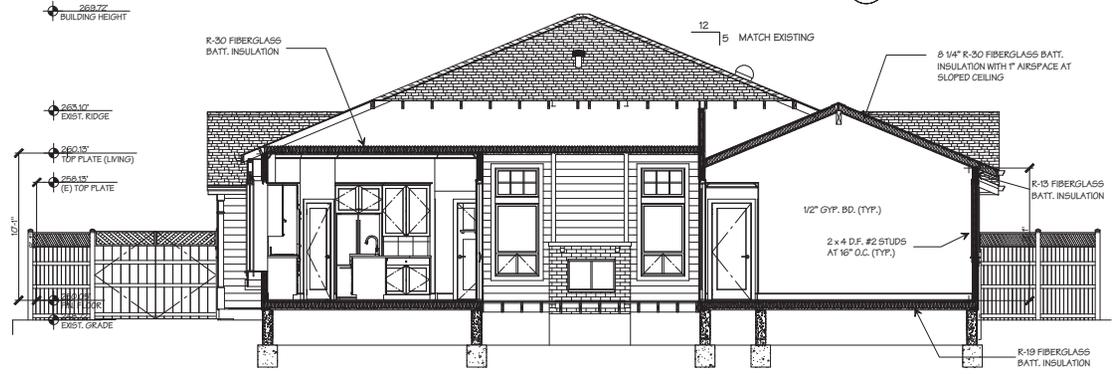
HOMETEC
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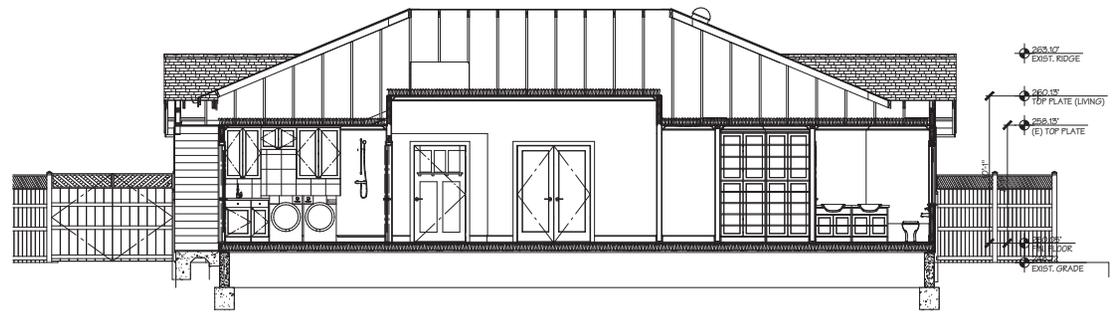
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A-4
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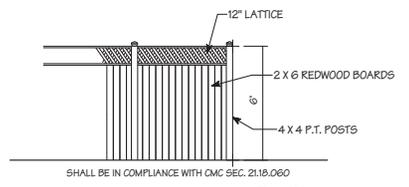
1 SECTION



2 SECTION



3 SECTION



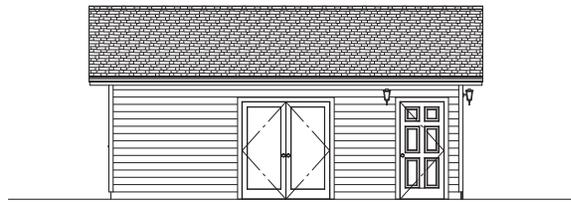
6 WOOD FENCE
AS REQUIRED

REVISIONS	BY
PLANNING 5-23-17	▲
PLANNING 6-28-17	▲
PLANNING 7-24-17	▲

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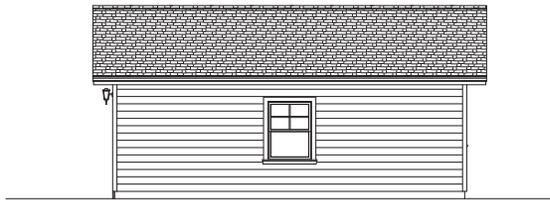
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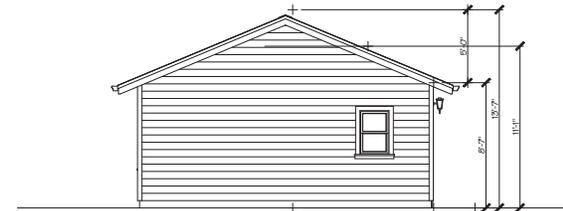
WEST ELEVATION



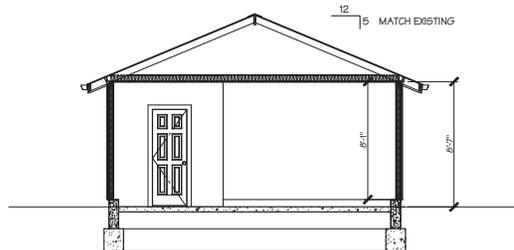
SOUTH ELEVATION



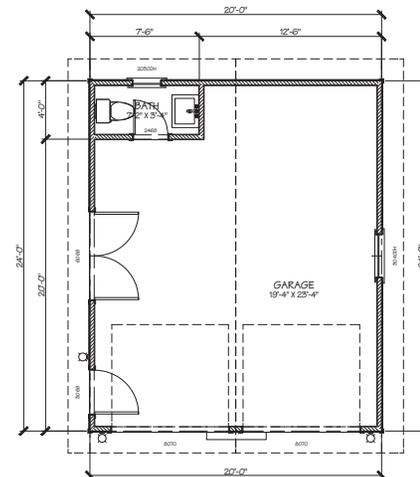
EAST ELEVATION



NORTH ELEVATION



SECTION



GARAGE AREA
480 SQ FT



GARAGE FLOOR PLAN

REVISIONS	BY
PLANNING 5-23-17	▲
PLANNING 6-28-17	▲
PLANNING 7-24-17	▲

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Sheet
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