



CITY OF CAMPBELL
Community Development Department

September 8, 2017

NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

File No.:	PLN2017-256
Applicant:	Taeho Um
Project Address:	1730 Silacci Dr.
Property Owner:	Sekwan Oh / Soojin Han
Zoning District:	R-1-6 (Single-Family Residential)
General Plan:	Low Density Residential
Project Description:	36 square-foot addition (fill-in of front porch) to an existing single-family residence.

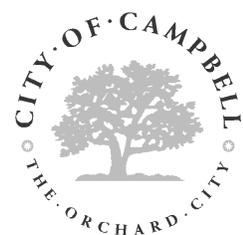
This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on September 8, 2017 and ends on September 18, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **September 18, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@cityofcampbell.com.

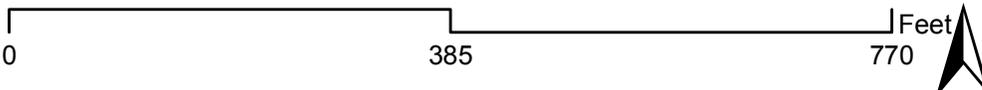
Project Location Map



Project Location: 1730 Silacci Dr.
Application Type: Admin. Site and Arc. Permit
Planning File No.: PLN2017-256



Community Development Department
Planning Division



OH'S RESIDENCE REMODEL AND ADDITION

1730 Silacci Drive
Campbell, CA 95008



VICINITY MAP

GENERAL NOTES :

- ALL WORK SHALL CONFORM TO THE CITY'S ORDINANCES AND THE CITY CURRENTLY ADOPTED UNIFORM CODES AND CALIFORNIA CODES 2016 CBC, 2016 CPC, 2016 CMC AND 2016 CEC.
- CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL EXISTING CONDITIONS WITH THE DESIGN PRIOR TO STARTING WORK. IF THERE EXIST ANY DISCREPANCY, NOTIFY THE DESIGNER FOR FURTHER INSTRUCTION.
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE EXACT SCOPE OF WORK, METHOD OF OPERATION AND THE TIME IN WHICH THE WORK SHALL BE PERFORMED AND MUST BE APPROVED BY THE OWNER PRIOR TO STARTING WORK.
- NEW EXTERIOR WINDOWS / GLASS DOORS SHALL BE WEATHER TIED WITH WEATHER SEAL / STRIPS PER TITLE 24.

CONTRACTOR NOTE

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EXISTING UTILITIES, AMENITIES AND SITE IMPROVEMENTS DURING CONSTRUCTION, WHETHER OR NOT SHOWN ON DRAWINGS OR UNCOVERED DURING WORK.
- THE CONTRACTOR SHALL AT ALL TIMES, KEEP THE CONSTRUCTION SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY CONTRACTOR'S OPERATIONS.
- IF ANY ASBESTOS OR KNOWN MATERIALS CONTAINING ASBESTOS ARE DISCOVERED, THE CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, AS REQUIRED FOR THE REMOVAL OF THESE CONDITIONS PRIOR TO THE BEGINNING OF THIS PROJECT. IF THE CONTRACTOR PARTICIPATES IN ANY PORTION OF THE REMOVAL PROCESS IN HIS COORDINATION WITH THE OWNER, THEN THE CONTRACTOR WILL PROVIDE THE OWNER WITH A WRITTEN STATEMENT RELEASING THE OWNER OF ANY FUTURE LIABILITY FROM THE CONTRACTOR, HIS EMPLOYEES AND ANY SUBCONTRACTORS HIRED BY THE CONTRACTOR RELATED TO THIS WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGNER AT ONCE UPON DISCOVERY OF ANY CONFLICTS OR DISCREPANCIES BETWEEN THE AFORESAIDED AND THE DRAWINGS AND SPECIFICATIONS OF THIS PROJECT.
- THE CONTRACTOR WILL COORDINATE AND BE RESPONSIBLE FOR ALL WORK BY SUBCONTRACTORS AND THEIR COMPLIANCE WITH ALL THESE GENERAL CONDITIONS. THE CONTRACTOR WILL IDENTIFY ANY CONFLICTS BETWEEN THE WORK OF THE SUBCONTRACTORS, AS DIRECTED BY THESE DRAWINGS, DURING THE LAYOUT OF THE AFFECTED TRADES. THE CONTRACTOR WILL REVIEW THESE CONDITIONS WITH THE ARCHITECT FOR DESIGN.
- ANY CHANGES, ALTERNATIVES OR MODIFICATIONS TO THESE DRAWINGS AND SPECIFICATIONS MUST BE APPROVED IN WRITING FROM THE ARCHITECT AND OWNER, AND ONLY PROCEED WHEN SUCH WRITTEN APPROVAL CLEARLY STATES THE AGREED COST OR CREDIT OF THE CHANGE, ALTERNATIVE OR MODIFICATION TO THIS PROJECT.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR THE WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO ENACT THE AFORESAIDED IN COMPLIANCE WITH GENERALLY ACCEPTED STANDARDS OF PRACTICE FOR THE TYPE OF WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR IS FULLY RESPONSIBLE TO ENACT THE APPROPRIATE SAFETY PRECAUTIONS REQUIRED TO MAINTAIN A SAFE WORKING ENVIRONMENT. THE CONTRACTOR WILL ALSO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ARCHITECT, THEIR CONSULTANTS, AND THEIR EMPLOYEES FROM AND AGAINST ANY CLAIMS FOR DAMAGES, INCLUDING ANY INJURY CLAIMS BY THE CONTRACTOR, HIS EMPLOYEES, HIS SUBCONTRACTORS OR ANYONE HE ALLOWS ON THE CONSTRUCTION SITE, WHICH RESULT FROM THE CONTRACTOR'S PERFORMANCE OF THE WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS.

VICINITY MAP



SCOPE OF WORK

- REMODEL EXISTING BATH ROOMS AT 1ST FLOOR
- DEMOL (E) WALLS AT LIVING ROOM
- CONVERT (E) COVERED PORCH TO (N) LIVING SPACE (36 SQFT)

BUILDING DATA

APN: 463-430-074
Zoning: R-1.6 (SINGLE FAMILY RESIDENTIAL)
Occupancy: R-3U
Use: Single Family Dwelling
Const. Type: V-B
Number of story: 2
Automatic Fire Sprinkler: No
Built in 1983

Setback requirement

- * Front setback requirement: 20 ft
- * Side setback requirement: 5 ft or one-half the height of the building wall adjacent to the side property line (whichever is greater)
- * Rear setback: 5 ft or one-half the height of the building wall adjacent to the side property line (whichever is greater)

Max. FAR: 0.45
Max. Lot coverage ratio: 0.4

Design Data

- * Existing (E) Floor Area: 2,100 SQ. FT.
- (E) Front Covered Porch: 47 SQ. FT.
- (E) Garage: 360 SQ. FT.
- * New (N) Floor Area: 2,136 SQ. FT.
- (N) Convert Covered porch to Floor Addition: 36 SQ. FT.
- (N) Front Covered Porch: 11 SQ. FT.
- * Gross Floor Area (N) Floor Area: 2,136 SQ. FT.
- (N) Covered Porch: 11 SQ. FT.
- * Lot Size: FAR = 2,1471.6,000 = 35.6% < 45% (OK)
- * Lot Coverage ratio (NO CHANGE) (E) 4 BED ROOM (NO CHANGE) (E) 3 BATH ROOM (NO CHANGE)

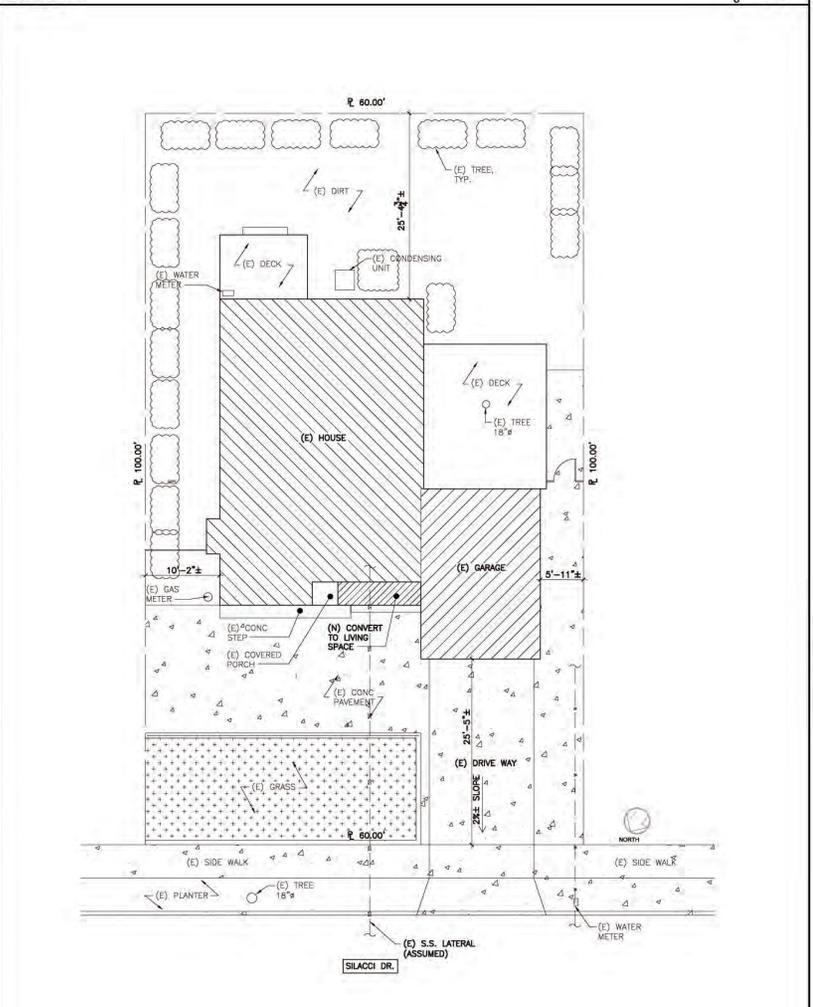
SHEET INDEX

A1.0 COVER SHEET / SITE PLAN
A1.1 EXISTING FLOOR PLANS, ROOF PLAN
A1.2 ELEVATIONS / SECTIONS
/ PROPOSED FLOOR PLAN
MEP MECHANICAL / ELECTRICAL PLAN
T1 TITLE 24 ENERGY CALCULATION 1/3
T2 TITLE 24 ENERGY CALCULATION 2/3
T3 TITLE 24 ENERGY CALCULATION 3/3
S0.1 STRUCTURAL NOTES / TYPICAL DETAILS
S0.2 TYPICAL DETAILS
S1.0 FOUNDATION PLAN / DETAILS
S1.1 2ND FLOOR & ROOF FRAMING PLAN / DETAILS
BLUE PRINT FOR CLEAN BAY

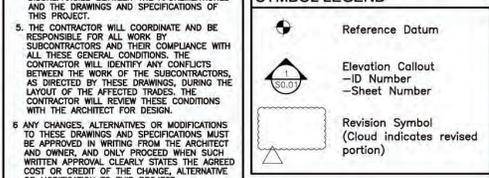
ABBREVIATIONS

±	PROPERTY LINE	HORL	Handrail
±	SQUARE FEET	H.M. (HM)	Hollow Metal
±	AND	HORIZ	Horizontal
±	ANGLE	HR.	Hour
±	AT	HT.	Height
±	DIAMETER	I.D.	Inside Diameter
±	PERPENDICULAR	INFO.	Information
±	POUND OR NUMBER	INSUL.	Insulation
±	LESS THAN	INT.	Interior
±	GREATER THAN	L.P.	Low Point
±	CENTERLINE	LT.	Light
±	ABBREVS.	MAX.	Maximum
±	ABV.	M.C.	Medicine Cabinet
±	A.D.	M.E.M.	Mechanical Membrane
±	ADJ.	MET.	Metal
±	AFF	MFR.	Manufacturer
±	A.P.N.	MNFR.	Manufacturer
±	APPROX.	MIN.	Minimum
±	ARCH.	MISC.	Miscellaneous
±		MUL.	Mulch
±		(N)	New
±		N.	North
±		NO.	Not in Contract
±		NOM.	Nominal
±		N.T.S.	Not to Scale
±		O.C.	On Center
±		O.D.	Outside Diameter or Overflow Drain
±		P.L.	Plate
±		CEM.	Cement
±		FLHD.	Flywood
±		C.I.	Cast Iron
±		C.J.	Center Joint
±		CL.	Centerline
±		CLG.	Ceiling
±		CLGK.	Caulking
±		CLO.	Closet
±		CLR.	Clear
±		C.M.U.	Concrete Masonry Unit
±		CONTR.	Counter
±		C.O.	Clean Out
±		COL.	Column
±		CONC.	Concrete
±		CONT.	Continuous
±		C.R.	Cold Rolled
±		C.T.	Ceramic Tile
±		CTR.	Center
±		DBL	Double
±		DET.	Detail
±		DIA.	Diameter
±		DM.	Dimension
±		D.N. (DN)	Down
±		D.O.	Door Opening
±		D.S.	Downspout
±		DWG.	Drawing
±		(E)	Existing
±		EA	Each
±		E.J.	Expansion Joint
±		EL.	Elevation
±		ELEC.	Electrical
±		F.D.	Floor Drain
±		FDN.	Foundation
±		FF. (FT)	Finish Face
±		FIN.	Finish
±		FL.	Floor
±		FLASH.	Flashing
±		FLUOR.	Fluorescent
±		F.O.	Face of
±		F.O.C.	Face of Concrete
±		F.O.F.	Face of Finish
±		F.O.S.	Face of Stud
±		F.S.	Face of Stud
±		FRFR.	Fireproof
±		FRG. (FRG)	Framing
±		FT.	Foot/Feet
±		FTC.	Foot/Cent
±		GA.	Gauge
±		GALV.	Galvanized
±		G.B.	Grab Bar
±		GL.	Grid Line
±		G.L.S.	Glass
±		GFCI	Ground Fault Circuit Interrupt
±		GND.	Ground
±		GRD.	Grade
±		GYP.	Gypsum
±		GWB	Gypsum Wall-board
±		H.B.	Hose Bib
±		HDWD.	Hardwood
±		HDWR.	Hardware
±		VERT.	Vertical
±		VEST.	Vestibule
±		V.I.	Vinyl Tile
±		V.I.F.	Verify in Field
±		W.	West
±		W/	With
±		W.D.	Wood (WD) Where Occurs
±		W/O.	Without
±		WP.	Waterproofing
±		WR.	Water Resistant
±		WT.	Weight

SITE PLAN



SYMBOL LEGEND



EFFECTIVE CODE

2016 California Building Code
2016 California Mechanical Code
2016 California Plumbing Code
2016 California Electrical Code
2016 California Energy Code
2016 California Green Building Code
2016 California Fire Code

PROJECT DIRECTORY

Project Owner
Shawen Oh (shaw76@gmail.com)
6091 Hill (shaw76@gmail.com)
1730 Silacci Drive
Campbell, CA 95008

Designer & Engineer
Taeho Um & Associates Structural Engineers
4688 Ardel Ave.
Fremont, CA 94555
850.208.5251

General Contractor
TO BE DETERMINED

PROJECT
**OH'S RESIDENCE
REMODEL AND ADDITION**
DRAWING TITLE
COVER SHEET /
SITE PLAN

DATE: 8/12/17
DRAWN: TU
CHKD: UN
JOB NO: 17.07.N
SCALE: AS SHOWN
SHEET NO.

1730 Silacci Drive
Campbell, CA 95008

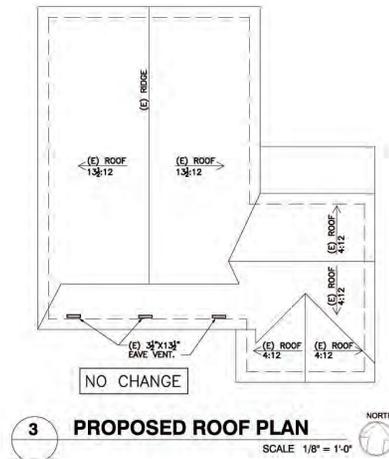
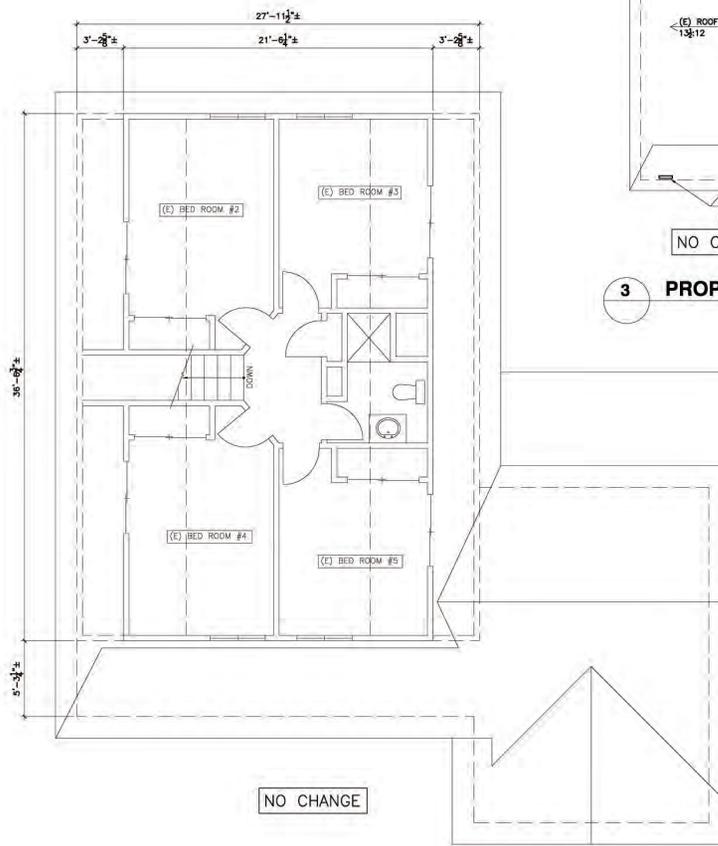
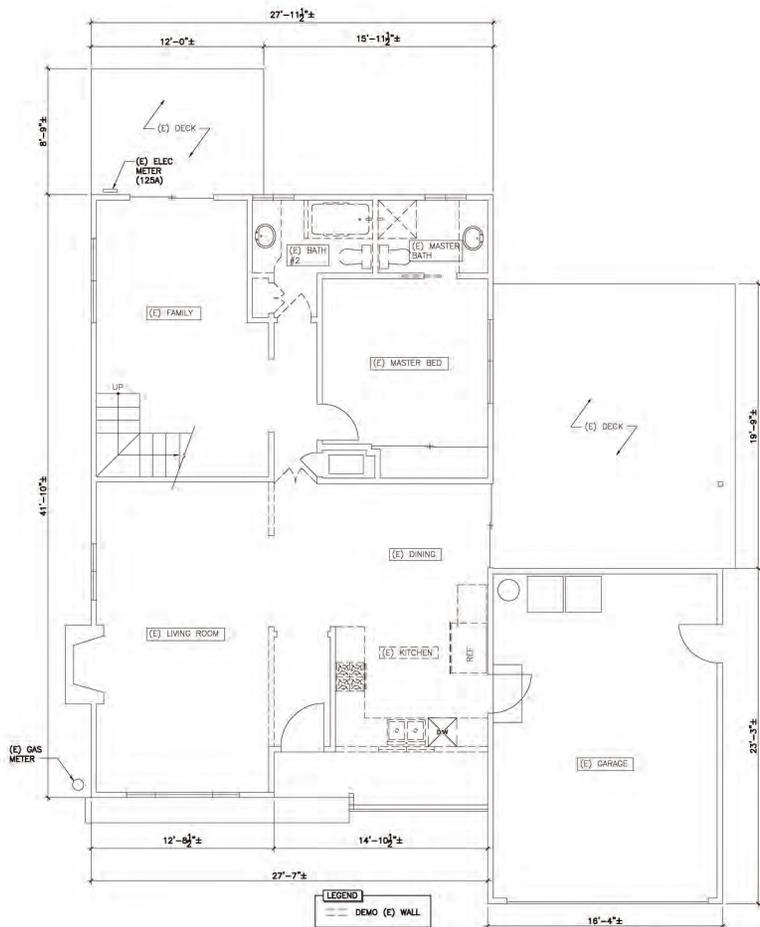


REVISIONS

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DATE: 8/12/17
DRAWN: TU
CHKD: UN
JOB NO: 17.07.N
SCALE: AS SHOWN
SHEET NO.

A1.0



PROJECT

OH'S RESIDENCE
REMODEL AND ADDITION

1750 Silaceo Drive
Campbell, CA 95008

DRAWING TITLE

EXISTING & DEMO /
ROOF PLAN

REVISIONS



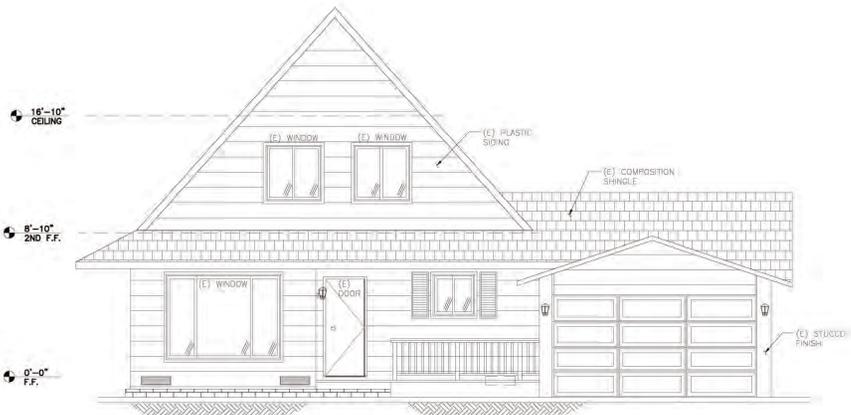
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REVISIONS

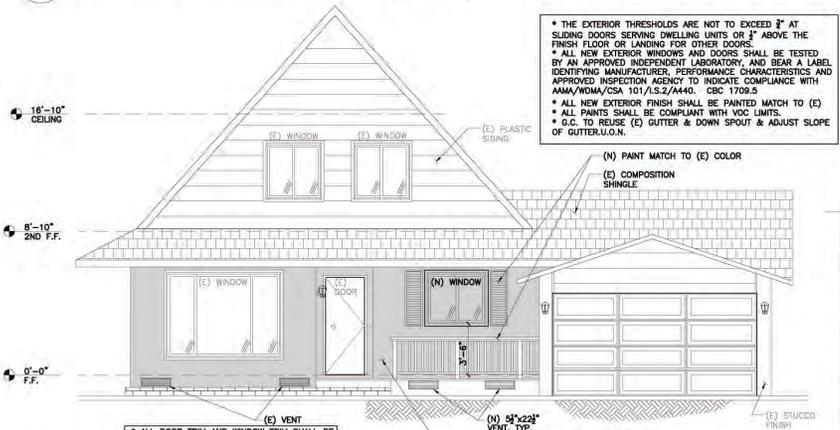


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2 EXISTING FRONT ELEVATION

SCALE 1/4" = 1'-0"



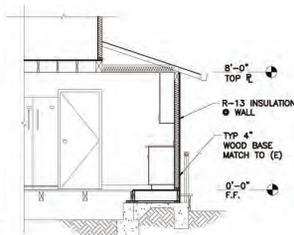
3 PROPOSED FRONT ELEVATION

SCALE 1/4" = 1'-0"

- THE EXTERIOR THRESHOLDS ARE NOT TO EXCEED 3/4" AT SLIDING DOORS SERVING DWELLING UNITS OR 1" ABOVE THE FINISH FLOOR OR LANDING FOR OTHER DOORS.
- ALL NEW EXTERIOR WINDOWS AND DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH AIAA/WDMA/CSA 101/15.2/4440, CBC 1709.5
- ALL NEW EXTERIOR FINISH SHALL BE PAINTED MATCH TO (E)
- ALL PAINTS SHALL BE COMPLIANT WITH VOC LIMITS.
- G.C. TO REUSE (E) GUTTER & DOWN SPOUT & ADJUST SLOPE OF GUTTER, U.O.N.

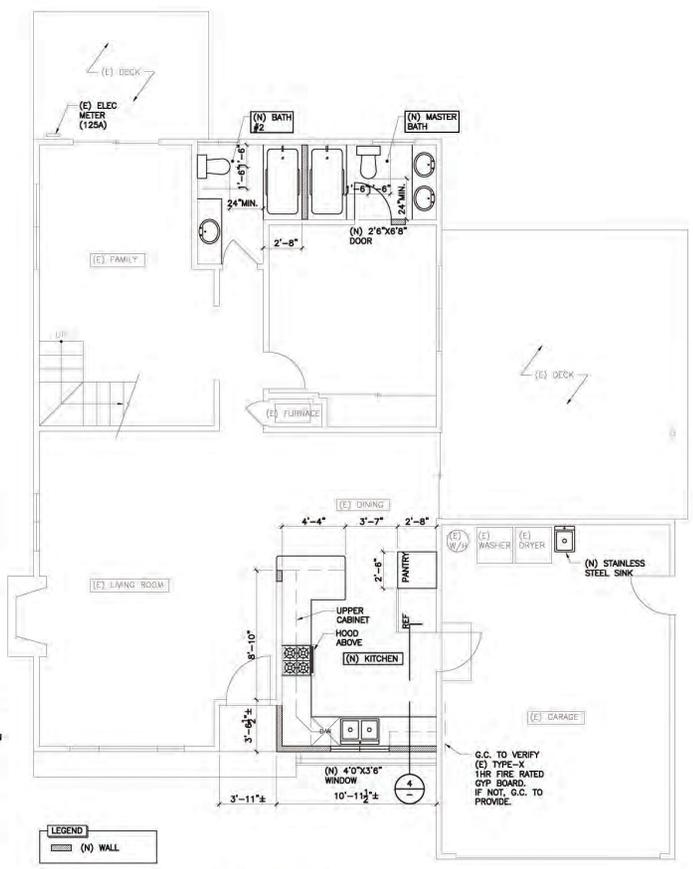
FLOOR VENT CALCULATION

PROPOSED ADDITION AREA	36 SF
REQUIRED FLOOR VENT AREA [R408.2]	36 SF / 150 X 144 = 35 SI
PROPOSED VENT AREA	5.5X13.5 VENT X 5 ADDITIONAL VENT = 74.25 SI



4 SECTION

SCALE 1/4" = 1'-0"



1 PROPOSED 1ST FLOOR PLAN

SCALE 1/4" = 1'-0"



