



CITY OF CAMPBELL
Community Development Department

September 15, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **September 26, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Studio G Architects for a Site and Architectural Review Permit (PLN2017-116) to allow façade modifications and an approximately 384 square foot addition to an existing office building on property located at **65 W. Hamilton Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

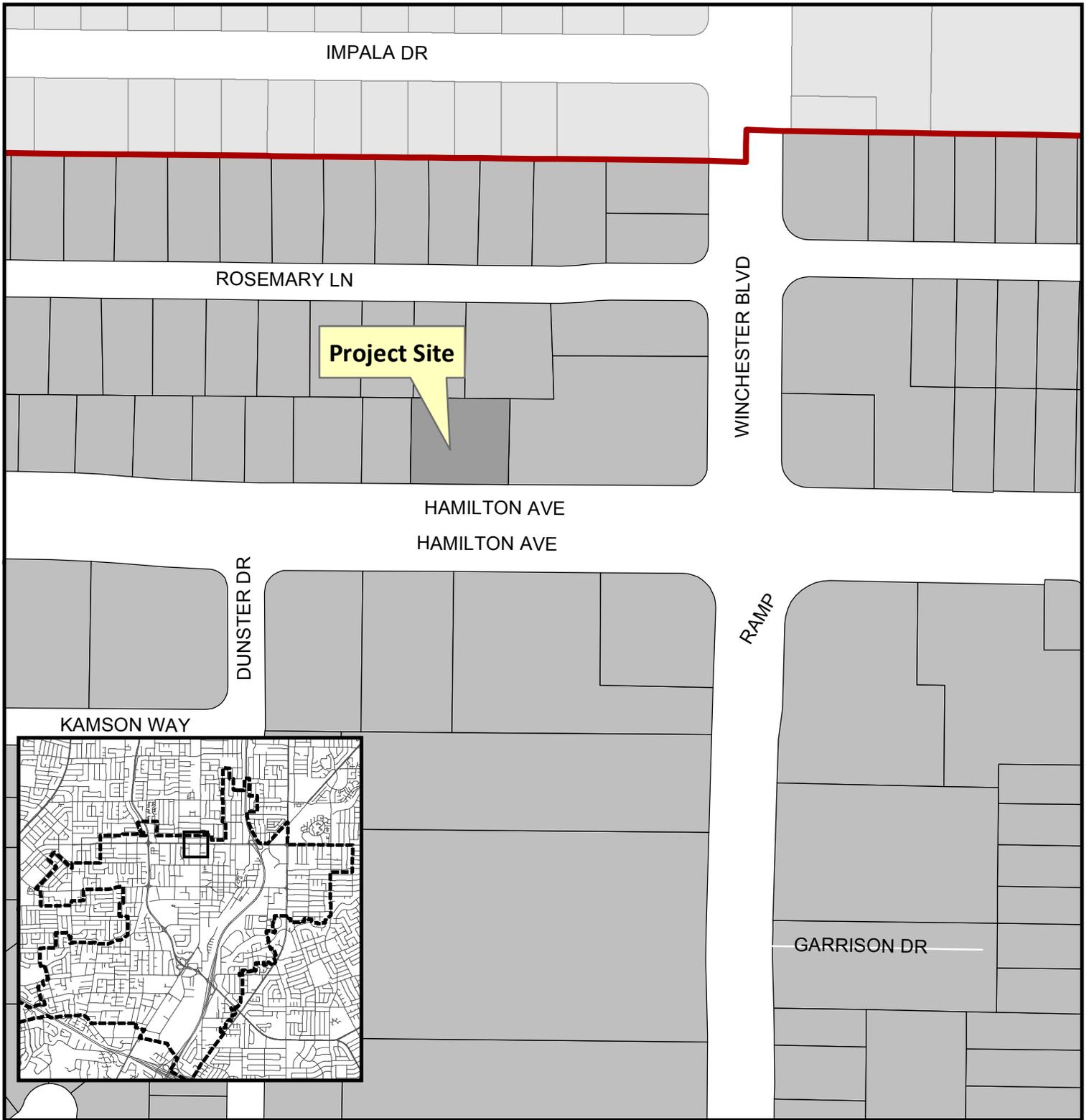
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **65 W. Hamilton Avenue**

Project Location Map

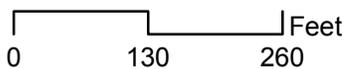


Project Location: 65 W. Hamilton Avenue

Application Type: Site and Architectural Review Permit

Planning File No.: PLN2017-116

Description: façade improvements and 384 square foot addition to an existing office building



Community Development Department
Planning Division

MARKET READY

65 WEST HAMILTON AVENUE, CAMPBELL, CA 95008

PROJECT ADDRESS
65 W. HAMILTON AVENUE
CAMPBELL, CA 95008

BUILDING NEW FACADE & ADDITION BY
JAMES D. MAY

65 W. HAMILTON AVENUE, CAMPBELL, CA 95008

PRELIMINARY
(NOT FOR CONSTRUCTION)

PLANNING DEPARTMENT
(NOT FOR CONSTRUCTION)

HEALTH DEPARTMENT

BUILDING DEPARTMENT

PRICING PLANS

CONTACT INFORMATION

OWNERS
JAMES D. MAY
65 WEST HAMILTON AVENUE
CAMPBELL, CA 95008
408.559.9550
FAX: 408.559.0491
jmay@gcdpsi.com

ARCHITECT
STUDIO G ARCHITECTS INC.
Kelly Simcox
299 Bassett St., Suite 202
San Jose, CA 95131
p. 408.282.0100 EX. 10
e. kelly@studiogarchitects.com

PROJECT DATA

A.P.N.: 305-04-003
ZONING: C-2 (GENERAL COMMERCIAL)
LOT SIZE: 0.345 ACRES (41,502.15 SF)
AREA OF NEW ADDITION: 384 SF
EXISTING BUILDING SIZE: 3,889 SF
NEW BUILDING SIZE: 4,273 SF
FLOOR AREA RATIO: MAXIMUM 40%
PROPOSED 4,273/15,021.5=28.45%
EXISTING BUILDING FLOOR AREA = 3,879 SF
EXISTING BUILDING VOLUME = 283 SF
EXISTING BUILDING HEIGHT = 7.49% - 20%

OCCUPANCY: B

NUMBER OF STORIES: 1-STORY
BUILDING CONSTRUCTION: TYPE V-8
SPRINKLERED: NO

APPLICABLE CODES:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA GREEN CODE

SHEET INDEX

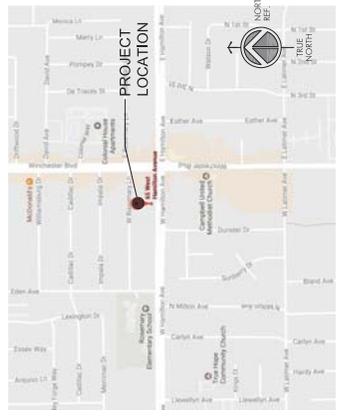
- ARCHITECTURAL
- A0.0 COVER SHEET
- A0.2 STREET SCOPE ELEVATION
- AS.1 EXISTING SITE PLAN
- AS.2 PROPOSED SITE PLAN
- AL.1 ROOM PLAN - SORTING, DESKO, AND NEW
- AL.2 ROOF PLAN - EXISTING, DEMO, AND NEW
- A2.1 EXISTING EXTERIOR ELEVATIONS
- A2.2 PROPOSED EXTERIOR ELEVATIONS
- AS.1 THICK WALL BUILDING SECTIONS
- CIVIL
- D1 LAND SURVEY

SCOPE OF WORK

THIS IS A MARKET READY BUILDING SHELL RENOVATION PROJECT WHICH INCLUDES THE FOLLOWING:

- DEMOLITION:**
REMOVE ENTRANCE DOOR AND GLAZING.
REMOVE EXISTING GLAZING AND DOOR.
IN DESIGNATED AREAS REMOVE EXISTING ROOF (SEE EXTERIOR ELEVATIONS).
- NEW CONSTRUCTION:**
BUILDING ADDITION; PROVIDE NEW ENTRANCE, NEW BUILDING FACADE & PARAPET ON WEST HAMILTON AVENUE FRONTAGE.
PROVIDE ADDITIONAL FACADE UPDATES THAT DO NOT EXCEED 50% OF THE LENGTH OF THE FACADE PERMETER.
BUILD AN ACCESSIBLE RAMP AT FRONT AND BACK ENTRANCES.
RESTRIPING PARKING LOT; INCLUDES UPGRADE OF ONE ACCESSIBLE PARKING SPACE.

VICINITY MAP



STAMP
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REVISIONS	DATE	DESCRIPTION
	03.03.17	PLANNING SUBMITTAL
	07.11.17	PLANNING SUBMITTAL
	07.31.17	PLANNING COMMENTS

DATE	03.03.17
SCALE	AS SHOWN
PROJECT ID	201209
DRAWN BY	GRBY

COVER SHEET

SHEET TITLE

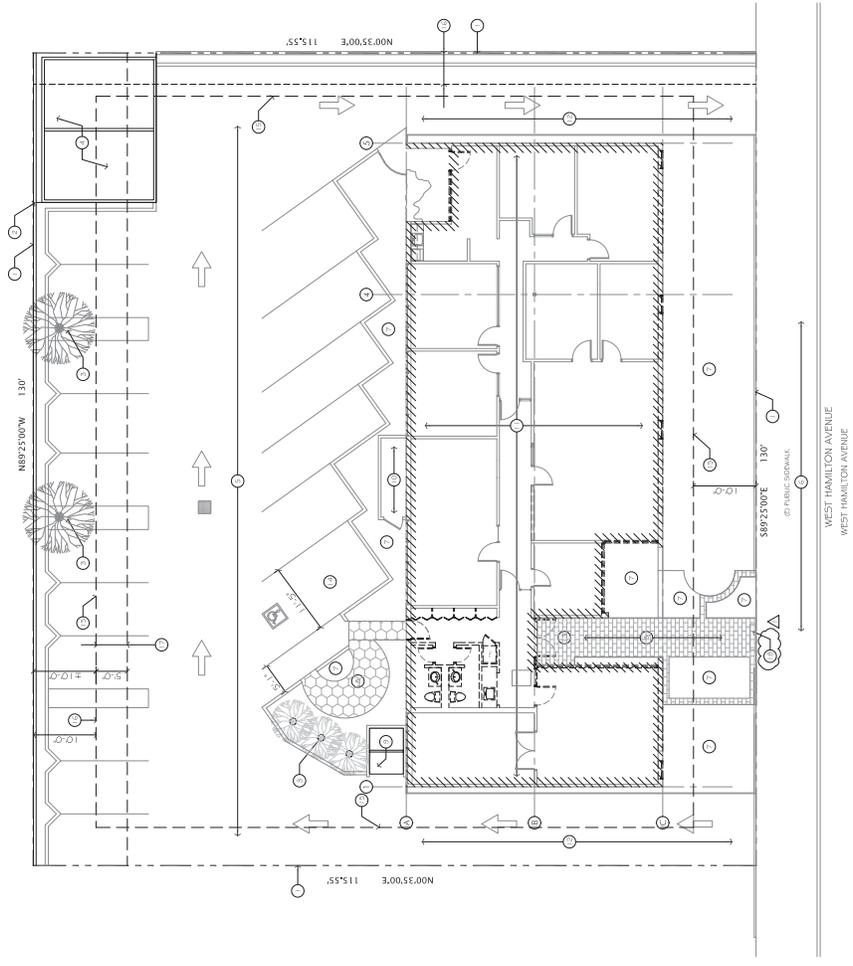
A0.0

SHEET NO.

GENERAL NOTES

- A. ALL ACCESSIBLE PARKING SPACES SHALL BE ADA COMPLIANT. THE PARKING SPACES SHALL BE MARKED WITH THE APPROPRIATE SYMBOLS AND DIMENSIONS. THE PARKING SPACES SHALL BE MARKED WITH THE APPROPRIATE SYMBOLS AND DIMENSIONS. THE PARKING SPACES SHALL BE MARKED WITH THE APPROPRIATE SYMBOLS AND DIMENSIONS.
- B. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- C. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- D. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- E. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
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- G. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- H. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- I. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- J. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- K. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- L. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- M. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- N. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- O. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- P. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- Q. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- R. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- S. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- T. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- U. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- V. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- W. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- X. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- Y. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.
- Z. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20'x80' DIMENSIONS IN ANY DIRECTION.

- KEYNOTES**
- Indicated by  on the plan
1. PROPERTY LINE, TYP.
 2. EXISTING CURB WALL ON PROPERTY LINE TO REMAIN.
 3. EXISTING DRIVEWAY TO REMAIN.
 4. EXISTING DRIVEWAY TO REMAIN. (TWO CONCRETE PARKING SPACES)
 5. EXISTING DRIVEWAY AND PARKING SPACES.
 6. EXISTING DRIVEWAY.
 7. EXISTING DRIVEWAY.
 8. EXISTING DRIVEWAY.
 9. EXISTING DRIVEWAY.
 10. EXISTING DRIVEWAY.
 11. EXISTING DRIVEWAY.
 12. EXISTING DRIVEWAY.
 13. EXISTING DRIVEWAY.
 14. EXISTING DRIVEWAY.
 15. EXISTING DRIVEWAY.
 16. EX. P.S.E. PUBLIC SEWER EASEMENT.
 17. EX. W.C.E. WIRE CLEARANCE EASEMENT.



1. EXISTING SITE PLAN
 SCALE: 1/8" = 1'-0"

STAMP

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REVISIONS	DATE	DESCRIPTION
03.03.17	PLANNING SUBMITTAL	
07.11.17	PLANNING SUBMITTAL	
07.11.17	PLANNING COMMENTS	

DATE	03.01.17
SCALE	AS SHOWN
PROJECT ID	2017.08
DRAWN BY	GRGY

EXISTING SITE PLAN

SHEET TITLE

GENERAL NOTES

- A. ALL ACCESSIBLE PARKING SPACES SHALL BE ADA COMPLIANT. THE PARKING SPACES SHALL BE MARKED AND PAVED TO MEET THE ADA COMPLIANCE. PROVIDE NEW AS REQ'D. SEE DETAIL SHEET FOR REFERENCE TO SPEC.
- B. THE ACCESSIBLE PARKING SPACES SHALL HAVE A MINIMUM OF 20% PERMITTED SLOPE IN ANY DIRECTION.
- C. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE CURB TO THE FIRST PARKING SPACE. PROVIDE A MINIMUM OF 20' CLEARANCE FROM THE CURB TO THE SECOND PARKING SPACE.
- D. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE CURB TO THE FIRST PARKING SPACE. PROVIDE A MINIMUM OF 20' CLEARANCE FROM THE CURB TO THE SECOND PARKING SPACE.
- E. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE CURB TO THE FIRST PARKING SPACE. PROVIDE A MINIMUM OF 20' CLEARANCE FROM THE CURB TO THE SECOND PARKING SPACE.
- F. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE CURB TO THE FIRST PARKING SPACE. PROVIDE A MINIMUM OF 20' CLEARANCE FROM THE CURB TO THE SECOND PARKING SPACE.
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- H. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE CURB TO THE FIRST PARKING SPACE. PROVIDE A MINIMUM OF 20' CLEARANCE FROM THE CURB TO THE SECOND PARKING SPACE.
- I. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE CURB TO THE FIRST PARKING SPACE. PROVIDE A MINIMUM OF 20' CLEARANCE FROM THE CURB TO THE SECOND PARKING SPACE.
- J. PROVIDE A MINIMUM OF 10' CLEARANCE FROM THE CURB TO THE FIRST PARKING SPACE. PROVIDE A MINIMUM OF 20' CLEARANCE FROM THE CURB TO THE SECOND PARKING SPACE.

KEYNOTES

Indicated by  on the plan.

1. NEW ACCESSIBLE PARKING WITH RAMP AND DETECTABLE WARNING.
2. NEW CONCRETE PAVING.
3. PROPOSED FLOOR AREA.
4. NEW ENTRANCE.
5. NEW TREE.
6. NEW ACCESSIBLE SLOPING WALK, SLOPE 1 IN 20 MAX.
7. EXISTING LANDSCAPE AREA TO RECEIVE NEW PLANTING, TYP.
8. IN ROCK LANDSCAPE.
9. RE LANDSCAPING.
10. ACCESSIBLE PATH OF TRAVEL.
11. (B) FACE OF CURB CURB.
12. PROPERTY LINE.

SITE ANALYSIS

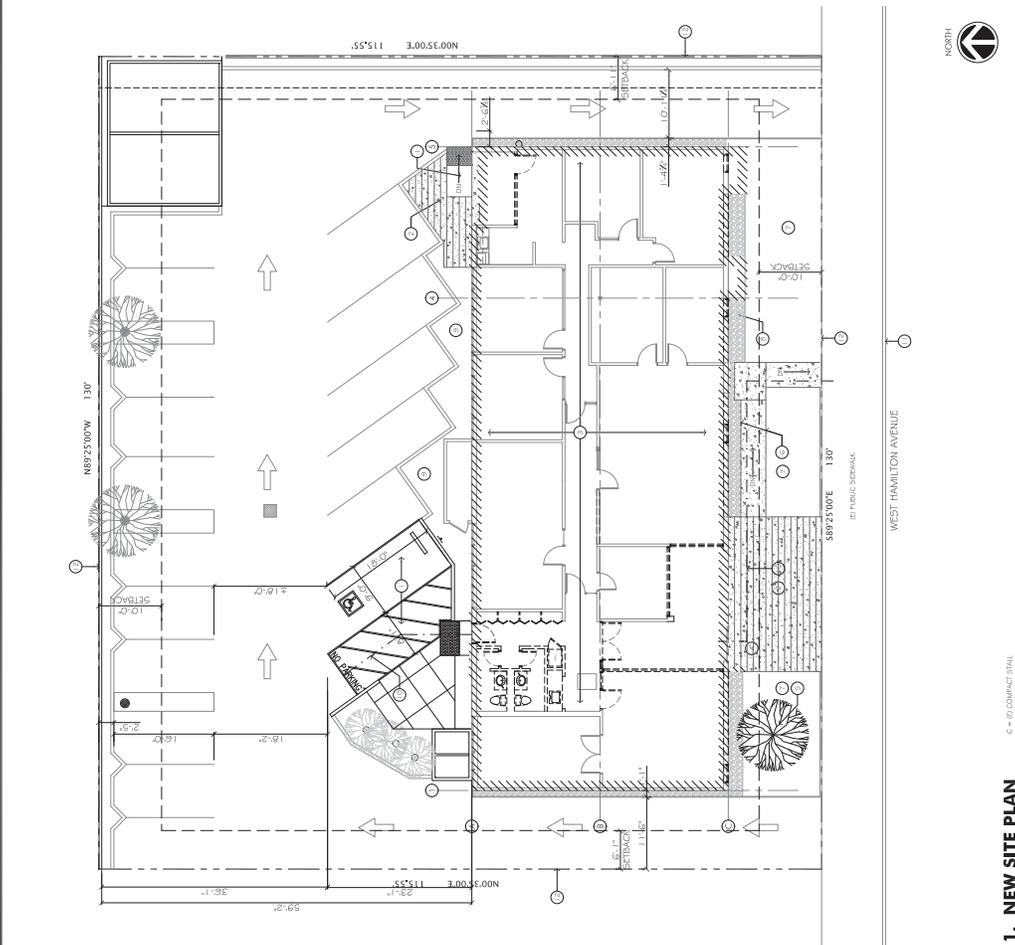
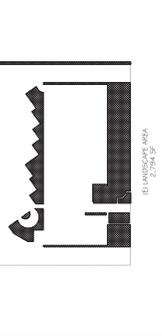
PERMITS ANALYSIS	PERMITS	PERMITS	PERMITS	PERMITS	PERMITS
PERMITS	PERMITS	PERMITS	PERMITS	PERMITS	PERMITS
PERMITS	PERMITS	PERMITS	PERMITS	PERMITS	PERMITS
PERMITS	PERMITS	PERMITS	PERMITS	PERMITS	PERMITS

DEVELOPMENT DATA

DEVELOPMENT DATA	SQUARE FEET		PERCENT OF SITE	
	EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDING	3,889	4,273	25.80%	28.46%
LANDSCAPE	2,794	2,922	18.60%	19.48%
PAVING COVERAGE	8,338	8,726	55.61%	58.06%
FAR	4.807 / 15.021 (B) 3.241%			

PARKING

# PROPOSED SPACES	# DEMONISHED SPACES	# TOTAL PARKING
91	2	19



1. NEW SITE PLAN
 SCALE: 1/8" = 1'-0"
 C = (B) COMPACT STALL

REVISIONS

DATE	DESCRIPTION
03.30.17	PLANNING SUBMITTAL
07.11.17	PLANNING SUBMITTAL
07.11.17	PLANNING COMMENTS

STAMP

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SCALE
 0.01/17

PROJECT ID
 201708

DRAWN BY
 GRAY

NEW SITE PLAN

SHEET TITLE

SHEET NO.
 AS.2

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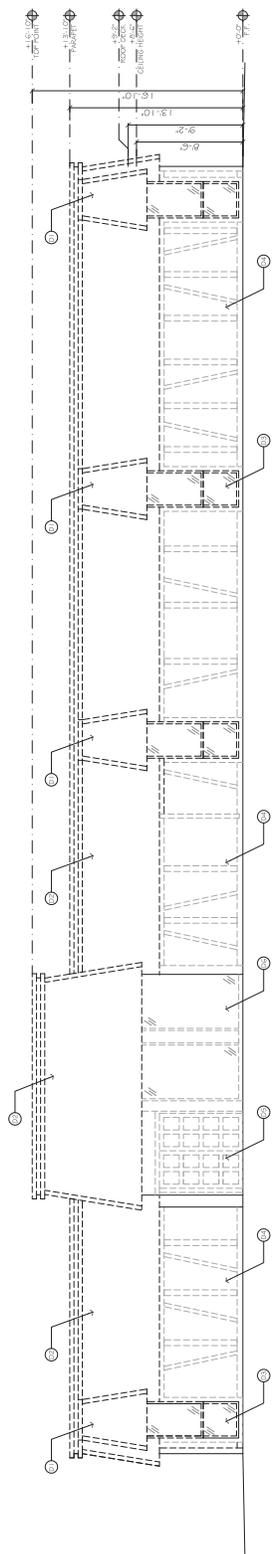
REVIEWS	DATE	DESCRIPTION
	03.03.17	PLANNING SUBMITTAL
	07.11.17	PLANNING SUBMITTAL
	07.11.17	PLANNING COMMENTS

DATE	03.01.17
SCALE	AS SHOWN
PROJECT ID	201708
DRAWN BY	GRAY

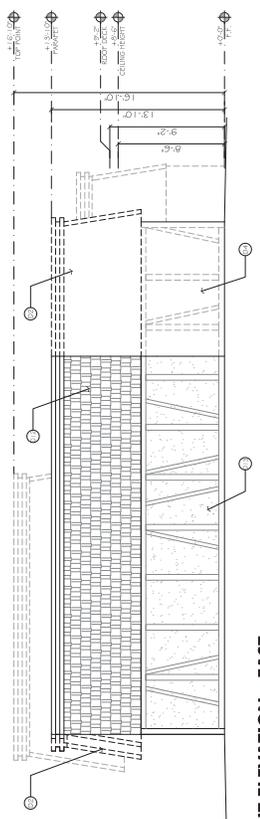
EXISTING ELEVATIONS

SHEET TITLE

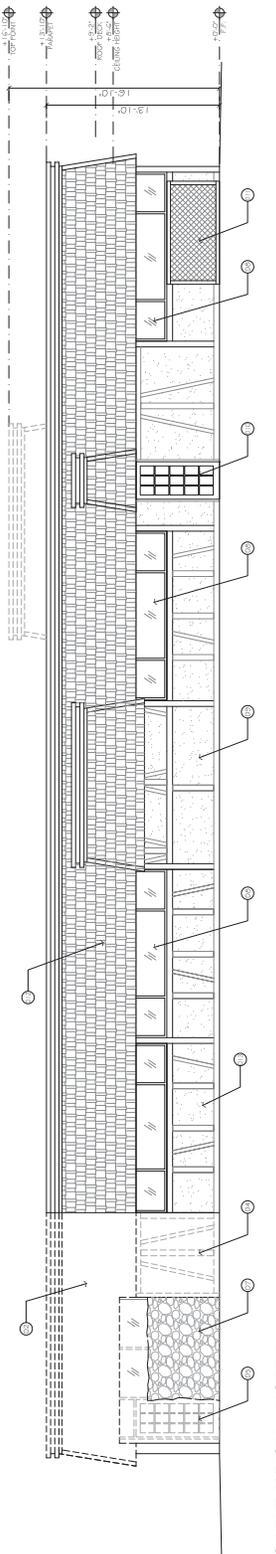
SHEET NO. **A2.1**



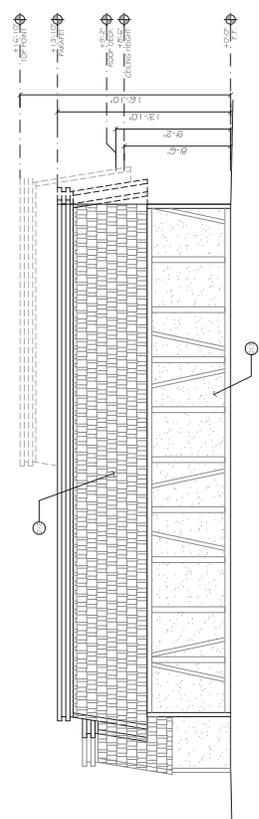
1. FRONT ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



2. RIGHT ELEVATION - EAST
SCALE: 1/4" = 1'-0"



3. BACK ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

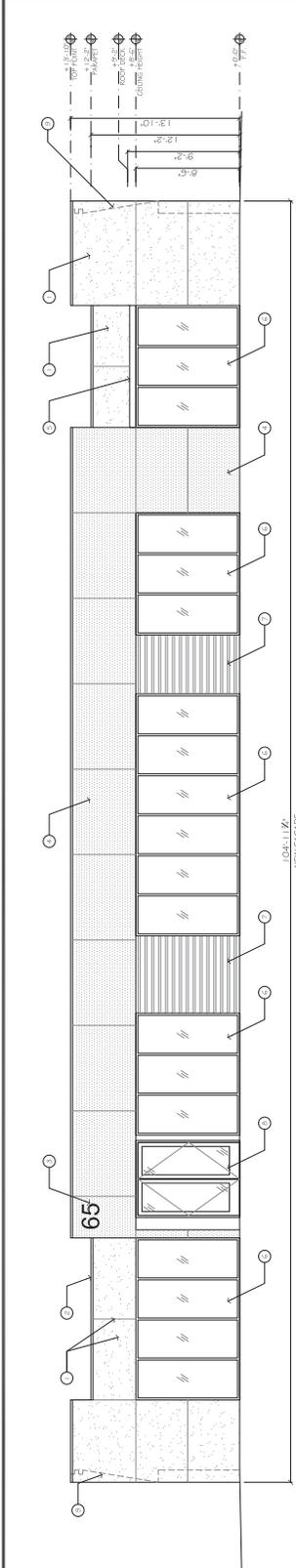


4. LEFT ELEVATION - WEST
SCALE: 1/4" = 1'-0"

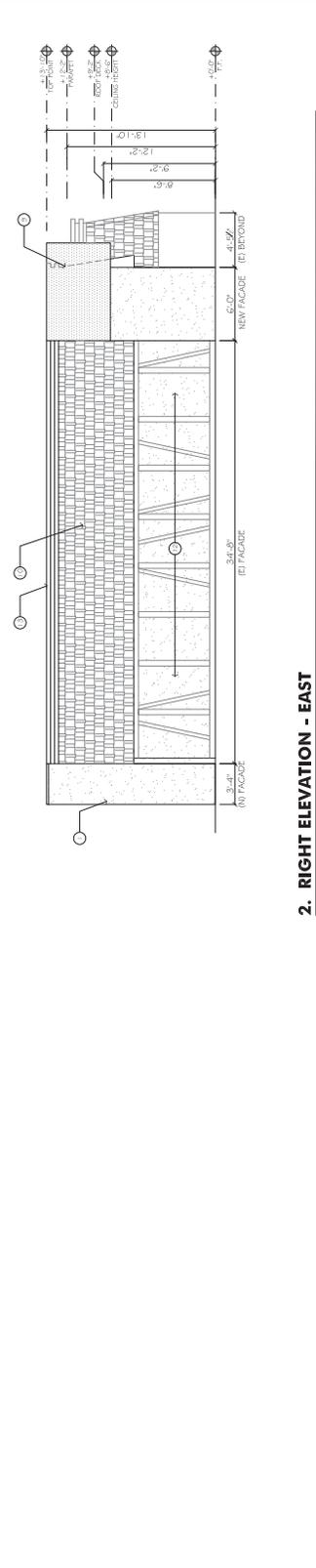
KEYNOTES

Indicated by (O) on the plan

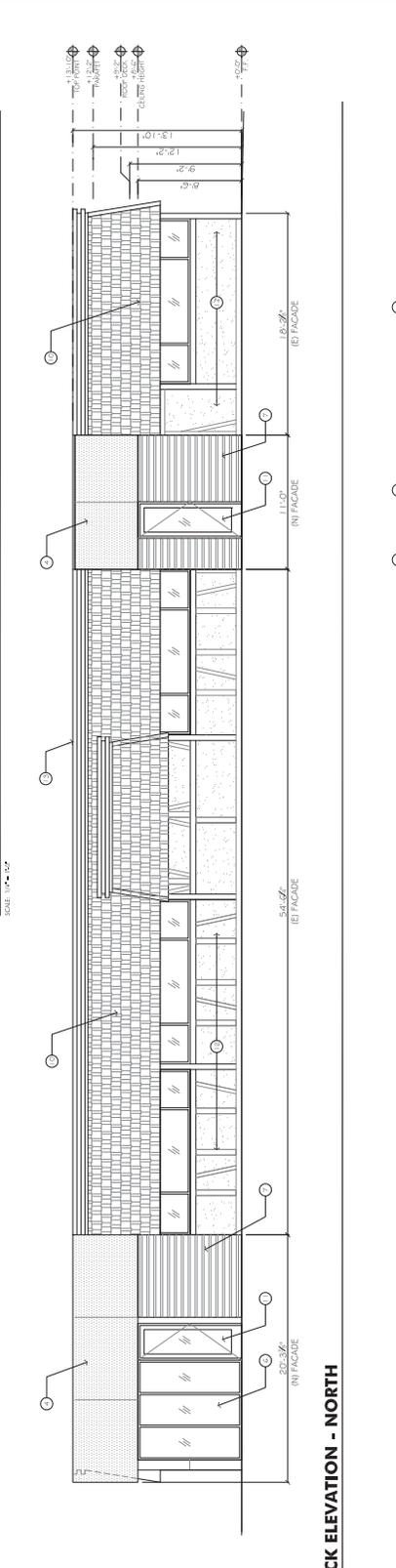
D.1.	DEMO WINDOW ROOF PROJECTION.
D.2.	DEMO EXISTING MANSARD ROOF.
D.3.	DEMO EXISTING WINDOWS.
D.4.	REMOVE WOOD TRIM OF EXISTING EXTERIOR WALL.
D.5.	REMOVE EXISTING ENTRANCE DOOR.
D.6.	DEMO EXISTING GLAZING.
D.7.	REMOVE EXISTING STONE WALL.
D.8.	EXISTING WINDOWS TO REMAIN.
D.9.	EXISTING STORAGE ROOM AND ROOF TO REMAIN.
D.10.	EXISTING DOOR TO REMAIN.
D.11.	REMOVE EXISTING GARBAGE BINS ENCLOSURE.
D.12.	EXISTING MANSARD ROOF TO REMAIN.
D.13.	EXISTING WOOD TRIM OF EXISTING EXTERIOR WALL TO REMAIN.



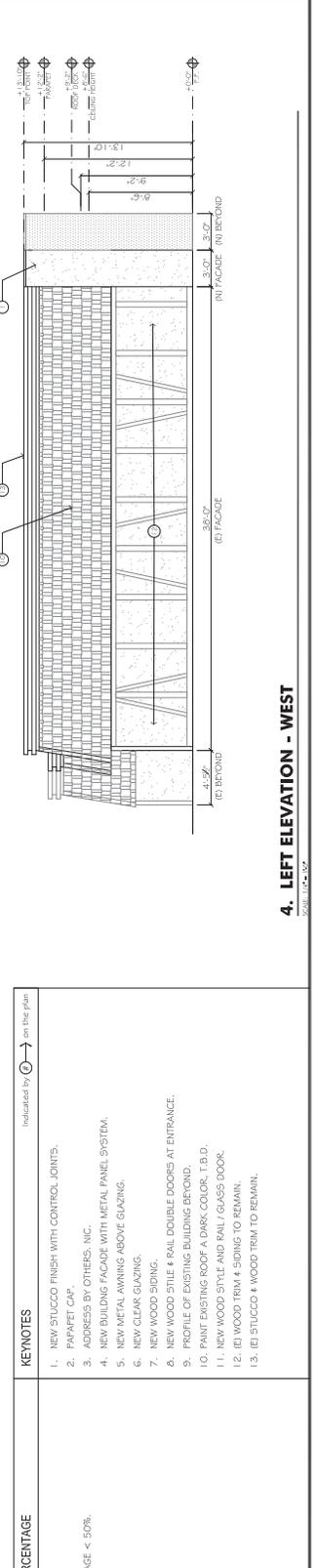
1. FRONT ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



2. RIGHT ELEVATION - EAST
SCALE: 1/4" = 1'-0"



3. BACK ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



4. LEFT ELEVATION - WEST
SCALE: 1/4" = 1'-0"

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REVISIONS

DATE	DESCRIPTION
03.03.17	PLANNING SUBMITTAL
07.11.17	PLANNING SUBMITTAL
07.11.17	PLANNING COMMENTS

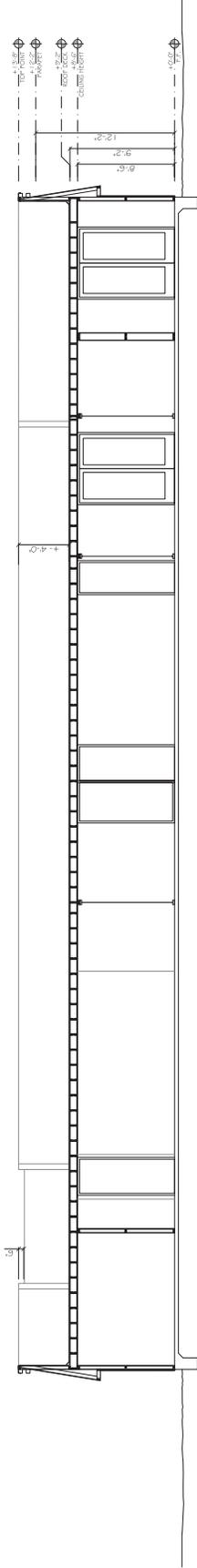
NEW ELEVATIONS

DATE	DESCRIPTION
03.03.17	AS SHOWN
07.11.17	AS SHOWN
07.11.17	AS SHOWN

BUILDING FACADE RENOVATION PERCENTAGE

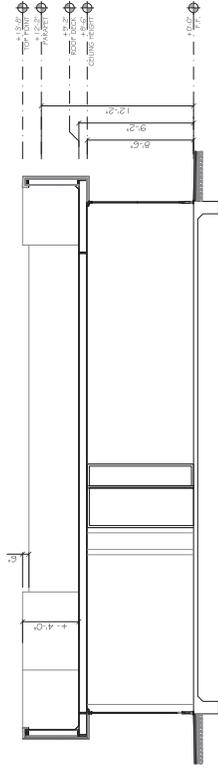
EXISTING BUILDING FACADE = 1541.3'²
NEW BUILDING FACADE = 1511.7'²
BUILDING FACADE RENOVATION PERCENTAGE < 50%.

- KEYNOTES**
- Indicated by (C) → on the plan
1. NEW STUCCO FINISH WITH CONTROL JOINTS.
 2. PAFARFET CAP.
 3. ADDRESS BY OTHERS, INC.
 4. NEW BUILDING FACADE WITH METAL PANEL SYSTEM.
 5. NEW METAL AWNING ABOVE GLAZING.
 6. NEW CLEAR GLAZING.
 7. NEW WOOD SIDING.
 8. NEW WOOD STYLE 4 RAIL DOUBLE DOORS AT ENTRANCE.
 9. PROFILE OF EXISTING BUILDING BEYOND.
 10. PAINT EXISTING ROOF A DARK COLOR, T.B.D.
 11. NEW WOOD STYLE AND RAIL / GLASS DOOR.
 12. (E) WOOD TRIM 4 SIDING TO REMAIN.
 13. (E) STUCCO 4 WOOD TRIM TO REMAIN.



1. BUILDING SECTION

SCALE: 1/4" = 1'-0"



2. BUILDING SECTION

SCALE: 1/4" = 1'-0"

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DATE	03.01.17
SCALE	AS SHOWN
PROJECT ID	201708
DRAWN BY	GRAY

SECTIONS

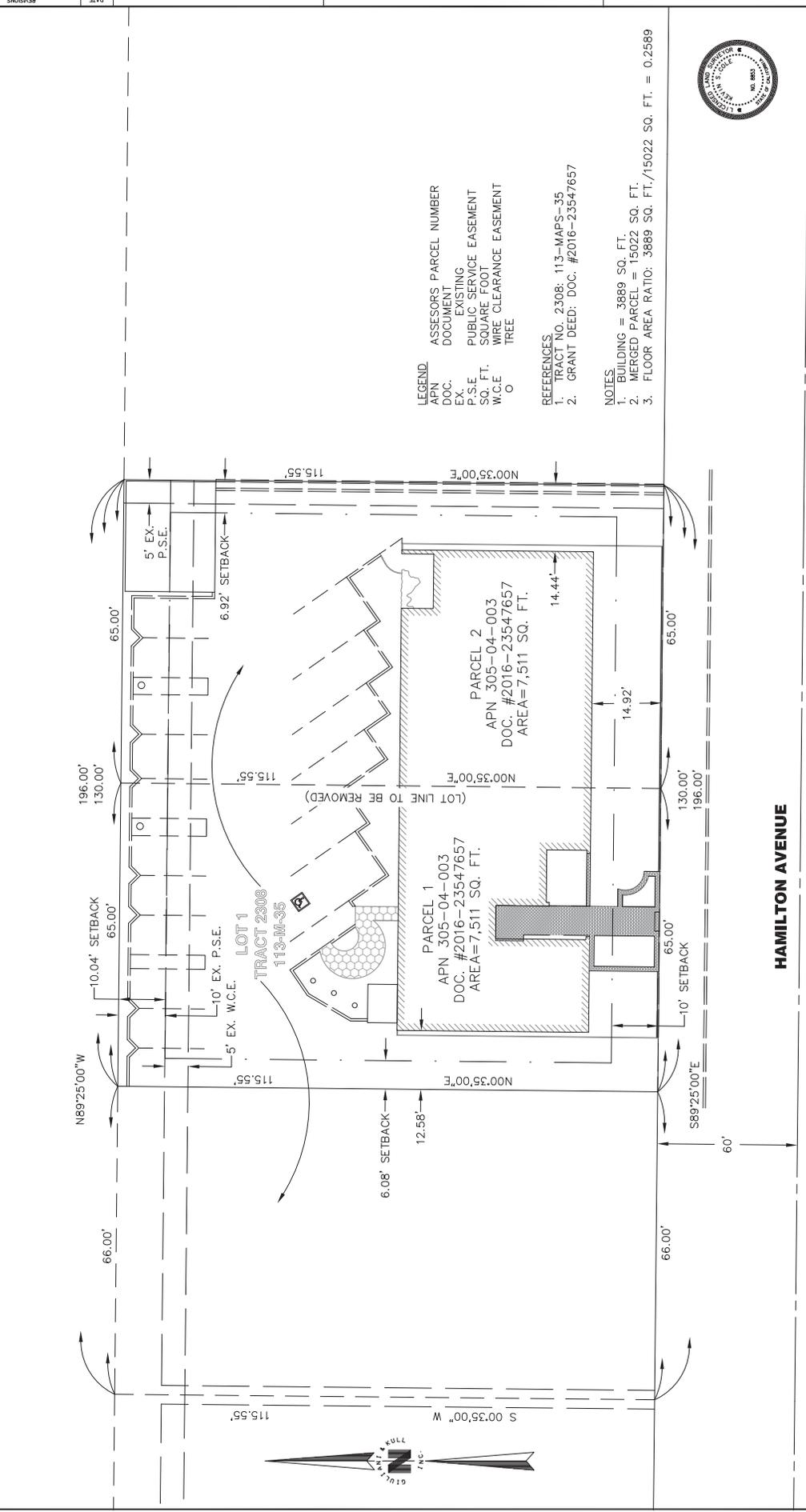
SHEET TITLE

SCALE	1" = 10'
REVISIONS	
DATE	
CHECKED BY	
DESIGNED BY	N/A
DRAWN BY	ARS
DATE	
SCALE	1" = 10'

GK **Giuliani & Kuhl, Inc.**
 Planner • Surveyor
 440 S. Yosemite Avenue, Suite A, Oakdale, CA 95361
 (209) 847-8726 Fax (209) 847-7323
 Auburn • San Jose • Oakdale

SITE PLAN
65 WEST HAMILTON AVE.
 CAMPBELL, CA

SHEET	01
OF	01
JOB NO.	17173



- LEGEND**
- APN ASSESSORS PARCEL NUMBER
 - DOC. DOCUMENT
 - EX. EXISTING
 - P.S.E. PUBLIC SERVICE EASEMENT
 - SQ. FT. SQUARE FOOT
 - W.C.E. WIRE CLEARANCE EASEMENT
 - O TREE

- REFERENCES**
1. TRACT NO. 2308; 113-MAPS-35
 2. GRANT DEED; DOC. #2016-23547657

NOTES

1. BUILDING = 3889 SQ. FT.
2. MERGED PARCEL = 15022 SQ. FT.
3. FLOOR AREA RATIO: 3889 SQ. FT./15022 SQ. FT. = 0.2589



HAMILTON AVENUE