



CITY OF CAMPBELL
Community Development Department

September 21, 2017

NOTICE OF ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW PERMIT

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

File No.: PLN2017-239
Applicant: Gordon Wong, GKW Architects
Project Address: 1603 Walters Avenue
Property Owner: Yuan Lin
Zoning District: R-1-9 (Single-Family Residential)
General Plan: Low Density Residential
Project Description: An approximately 346 square foot single-story rear addition to an existing single-family home, and addition of a one-car garage and carport

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on September 22, 2017 and ends on October 2, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **October 2, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Victoria Hernandez, Assistant Planner, in the Community Development Department, at (408) 866-2732 or by email victoriah@cityofcampbell.com.

Project Location Map

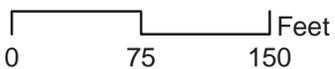


Project Location: 1603 Walters Avenue

Application Type: Admin. Site and Arch. Review Permit

Planning File No.: PLN2017-239

Description: 346 square foot single-story rear addition, and addition of garage and carport



Community Development Department
Planning Division

SCOPE OF WORK

PLANNING AND BUILDING DEPARTMENT SUBMITTAL

SCOPE OF WORK:

1. THE PROJECT IS PROPOSING TO ADD THE FOLLOWING STRUCTURES

- ADDITION TOTAL: 1,110.09 SF
- 1 CAR GARAGE: 232.74 SF
- CARPORT: 240.57 SF
- 1 BDRM + 1 BATH: 346 SF
- REAR DECK: 290.78 SF
- FRONT ENTRY: 35 SF

2. THE PROJECT IS PROPOSING TO REMODEL THE FOLLOWING INTERIOR SPACES

- REMODEL TOTAL: 345.99 SF
- KITCHEN/ DINING: 310.99 SF
- 35 SF

3. THE PROJECT IS PROPOSING TO REPLACE THE FOLLOWING EXTERIOR ELEMENTS

- REPLACE ALL EXISTING WINDOWS TO NEW EFFICIENT WINDOWS
- REPLACE ALL EXISTING SIDING WITH SMOOTH FINISH STUCCO

4. THE PROJECT IS PROPOSING TO DEMOLISH THE FOLLOWING EXISTING STRUCTURES

- DEMOLITION TOTAL: 785.58 SF
- (E) GARAGE: 238.94 SF
- (E) SHED: 135.11 SF
- (E) DECK: 436.52 SF

5. REMOVE AND REPLACE (E) ROOFING MATERIAL, (COMP. SHINGLES)

- TOTAL ROOF AREA: 2,106.22 SF

PROJECT INFORMATION

OWNER: YUAN LIN, OWNER
1063 WALTERS AVE, CAMPBELL, CA 95008
734-646-5779 | NALYUNL@GMAIL.COM

GENERAL CONTRACTOR: REAM CONSTRUCTION, BRANDON DUNHAM, GENERAL CONTRACTOR
2105 S. 10TH ST, SAN JOSE, CA 95112
406-846-2990 | BRANDON@DISASTERHAPPENS.BIZ

ARCHITECT: GKW ARCHITECTS, GORDON K WONG, AIA, LEED GA, CSLB
7106 MCCLINTY LANE SUITE 109, CAMPBELL, CA 95008
408-315-2125 | GORDONKWONG@GKWARCHITECTS.COM

STRUCTURAL: JHP STRUCTURAL ENGINEERING INC., JOHN H. PARK
274 E. HAMILTON AVE, SUITE C, CAMPBELL, CA 95008
408-695-1989 | SJENSENC@AOL.COM

T-24 ENERGY: CARSTARS ENERGY, TIMOTHY CARSTARS
2238 BAYVIEW HEIGHTS DRIVE, SUITE E, LOS OSCOS, CA 95042
408-535-3555 | TIM@CARSTARS@YAHOO.COM

PROJECT LOCATION: 1603 WALTERS AVE, CAMPBELL, CA 95008

APN: 403-18-076

ZONING: R-1-9 SINGLE FAMILY RESIDENTIAL

EXISTING LAND USE: RESIDENTIAL- LOW

LOT SIZE: 9,124.84 SF

MAXIMUM F.A.R.: 45%

MAXIMUM LOT COVERAGE: 40%

PROPOSED F.A.R.: 26%

PROPOSED LOT COVERAGE: 32%

SET BACKS:

HEIGHT: 35'-0" / 2 1/2 STORIES
FRONT: 20'-0"
SIDE: 10'-0"
REAR: 8'-0"

CONSTRUCTION TYPE: TYPE V-B, NON-SPRINKLER

(E) RESIDENCE 1,780.88 SF
(E) DECK 412.16 SF
(E) GARAGE 238.94 SF

(E) TOTAL RESIDENCE 1,999.82 SF

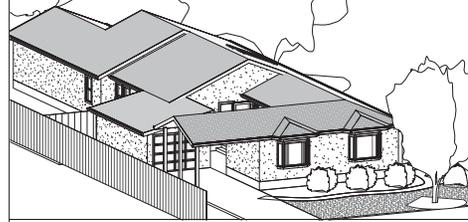
(P) RESIDENCE 2,124.88 SF
(P) DECK 290.78 SF
(P) GARAGE 232.74 SF
(P) CARPORT 240.57 SF

(P) TOTAL RESIDENCE 2,357.82 SF

APPLICABLE CODE

1. 2016 CALIFORNIA BUILDING CODES PART 1, 6, 10 & 11
2. 2016 CALIFORNIA BUILDING CODES PART 2, 2.5, 3-5, 8-9, 12
3. 2016 CALIFORNIA RESIDENTIAL CODE PART 2.5
4. 2016 CALIFORNIA MECHANICAL CODE
5. 2016 CALIFORNIA PLUMBING CODE
6. 2016 CALIFORNIA ENERGY CODE
7. 2016 CALIFORNIA FIRE CODE
8. 2016 CALIFORNIA GREEN BUILDING CODES
9. ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS
10. CAMPBELL MUNICIPAL CODE

BUILDING INFORMATION MODEL



VICINITY MAP



SHEET INDEX

Sheet Number	Sheet Name	Current Revision	Current Revision Date
A000	Cover Sheet & Site Plan	1	08-23-17
A001	Architectural Notes, Symbols, & (E) Site Plan	1	08-23-17
A002	Streetscape		
A100	Floor Plan, Existing & Demolition	1	08-23-17
A101	Floor Plan, Proposed	1	08-23-17
A102	Roof Plan, Existing		
A103	Roof Plan, Proposed	1	08-23-17
A200	Elevations, Existing		
A201	Elevations, Proposed	1	08-23-17
A300	Sections, Proposed		
L1	Landscape Plan	1	08-23-17

PROJECT SUMMARY

ASSESSORS PARCEL NUMBER: 403-18-076

LOT SIZE:

1,090.04 GROSS SQ. FT.
9,124.84 NET SQ. FT.

DEVELOPMENT DATA:	SQUARE FEET		% OF SITE	
	EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDING COVERAGE	2,411.98 SF	2,648.4 SF	26%	29%
LANDSCAPE COVERAGE	5057.17 SF	5086.52 SF	55%	56%
PAVING COVERAGE	466.7 SF	784.03 SF	5%	8%
FLOOR AREA RATIO	0.219	0.258	22%	26%

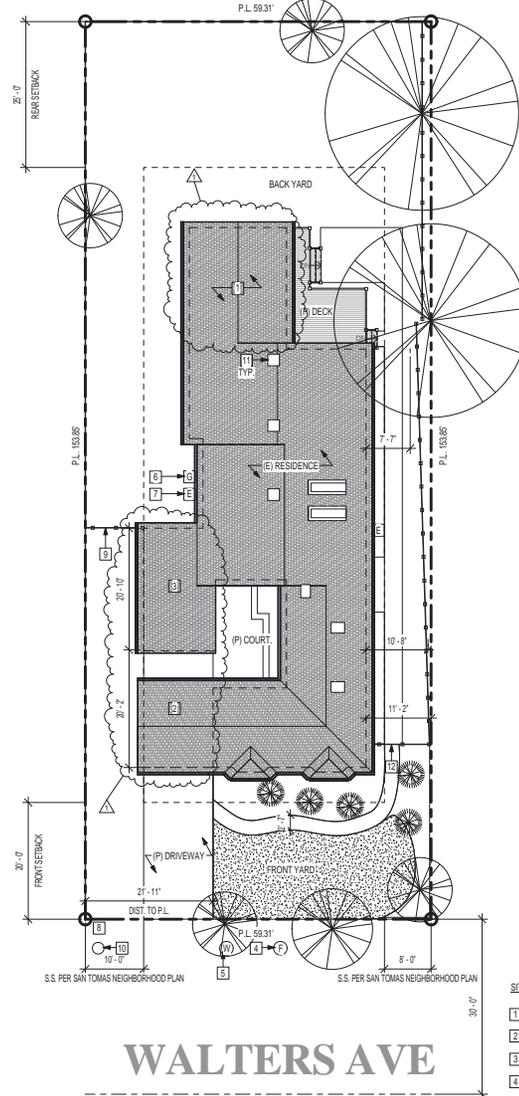
ADJACENT LAND USES:	USE	PARKING:	AMOUNT
NORTH	S.F.R.	# STANDARD SPACES	2
SOUTH	S.F.R.	# COMPACT SPACES	
EAST	S.F.R.	# DISABLED SPACES	
WEST	S.F.R.	# TOTAL PARKING	2

RESIDENTIAL PROJECTS:

	UNIT TYPE A	UNIT TYPE B	UNIT TYPE C	UNIT TYPE D
LIVING AREA (SF)	2,124.88 SF	NA	NA	NA
GARAGE AREA (SF)	232.74 SF	NA	NA	NA
TOTAL AREA (SF)	2,357.62 SF	NA	NA	NA
# OF BEDROOMS	5	NA	NA	NA
TOTAL # OF UNITS PER TYPE	1	NA	NA	NA

LIN RESIDENCE

WALTERS AVE. ———— CAMPBELL, CA



SITE PLAN KEY NOTES:

- | | |
|--------------------|-------------------|
| 1 (P) ADDITION | 7 (P) ELECTRICAL |
| 2 (P) CARPORT | 8 (E) SEWAGE |
| 3 (P) GARAGE | 9 (P) FENCE |
| 4 (E) FIRE HYDRANT | 10 (E) POWER POLE |
| 5 (E) WATER | 11 (P) SKYLIGHT |
| 6 (P) GAS | 12 (E) GATE |

1 Site Plan, Proposed
1" = 10'-0"



LOWE MOBILE PROJECT REP.
CAMPBELL, CA 95008
408-315-2125

GORDON K WONG, ARCHITECT
CAMPBELL, CA 95008
408-315-2125



Lin Residential Remodel
1603 Walters Ave
Campbell, CA 95008

Project Schedule Revision

#	Date	Revised By	Revised For

Cover Sheet & Site Plan

A000

SCALE As indicated

8/31/2017 9:40:32 AM

Abbreviations

A	ABOVE	I	INCH	R	REVEAL OR RISER
ABV	ASPHALT CONCRETE	INCD	INCH DESCENT	RAD	RADIUS
AD	AREA DRAIN	INSUL	INSULATION	RCPC	REINFORCED CONCRETE PIPE
ADDL	ADDITIONAL	INT	INTERIOR	RD	ROOF DRAIN
AFB	ABOVE FINISH FLOOR	INV	INVERT	REF	REFERENCE
ASPH	ASPHALT	JST	JOIST	REFL	REFLECTED
B	BITUMINOUS	JT	JOIST	REFR	REFRIGERATOR
BTJM	BUILDING	JT	JOINT	RET	RETAINING OR RETARDANT
BLDG	BUILDING	REG	REG	REG	ROUGH OPENING
BM	BEAM	K	KIPS	S	SEE CIVIL DRAWINGS
BR	BACKER ROD	KIT	KITCHEN	SCD	SCHEDULE
BUR	BUILT UP ROOF	KP	KICK PLATE	SCD	SCHEDULE
BRV	BEDROOM			SD	STORM DRAIN
BWB	BOTTOM OF WALL			SECT	SECTION
C	CABINET	L	LOCATION	SED	SEE ELECTRICAL DRAWINGS
CB	CATCH BASIN	LOC	LOCATION	SF	SQUARE FOOT OR FEET
CEM	CEMENT	LT	LIGHT	SHR	SHOWER
CF	CUBIC FEET			SHT	SHEET
CI	CONTROL JOINT			SHTG	SHEATHING
CL	CLOSET	M	MACHINE BOLT	SM	SIMILAR
CTL	CENTERLINE	MB	MEDIUM DENSITY FIBERBOARD	SJ	SEISMIC JOINT
CT	CUTTING	MCH	MECHANICAL	SL	SEALANT
CONC	CONCRETE	MDP	MEDIUM DENSITY FIBERBOARD	SLD	SEE LANDSCAPE DRAWINGS
CPT	CARPET	MEM	MEMBRANE	SM	SEE MECHANICAL DRAWINGS
D	DECK	MET	METAL	SMD	SOFFIT
DR	DRAIN	MH	MANHOLE	SOP	SLAB ON GRADE
DS	DOWNSPOUT	MSC	MISCELLANEOUS	SPD	SEE PLUMBING DRAWINGS
E	EXISTING	MTD	MOUNTED	SPECS	SPECIFICATION
(E)	EXISTING	MTL	METAL	SQ	SQUARE
EP	ELECTRICAL PANEL	(N)	NEW	SS	SANITARY SEWER
EXT	EXTERIOR	NR	NON-RATED	SSD	SEE STRUCTURAL DRAWINGS
F	FOUNDATION	NTS	NOT TO SCALE	STC	SOUND TRANSMISSION COEFFICIENT
FDN	FOUNDATION	O	OVERALL	STD	STANDARD
FH	FIRE HYDRANT	OC	ON CENTER	STL	STEEL
FN	FINISH	OA	ON CENTER	STOR	STORAGE
FF	FINISH FLOOR	OD	OUTSIDE DIAMETER/DIMENSION	STRUC	STRUCTURAL
FL	FLOW LINE	OCF	OWNER FURNISHED CONTRACTOR	STL	STRUCTURAL
FLUOR	FLUORESCENT	OFDI	OWNER FURNISHED CONTRACTOR	STL	STRUCTURAL
FOC	FACE OF CONCRETE	OFDI	OWNER FURNISHED CONTRACTOR	STL	STRUCTURAL
FOF	FACE OF FINISH	P	PENETRATION	TRO	TOP OF WALL
FOS	FACE OF STUD	PERF	PERFORATED	T	TOP AND BOTTOM
FR	FIRE RATED	PERP	PERPENDICULAR	T&G	TONGUE AND GROOVE
FS	FLOOR SINK	PLT	PLATE	TC	TOP OF CURB
FSL	FIRE SPRINKLER	PL	PROPERTY LINE	TOC	TOP OF CONCRETE
FTG	FOOTING	PLAS	PLASTER	TOP	TOP OF PAVING
FURR	FURRING	PUBG	PLUMBING	TOS	TOP OF STEEL
G	GALVANIZED	PLYWD	PLYWOOD	TRO	TOP OF WALL
GC	GENERAL CONTRACTOR	PNL	PANEL	U	UNDERWRITERS LABORATORIES
GL	GLASS	POC	POINT OF CONNECTION	UL	UTILITIES
GND	GROUND	PP	PERMEABLE PAVERS	V	VERTICIOUS CLAY PIPE
GWB	Gypsum Wall Board	PREFAB	PREFABRICATED	VERT	VERTICAL
GYP	Gypsum	PSF	POUNDS PER SQUARE FOOT	VTR	VENT THROUGH ROOF
H	HEADER	PSI	POUNDS PER SQUARE INCH	W	WEST OR WIDTH
HBD	HARDBOARD	PTD	PAINTED	WI	WATER CLOSET
HDR	HEADER	PTR	PRESSURE TREATED	WC	WOOD
HDWR	HARDWARE	PTWDD	PRESSURE TREATED WOOD	WD	WOOD
HWD	HARDWOOD	QTY	QUANTITY	WDW	WINDOW
HTR	HEATER			WID	WITHOUT
HVAC	HEATING, VENT. & A.C.			WP	WATER PROOF
				WPT	WORKING POINT
				WR	WATER RESISTANT

Graphic Symbols

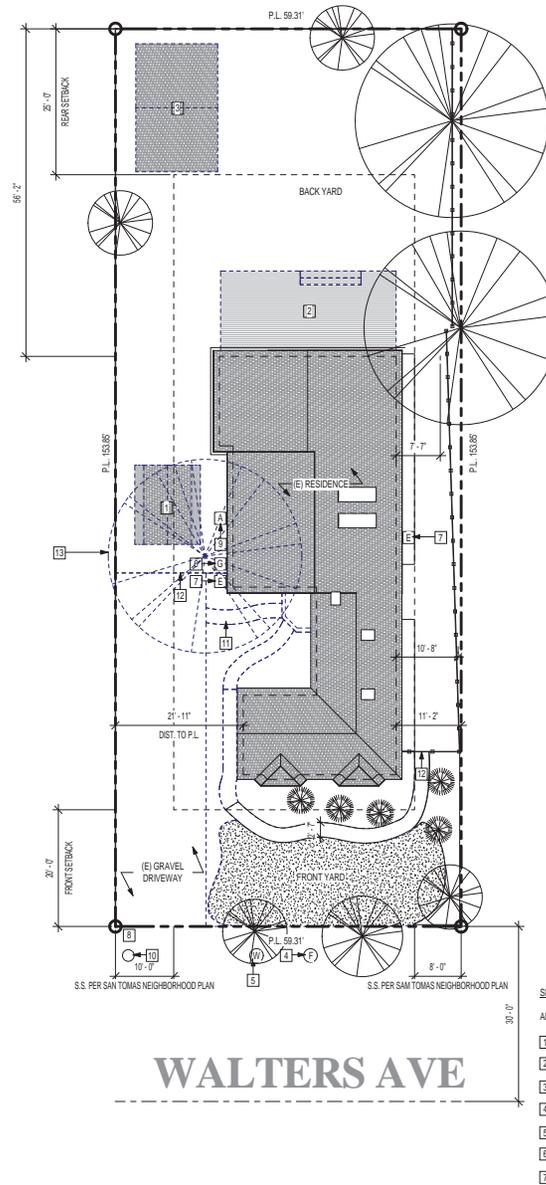
	CONCRETE PAD		BUILDING SECTION
	DETAIL REFERENCE		APPROXIMATE LINE OF WORK
	INTERIOR ELEVATION		DOOR TYPE
	WALL TYPE		DATUM REFERENCE
	KEY NOTE		ROOM TAG
	REVISION		WINDOW TYPE
	REMOVE		

General Notes

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AGENCIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN YOUR ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGE OR REPAIR ITEMS AND CONDITIONS THAT MAY OCCUR DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
- ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- OWNERSHIP OF DRAWINGS, THESE DRAWINGS ARE THE PROPERTY OF GKW ARCHITECTS - GORDON WING, ARCHITECT. THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
- LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.

Public Work Notes & Site Plan Notes

- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- CONTRACTOR SHALL SCRAPER ALL SMOKE OR FIRE DAMAGED MEMBERS CLEAN. ANY FRAMING MEMBERS THAT LOSE MORE THAN 1/16" OF MATERIAL PER SURFACE MUST BE REPLACED OR REPAIRED. SMOKE DAMAGED MEMBERS MUST BE CLEANED AND SEALED.
- CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER CITY OF CAMPBELL.
- OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS PER CAMPBELL M.C. SECTION 17.20.540 PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
- ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE URBAN CODE. PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NE VBUILDING OR STRUCTURE PER UBC SECTION 3403.2.
- CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID.
- PER CBGSC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- PER CBGSC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGREEN CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.



1 Site Plan, Existing
1" = 10'-0"



LOWE'S MODERN ARCHITECTURE
1608 WALTERS AVE
CAMPBELL, CA 95008
(408) 221-1400
WWW.LINRESIDENTIALREMODEL.COM



Lin Residential Remodel
1608 Walters Ave
Campbell, CA 95008

Rev	Date	Revised By	Checked By
1			
2			
3			
4			

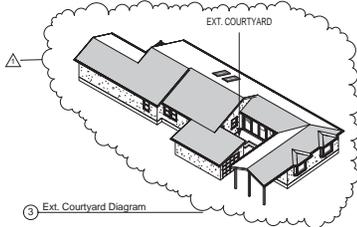
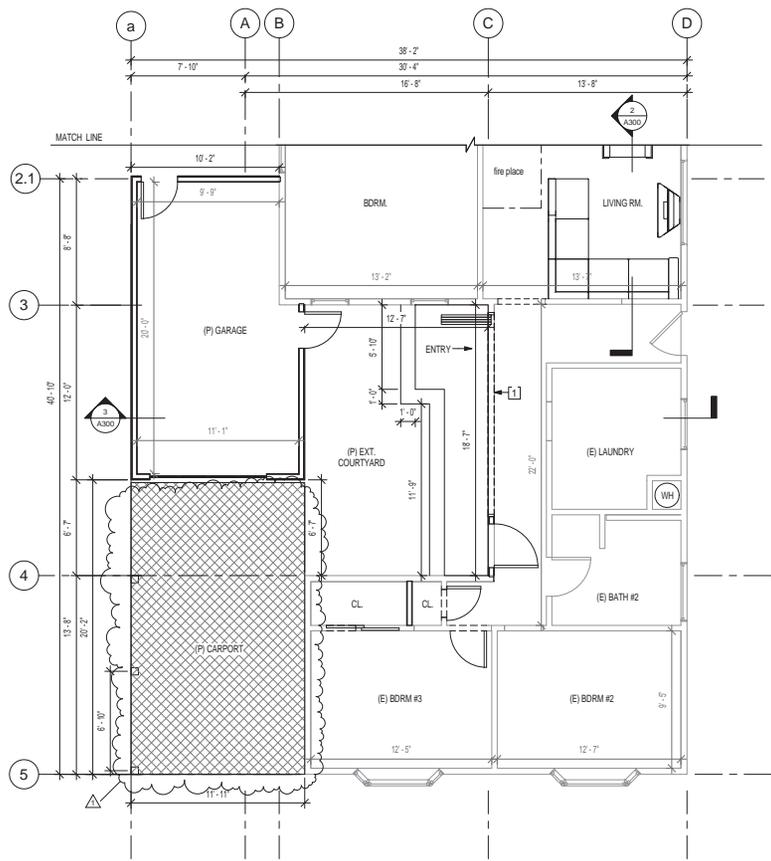
Architectural Notes, Symbols, & (E) Site Plan

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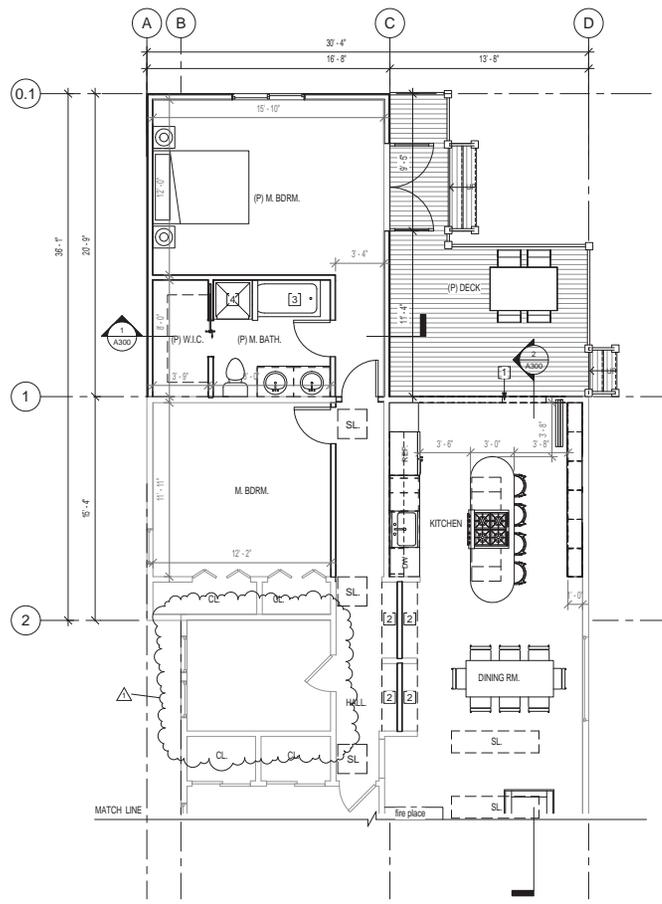
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SITE PLAN KEY NOTES:

- ALL ELEMENTS SHOWN AS [] ARE TO BE DEMOLISHED
- | | |
|-----------------------|--|
| 1 (E) SHED | 8 (E) SEWAGE |
| 2 (E) DECK | 9 (E) AIR COMPRESSOR |
| 3 (E) DETACHED GARAGE | 10 (E) POWER POLE |
| 4 (E) FIRE HYDRANT | 11 (E) WALK WAY |
| 5 (E) WATER | 12 (E) GATE |
| 6 (E) GAS | 13 CEDAR IDEORA TO BE REMOVED PER PL2017 240 |
| 7 ELECTRICAL | |



1 Floor Plan, Proposed A
1/4" = 1'-0"



FLOOR PLAN KEYNOTES:
 ALL EXTERIOR WALLS TO BE REPLACED WITH SMOOTH STUCCO FINISH

- 1 PANORAMIC DOORS
- 2 SHELVES
- 3 BATH TUB
- 4 SHOWER

2 Floor Plan, Proposed B
1/4" = 1'-0"



LOWE RESIDENTIAL PROJECT PREP.
 1663 WILKINS AVE. SUITE 100
 CAMPBELL, CA 95008
 (408) 714-1400
 GORDON K. WONG, ARCHITECT
 CAMPBELL, CA 95008
 (408) 714-1400
 WWW.ARCHITECTS.COM



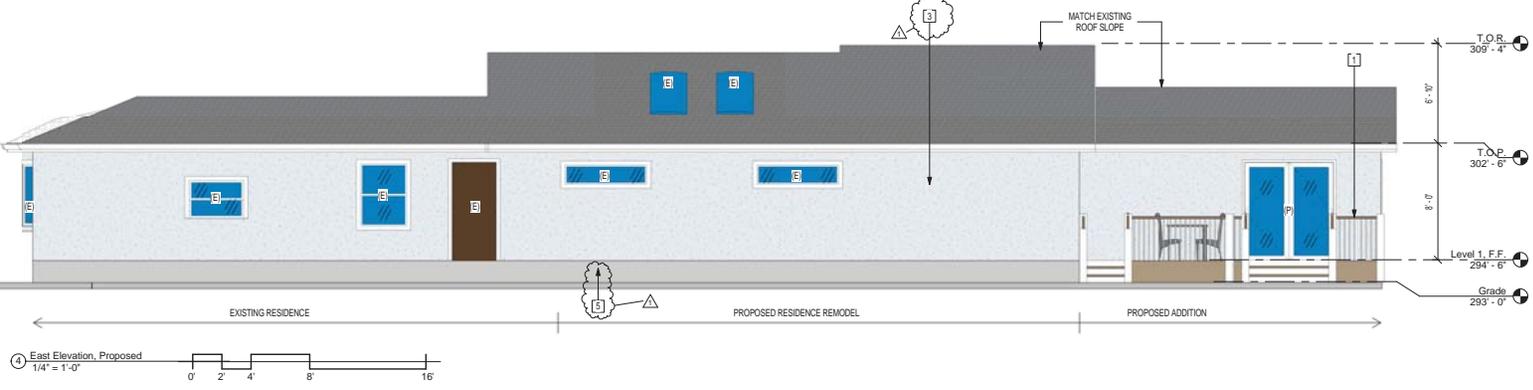
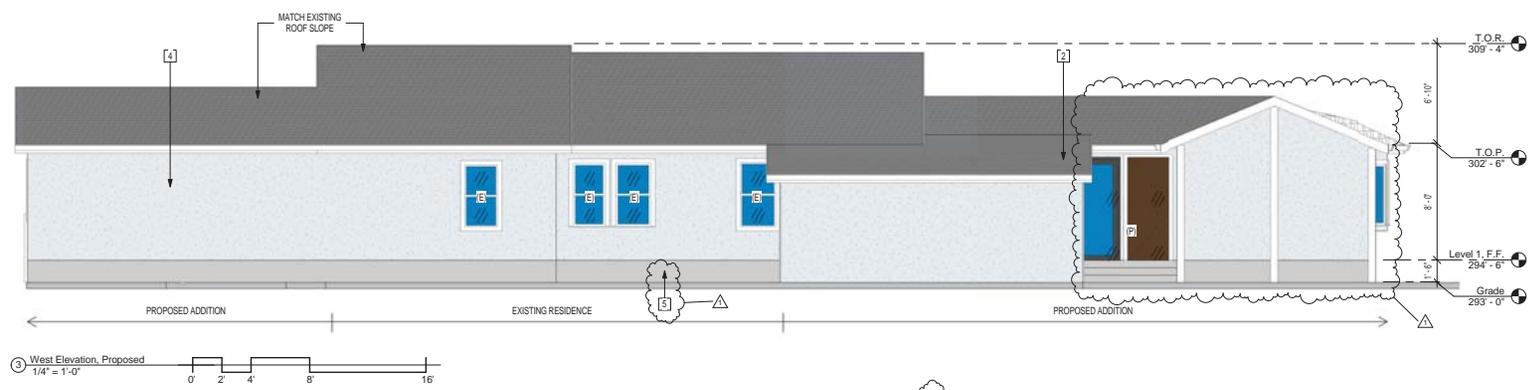
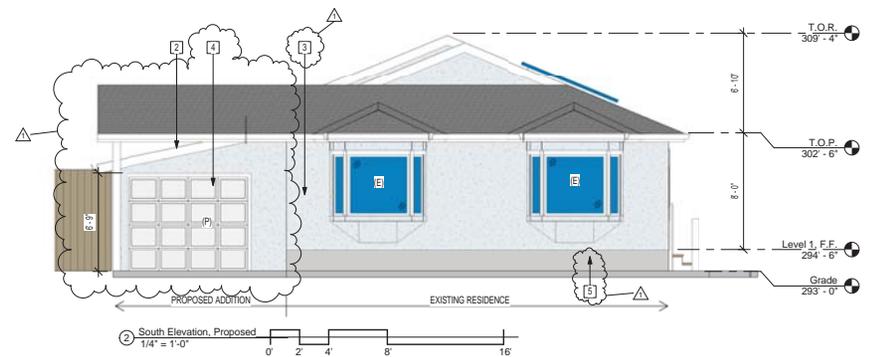
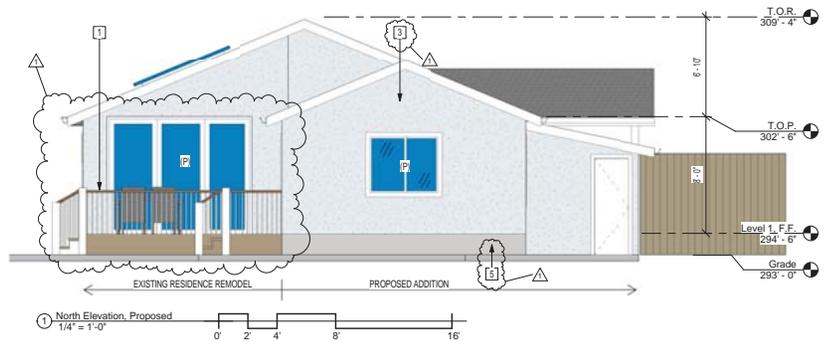
Lin Residential Remodel
 1663 Wilkins Ave.
 Campbell, CA 95008

Project Schedule Revision

Rev.	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Floor Plan, Proposed

A101
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- ELEVATION KEY NOTES**
- 1 (P) DECK
 - 2 (P) COMPOSITION ROOF SHINGLES
 - 3 (P) SMOOTH STUCCO FINISH
 - 4 (P) STEEL GA GARAGE DOOR
 - 5 (E) CONCRETE STEM WALL
 - 6 (E) EXISTING
 - 7 (P) PROPOSED
 - 8 (T) TEMPERED GLASS



LOWE RESIDENTIAL PROJECT PREP.
 1608 WILKINSON AVE
 CAMPBELL, CA 95008
 (408) 438-1414



Lin Residential Remodel
 1608 Wilkinst Ave
 Campbell, CA 95008

Project Schedule Revision

Rev	Date	Description

Elevations, Proposed

A201

SCALE 1/4" = 1'-0"

8/31/2017 9:41:12 AM

SAMPLE BOARD: 1603 Walters Ave. - Residential Addition / Remodel



Front Perspective



Rear Perspective

Proposed New Exterior Stucco
Color: KMW62 Tahoe Snow

Proposed Trex Decking
Color: Rope Swing

Proposed Garage Door
Color: KMW43 Whitest White

Proposed CertainTeed Roof
Landmark Shingles
Color: Cobblestone Gray

Milguard Montecito Series
Color: White Interior & Exterior

