



**CITY OF CAMPBELL**  
Community Development Department

September 29, 2017

**NOTICE OF ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW**

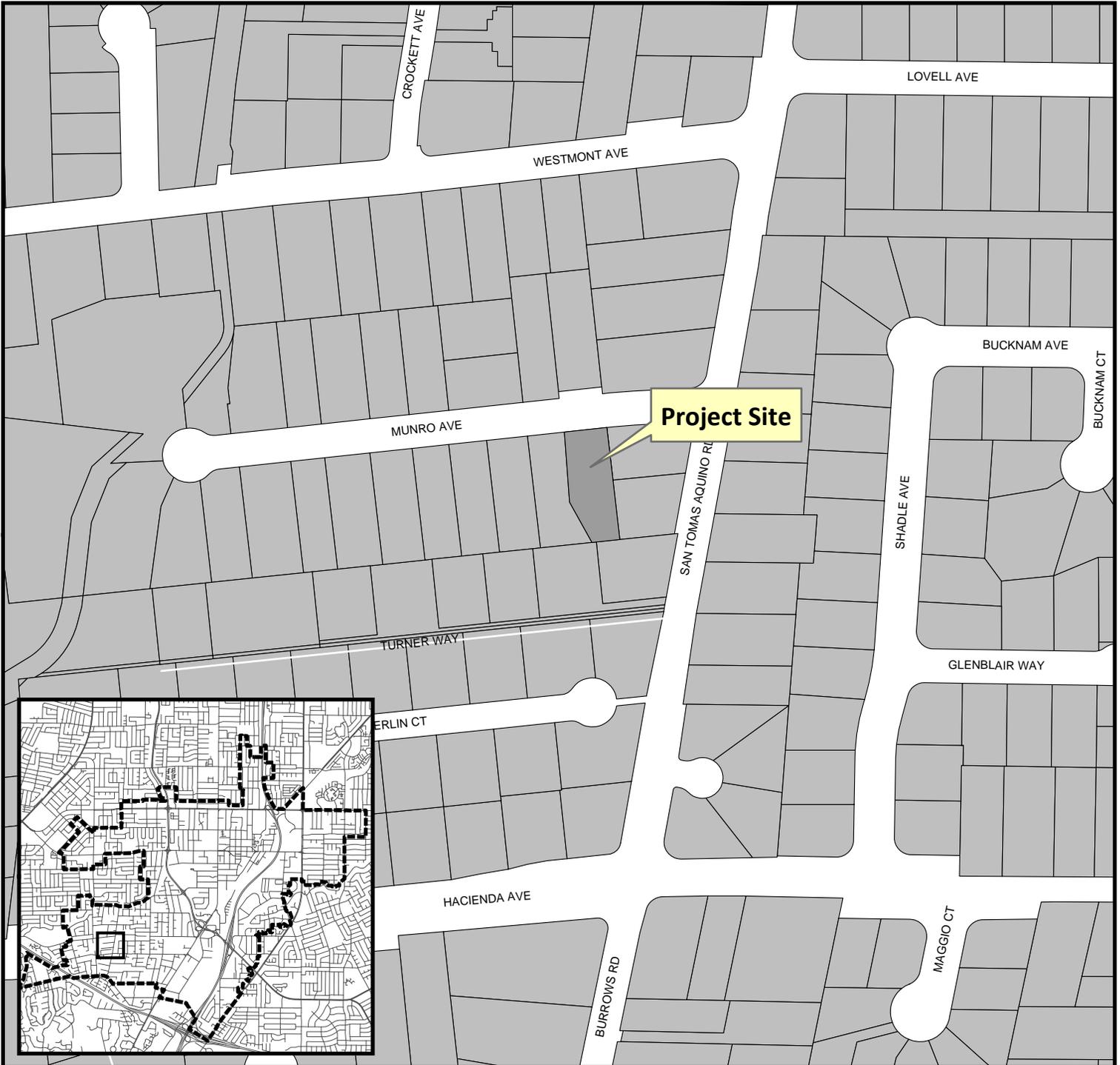
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

**File No.:** PLN2017-217  
**Applicant:** Joseph Xu  
**Project Address:** 1875 S. Bascom Ave., Ste. 440 (The Pruneyard)  
**Property Owner:** CFEP Pruneyard, LLC  
**Zoning District:** R-1-9 (Single Family Residential) / San Tomas Area Neighborhood Plan  
**General Plan:** Low Density Residential  
**Project Description:** To allow an approximately 1,121 square-foot one-story rear addition to an existing one-story single-family residence .

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on October 3, 2017 and ends on October 13, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **October 13, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Stephen Rose, Associate Planner, in the Community Development Department, at (408) 866-2142 or by email [stephenr@cityofcampbell.com](mailto:stephenr@cityofcampbell.com).

# Project Location Map

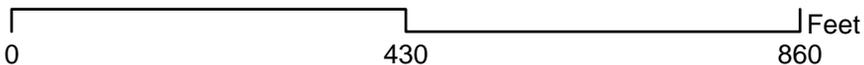


**Project Location:** 1286 Munro

**Application Type:** Admin. Site and Arch.

**Planning File No.:** PLN2017-217

**Description:** To allow for a 1,121 square foot addition to an existing 932 square foot single-story single family residence with a 371 square foot detached garage.



Community Development Department  
Planning Division



Project Title:  
**RESIDENTIAL ADDITION & REMODEL**  
**1286 MUNRO AVENUE**  
**CAMPBELL, CA 95008**

Sheet Title:  
**COVER SHEET**

Revision No.:	Date:
PERMIT	06/16/2017
PLAN CHECK REV. 1	08/30/2017
Date:	03/20/2017
Drawn by:	
Checked by:	
Sheet No.:	<b>A1</b>
Project No.:	1286

# ADDITION & REMODEL

## 1286 MUNRO AVENUE

### CAMPBELL, CA 95008

#### SHEET INDEX

- A1. COVER SHEET
- A2. PROPOSED AND EXISTING FLOOR PLANS
- A3. EXISTING AND PROPOSED ELEVATIONS AND SECTIONS
- A4. CAL GREEN NOTES AND DETAILS
- T24. TITLE 24 ENERGY COMPLIANCE.
- S1. GENERAL NOTES
- S2. GENERAL DETAILS
- S3. FOUNDATION AND FRAMING PLANS.
- S4. STRUCTURAL DETAILS.

#### NOTES

- GENERAL:**
- ALL WORK SHALL BE CONFORM TO THE 2016 EDITION CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA ELECTRICAL CODE (CEC), TITLE 24 ENERGY EFFICIENCY STANDARDS 2016 EDITION, AND APPLICABLE LOCAL ORDINANCES.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL THE DIMENSIONS AND EXISTING CONDITIONS THEREON BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE ENGINEER PRIOR TO PROCEEDING WITH AFFECTED WORK.

#### AGREEMENT BETWEEN OWNER AND DESIGNER/ENGINEER

- BY USE OF THESE PLANS THE OWNER AND GENERAL OR SUB CONTRACTOR HAVE AGREED TO INDEMNIFY THE DESIGNER/ENGINEER OF ALL LEGAL COST ASSOCIATED WITH ANY OWNER AND CONTRACTOR DISPUTES AND HOLD DESIGNER/ENGINEER HARMLESS.
- THE MAXIMUM DESIGNER/ENGINEER'S LIABILITY IS LIMITED TO THE FEES RECEIVED FOR SERVICE RENDERED.

#### LEGEND FOR DRAWINGS:

- NEW WORK
- HIDDEN NEW WORK
- VISIBLE EXISTING WORK TO REMAIN
- HIDDEN EXISTING WORK TO REMAIN
- EXISTING WORK TO BE REMOVED.

#### PROJECT DATA

##### PROJECT INFORMATION

ADDRESS: 1286 MUNRO AVENUE  
 CAMPBELL, CA 95008  
 TELEPHONE: (408) 658-4506  
 OWNER: MICHAEL DING  
 OCCUPANCY GROUP (S): R-3/U  
 TYPE OF CONSTRUCTION: V-B, SPRINKLER

##### PROJECT DATA

LOT SIZE	=	9,428	SQ. FT.
EXISTING FLOOR AREA	=	932	SQ. FT.
EXISTING GARAGE AREA	=	371	SQ. FT.
EXISTING FRONT PORCH	=	56	SQ. FT.
PROPOSED ADDITION	=	1121.5	SQ. FT.
TOTAL FLOOR AREA AREA	=	2,053	SQ. FT.
TOTAL BUILDING AREA	=	2,480	SQ. FT.

BUILDING AREA COVERAGE: 26.3%

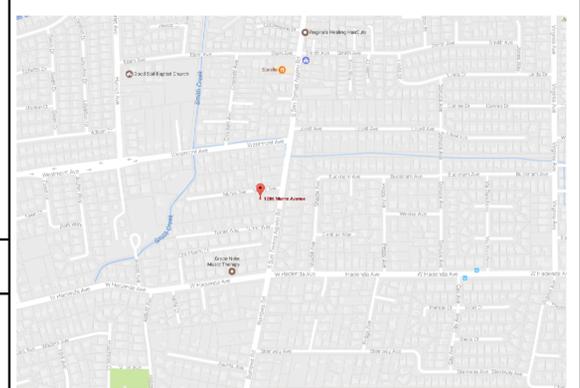
##### SCOPE OF WORK:

- 1121 SQ. FT. REAR ADDITION, THE ADDITION IS TO ADD ONE FAMILY ROOM, ONE BEDROOM, ONE BATHROOM, MASTER BEDROOM, MASTER BATH AND WALK-IN CLOSET.
- RELOCATE AND REMODEL EXISTING KITCHEN, REMODEL EXISTING BATHROOM.

#### ABBREVIATIONS

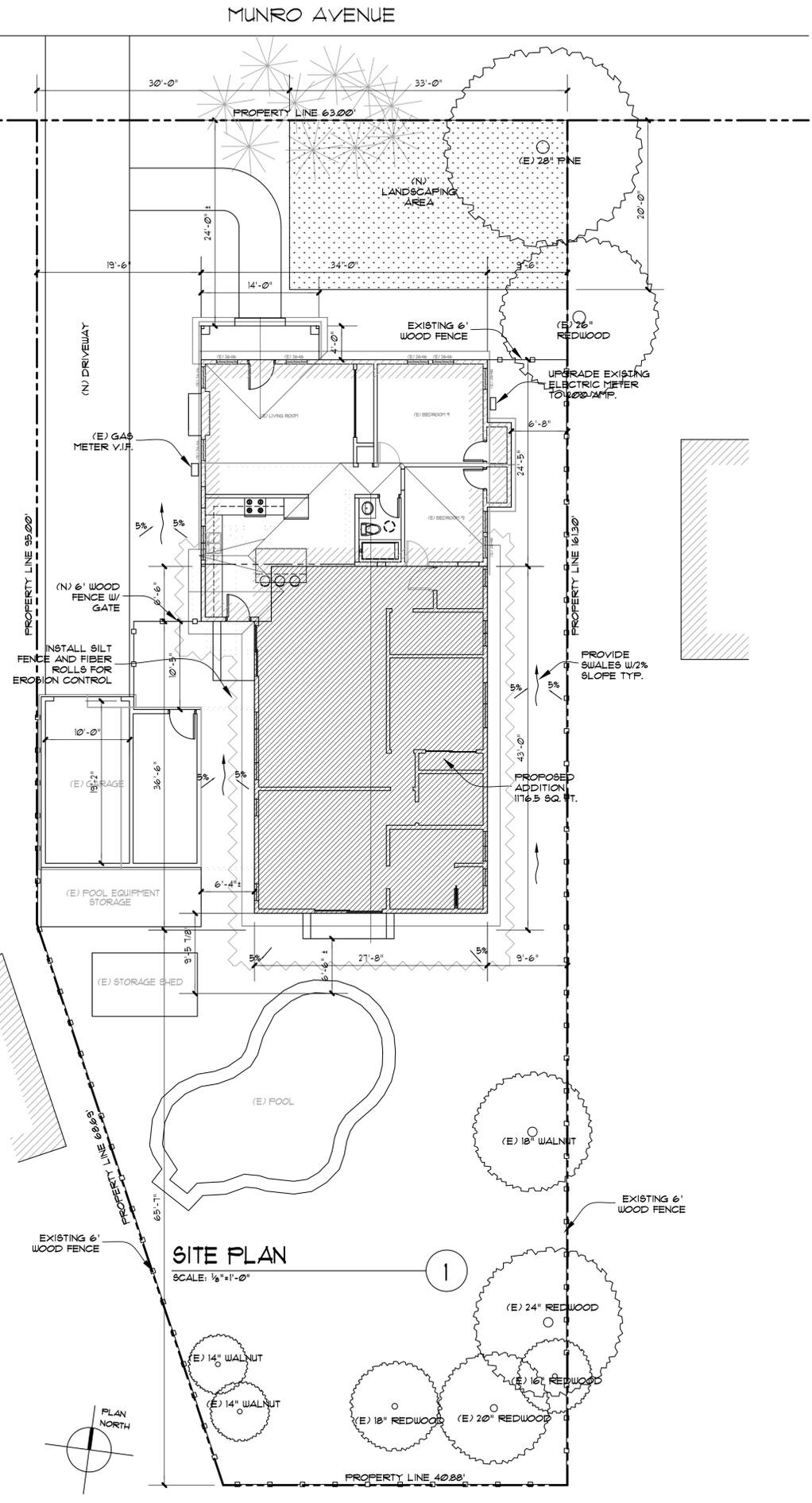
&	AND	GALV.	GALVANIZED
L	ANGLE	GEN.	GENERAL
@	AT	GYP.	GYPSUM
BLDG.	BUILDING	HORIZ.	HORIZONTAL
BLKG.	BLOCKING	HT.	HEIGHT
BM.	BEAM	INSUL.	INSULATION
BOT.	BOTTOM	INT.	INTERIOR
BTWN.	BETWEEN	MAX.	MAXIMUM
CEM.	CEMENT	MISC.	MISCELLANEOUS
C.J.	CONTROL JOINT	(N)	NEW
CLG.	CEILING	NO. OR *	NUMBER
CLR.	CLEAR	O.C.	ON CENTER
COL.	COLUMN	FL.	FILATE
CONC.	CONCRETE	FLM	FARALLAM
CONN.	CONNECTION	FLYWD.	FLYWOOD
CONT.	CONTINUOUS	REINF.	REINFORCED
CTR.	CENTER	REQ'D	REQUIRED
DBL.	DOUBLE	RM.	ROOM
DET.	DETAIL	SCHED.	SCHEDULE
DF	DOUGLAS FIR	SECT.	SECTION
DIA. OR *	DIAMETER	SHT.	SHEET
DIAG.	DIAGONAL	SIM.	SIMILAR
DIM.	DIMENSION	SPEC.	SPECIFICATIONS
DN.	DOWN	SQ. FT.	SQUARE FEET
DR.	DOOR	STL.	STEEL
DWG.	DRAWING	STRUCT.	STRUCTURAL
(E)	EXISTING	U.O.N.	UNLESS OTHERWISE NOTED
EA.	EACH	VERT.	VERTICAL
ELEV.	ELEVATION	V.F.T.	VERIFY
EN.	EDGE NAIL	V.I.F.	VERIFY IN FIELD
EW.	EACH WAY	W.C.	WATER CLOSET
EXT.	EXTERIOR	WD.	WINDOW
FOUND.	FOUNDATION	WP.	WATERPROOF
FF	FINISH FLOOR	W/	WITH
FIN.	FINISH	FIN.	FINISH
FLR.	FLOOR	W/O	WITHOUT
FN.	FIELD NAIL	W/I	WITH IN
FTG.	FOOTING		

#### VICINITY MAP



#### CODE:

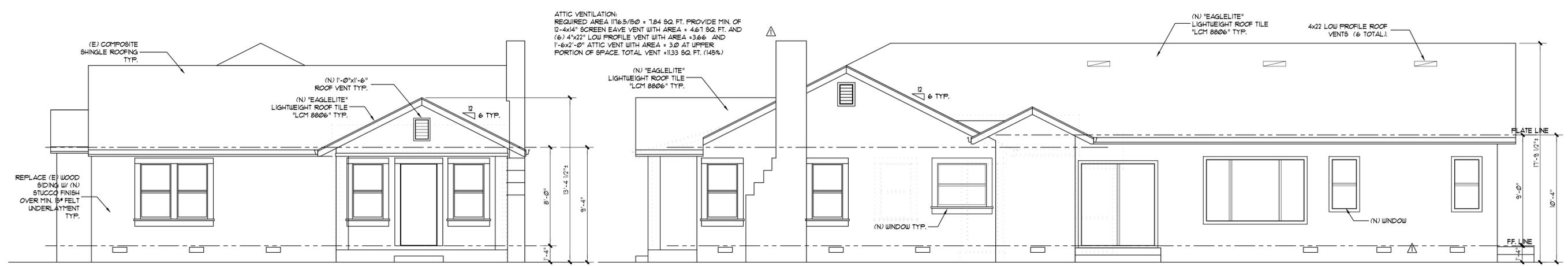
- CALIFORNIA FIRE CODE 2016 EDITION
- CALIFORNIA BUILDING CODE 2016 EDITION
- CALIFORNIA ELECTRICAL CODE 2016 EDITION
- CALIFORNIA MECHANICAL CODE 2016 EDITION
- CALIFORNIA PLUMBING CODE 2016 EDITION
- CALIFORNIA GREEN BUILDING CODE 2016 EDITION
- CALIFORNIA RESIDENTIAL CODE 2016 EDITION
- NFPA 16D 2016 EDITION
- CITY OF CAMPBELL MUNICIPAL CODE



**SITE PLAN**  
 SCALE: 1/8"=1'-0"



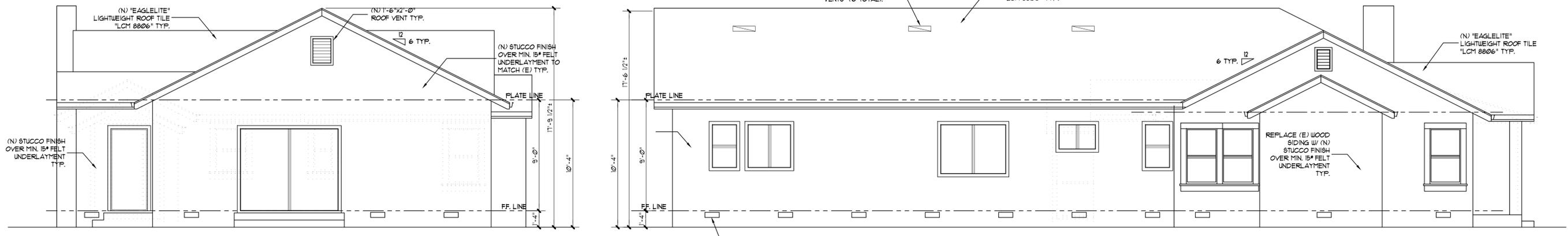




**PROPOSED FRONT ELEVATION**  
 SCALE: 1/4"=1'-0"

**PROPOSED RIGHT ELEVATION**  
 SCALE: 1/4"=1'-0"

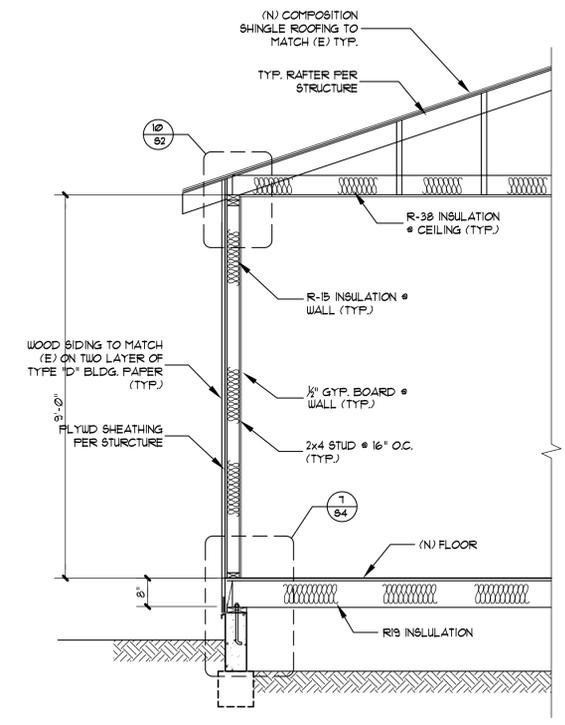
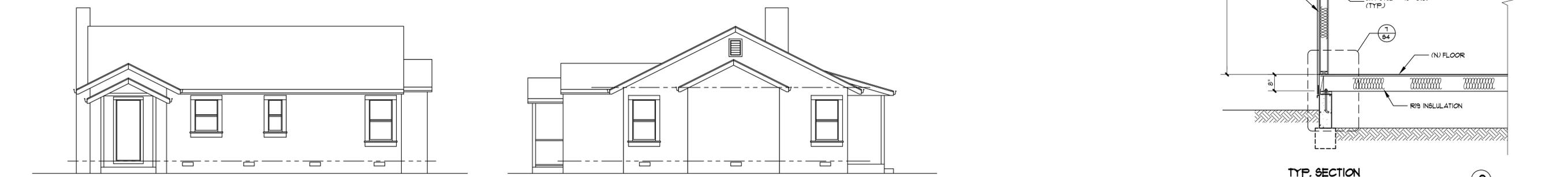
NOTE:  
 1. ALL WINDOWS & TRIMERS SHALL MATCH & ALIGN WITH EXISTING.  
 2. EXTERIOR FINISH: 3/8" STUCCO TO MATCH (E) OVER 2 LAYERS OF GRADE 'D' BUILDING PAPER (MIN. 1/8" FELT) OVER MIN. 1/2" CDX FLYWOOD, ARYLIC FINISH COATE  
 3. 1/2" FASCIA G&M. GUTTER TO MATCH EXISTING, WITH BRACKETS @ 48" O.C. W/ PAINTED DOWNSPOUTS, TO MATCH EXISTING, TIED TO PERIMETER DRAIN SYSTEM. SEE GRADING AND DRAINAGE PLAN. CONTRACTOR TO VERIFY DOWNSPOUT LOCATIONS.  
 4. G&M FOUNDATION VENT-SCREENED, VERIFY SIZE AND NET FREE AREA WITH FOUNDATION VENTILATION CALCULATIONS.  
 5. DUAL GLAZED VINYL FRAME WINDOWS TYPICAL BY 'MILGARD' OR APPROVED EQUAL.



**PROPOSED REAR ELEVATION**  
 SCALE: 1/4"=1'-0"

**PROPOSED LEFT ELEVATION**  
 SCALE: 1/4"=1'-0"

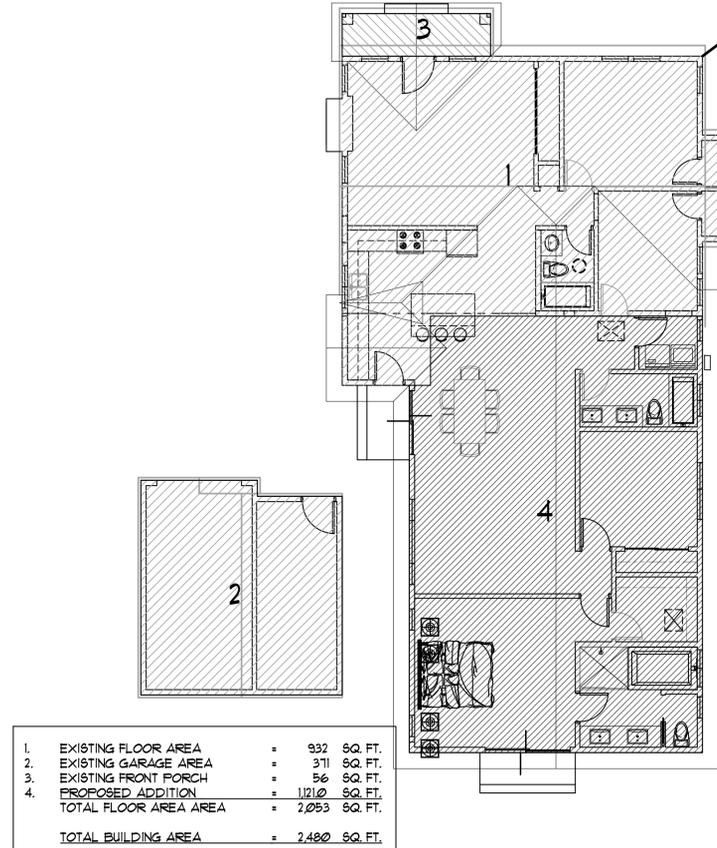
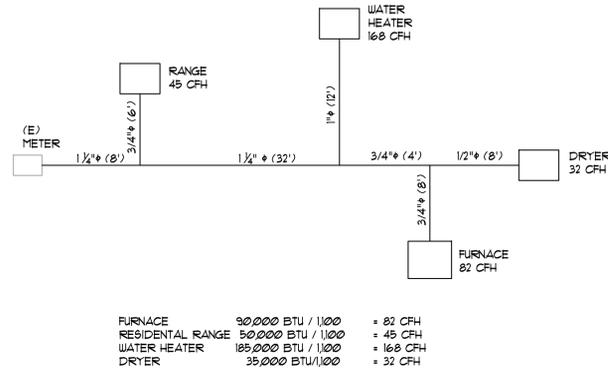
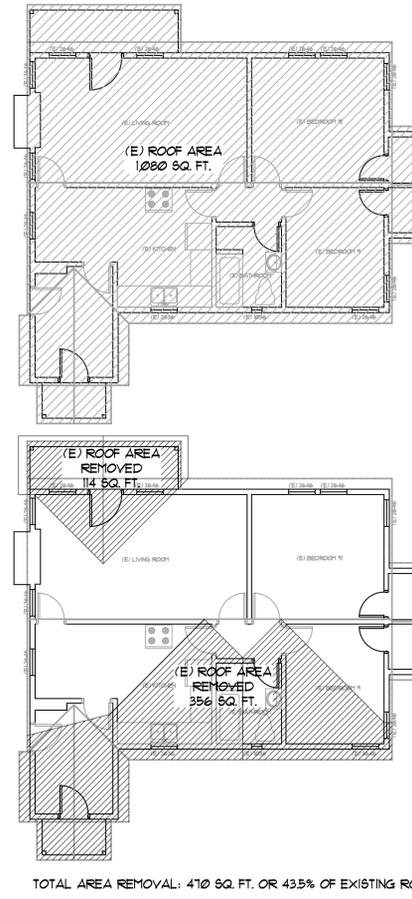
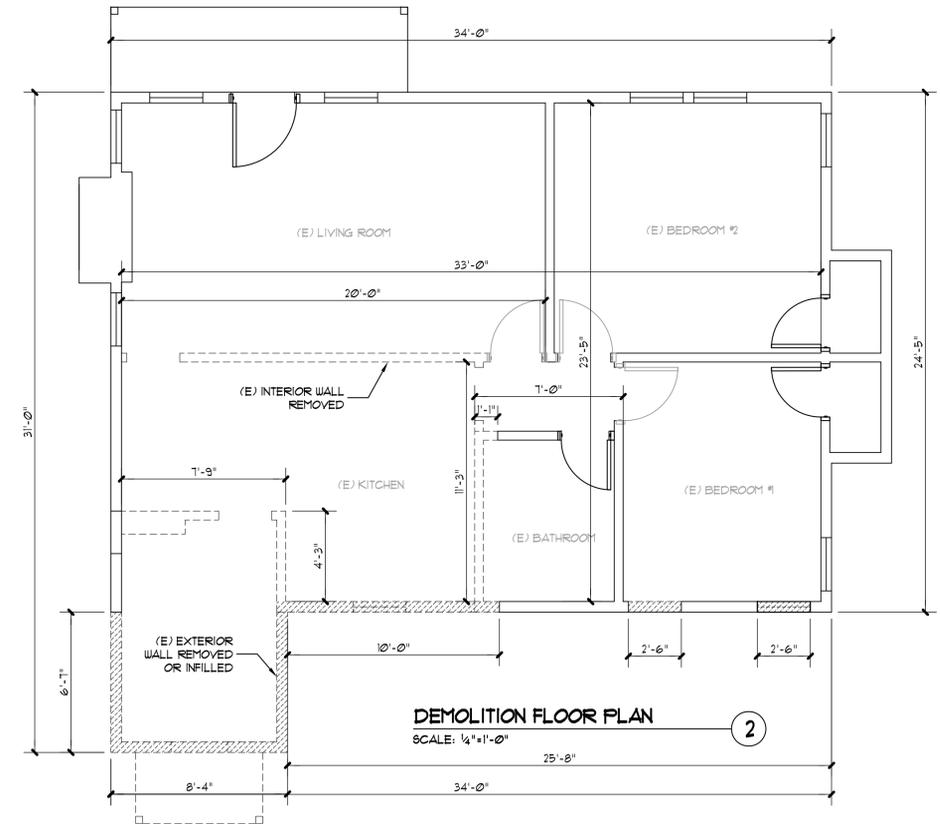
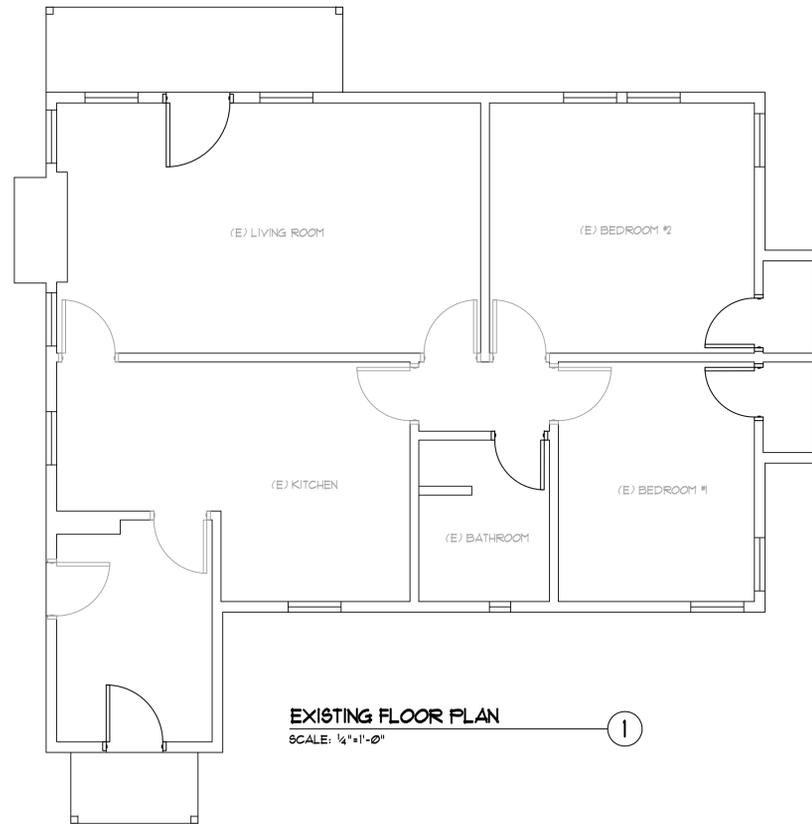
FOUNDATION VENTILATION:  
 REQUIRED AREA  $1176.5/150 = 7.84$  SQ. FT. PROVIDE AREA 9.32 SQ. FT. (126%)



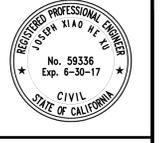
**TYP. SECTION**  
 SCALE: 1/2"=1'-0"

**CALIFORNIA GREEN BUILDING STANDARD CODE NOTES:**

1. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 128 GALLONS PER FLUSH.
2. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTES AT 80 PSI.
3. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI AND SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTES AT 20 PSI.
4. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTES AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW RATE ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLON PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
5. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATION EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.
6. ADHESIVES, SEALANTS AND CAULKS SHALL MEET THE APPLICABLE STANDARDS OF CGBSC 4.504.2.1 AND TABLES 4.504.1 AND 4.504.2 FOR VOC LIMITS AND CONTENT PROHIBITIONS.
7. PAINTS AND COATINGS SHALL MEET THE APPLICABLE STANDARDS OF CGBSC 4.504.2.2 AND TABLE 4.504.3 FOR VOC LIMITS.
8. AEROSOL PAINTS AND COATING SHALL MEET THE APPLICABLE STANDARDS OF CGBSC 4.504.2.3.
9. CARPET SYSTEMS SHALL MEET THE APPLICABLE STANDARD OF CGBSC 4.504.3 INCLUDING CGBSC 4.504.3.1 FOR CARPET CUSHIONS AND CGBSC 4.504.3 CARPET ADHESIVES.
10. RESILIENT FLOORING SHALL MEET THE APPLICABLE STANDARDS OF CGBSC 4.504.4.
11. COMPOSITE WOOD PRODUCTS, INCLUDING HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBER BOARD, SHALL MEET THE APPLICABLE STANDARD OF CGBSC 4.504.5 AND TABLE 4.505.5 FOR LIMITS OF FORMALDEHYDE EMISSION.
12. BATHROOM EXHAUST FAN SHALL BE PROVIDED HAVING A MINIMUM CAPACITY OF 50 CFM, A SOUND RATING OF 3 SONES OR LESS.
13. KITCHEN EXHAUST FAN SHALL BE PROVIDED HAVING A MINIMUM CAPACITY OF 100 CFM AND A SOUND RATING OF 3 SONES OR LESS.
14. WHOLE BUILDING VENTILATION SHALL BE PROVIDED. FAN CAPACITY SHALL BE DEMONSTRATED TO COMPLY BASE ON EQUATION 4.1a OR 4.2 PER ASHRAE 62.2. FAN INTENDED FOR CONTINUOUS OPERATION SHALL HAVE A SOUND RATING NOT EXCEEDING 1 SONE.
15. SUBMIT CONSTRUCTION WASTE MANAGEMENT PLAN PER CALGREEN SECTION 4.408.2 (OR IN ACCORDANCE WITH THE LOCAL ORDINANCE). DIVERT A MINIMUM OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE PER SECTION 4.408.1.
16. PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1 THROUGH 10 IN SECTION 4.410.1.
17. DUCT SYSTEM ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.501.2. HVAC SYSTEM INSTALLER MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
18. EACH BATHROOM SHALL BE MECHANICAL VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL.
19. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
20. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS.
21. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
22. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFY BY MEANS OF MOISTURE READINGS USING A MOISTURE METER.



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Project Title:  
**RESIDENTIAL ADDITION & REMODEL**  
1286 MUNRO AVENUE  
CAMPBELL, CA 95008

Sheet Title:  
**CAL GREEN NOTES AND DETAILS**

Revision No.:	Date:
PERMIT	06/16/2017
PLAN CHECK REV. 1	08/30/2017
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Sheet No:	A4
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# EXTERIOR FINISHES MATERIAL & COLOR TABLE

MATERIAL BOARD NO.	BUILDING AREA	MATERIAL	COLORS	MANUFACTURE
3	ROOFING	LIGHTWEIGHT TILE	TAN	EAGLELITE
<div data-bbox="641 462 1445 1008" data-label="Image"> <p style="font-size: small;"> <b>NEW</b>              LCC 8806 Tucson Blend - Tan, Terracotta, Mauve Blend  <b>T24</b> Ref: .20 Emi: .88 SRI: 18 A.SRI: 18 CRRC: 0918-0085  </p> </div>				
4				

# EXTERIOR FINISHES MATERIAL & COLOR TABLE

MATERIAL BOARD NO.	BUILDING AREA	MATERIAL	COLORS	MANUFACTURE
1	WALL	STUCCO	WISE OWL	KELLY-MOOR
		 <p>The screenshot shows the Kelly-Moore myCOLORSTUDIO interface. At the top, it says 'KELLY-MOORE PAINTS' and 'myCOLORSTUDIO™'. Below that, the color name 'Wise Owl' is displayed with a small number '42'. To the right of the name are social media icons for Facebook, Twitter, and Pinterest. A large rectangular color swatch of a light tan/brown hue is shown in the center. At the bottom right of the swatch area is a blue button that says 'ADD TO CURRENT'.</p>		
2	TRIMS	STUCCO	SWISS COFFEE	KELLY-MOOR
		 <p>The screenshot shows the Kelly-Moore myCOLORSTUDIO interface. At the top, it says 'KELLY-MOORE PAINTS' and 'myCOLORSTUDIO™'. Below that, the color name 'Swiss Coffee' is displayed with a small number '25'. To the right of the name are social media icons for Facebook, Twitter, and Pinterest. A large rectangular color swatch of a light beige/cream hue is shown in the center. At the bottom right of the swatch area is a blue button that says 'ADD TO CURRENT'.</p>		