



CITY OF CAMPBELL
Community Development Department

October 6, 2017

NOTICE OF ADMINISTRATIVE SITE & ARCHITECTURAL REVIEW PERMIT

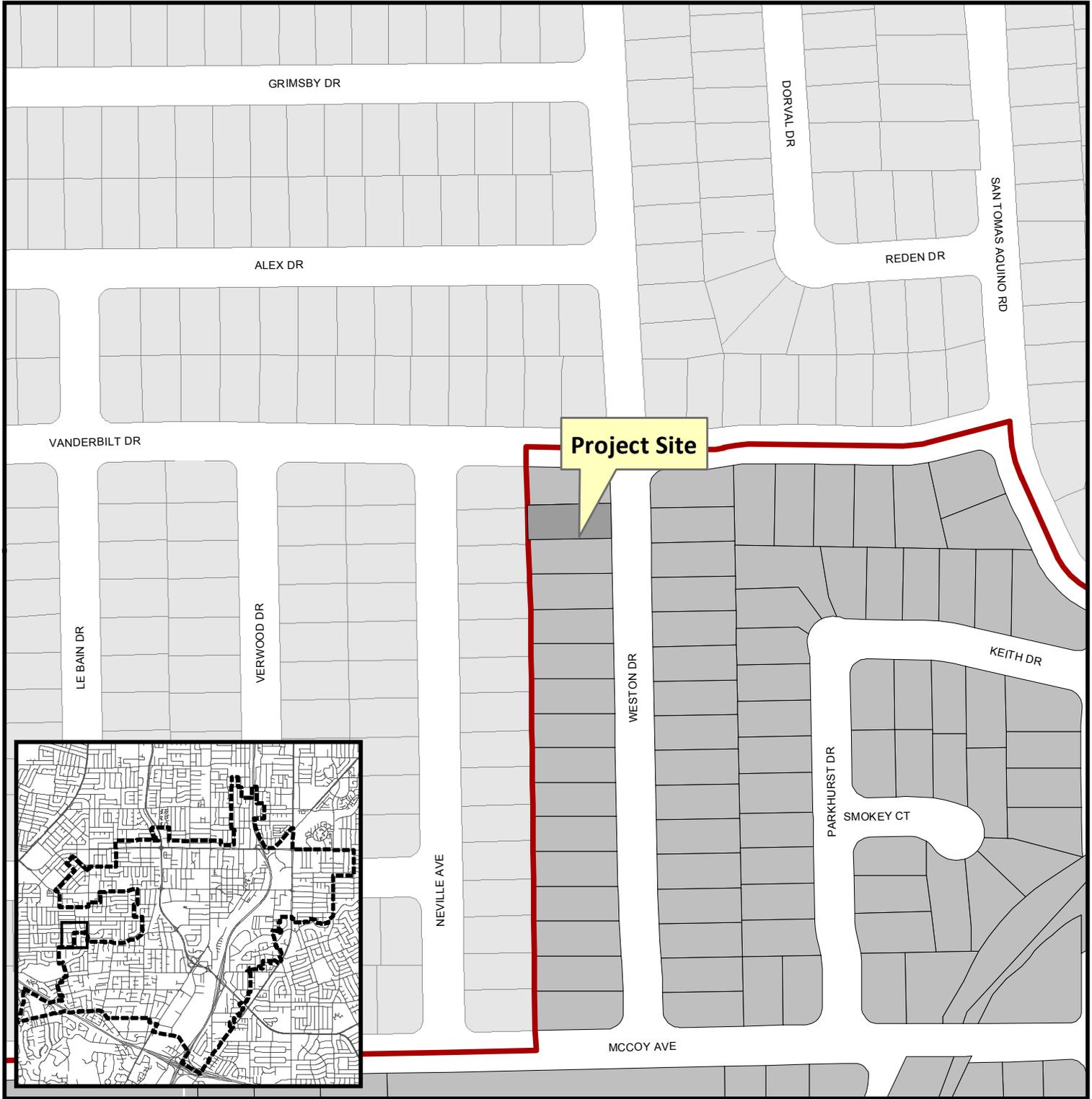
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site & Architectural Review Permit for the following project proposal:

File No.: PLN2017-152
Applicant: Don Chen
Project Address: 517 Weston Drive
Property Owner: Don Chen
Zoning District: R-1-6 (Single-Family Residential)
General Plan: Low Density Residential
Project Description: New 2-story 2,952 square-foot single-family house.

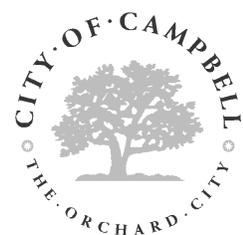
This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on October 6, 2017 and ends on October 16, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **October 16, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required **\$750** appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email danielf@cityofcampbell.com.

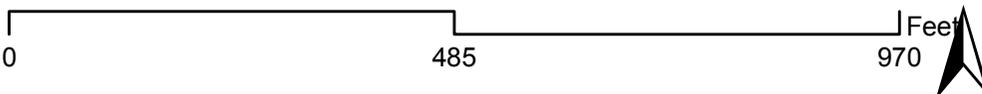
Project Location Map



Project Location: 517 Weston Dr.
Application Type: Admin. Site and Arc. Permit
Planning File No.: PLN2017-152



Community Development Department
Planning Division



CHEN RESIDENCE 517 WESTON DRIVE CAMPBELL, CA

- A1 PROJECT DATA
- SITE SURVEY
- A1.1 SITE PLAN / WINDOWS SIGHT-LINE STUDY
- A1.2 DEMOLITION PLAN / LANDSCAPE PLAN
- A2 FLOOR PLANS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS
- A4 SECTION / FLOOR AREA CALCULATION / ROOF PLAN

OWNER:
DONG CHEN
517 WESTON DRIVE
CAMPBELL, CA
(408) 307-9441

PROJECT SCOPE: PROPOSED NEW 2 STORY HOUSE WITH ATTACHED 2 CARS GARAGE TO REPLACE THE EXISTING HOUSE

HOUSE DESIGN AND STYLE TO COMPLY WITH CAMPBELL DESIGN GUIDELINE AND COMPATIBLE WITH THE NEW HOUSES IN THE NEIGHBORHOOD.

NO PROTECTED TREES ARE PROPOSED FOR REMOVAL

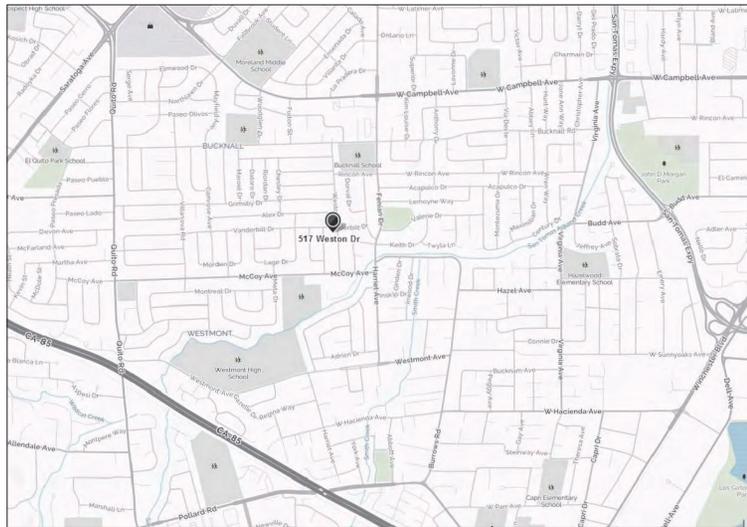
APN 403-53-017

NET LOT SIZE: 6,620 SQ. FT.

ZONING: R1-6

MAX. FAR ALLOWED 45% = 2,979 SQ. FT.

SHEETS INDEX



VICINITY MAP



SQUARE FOOTAGE SUMMARY	
	SQ. FT.
PROPOSED FIRST FLOOR LIVING AREA	1,465 SQ. FT.
PROPOSED SECOND FLOOR LIVING AREA	1,102 SQ. FT.
ATTACHED GARAGE	385 SQ. FT.
PROPOSED TOTAL NEW HOUSE (FAR)	2,952 SQ. FT.
COVERED PORCH & PATIO	195 SQ. FT.
EXISTING HOUSE & GARAGE TO BE DEMOLISHED	(1,480 SQ. FT.)
EXISTING SHED TO BE DEMOLISHED	(225 SQ. FT.)

	SQUARE FEET		PERCENT OF SITE		
	EXISTING	PROPOSED	EXISTING	PROPOSED	ALLOWED
BUILDING COVERAGE	1,705 SQ. FT.	2,045 SQ. FT.	25.0 %	31.0 %	40 %
LANDSCAPE COVERAGE	4,090 SQ. FT.	3,726 SQ. FT.	61.7 %	56.0%	
PAVING COVERAGE (Driveway/Patio)	1,050 SQ. FT.	815 SQ. FT.	15.8 %	12.0 %	
FLOOR AREA RATIO	1,480 SQ. FT.	2,952 SQ. FT.	22.4 %	44.6 %	45 %

FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 EDITION STANDARD



REVISIONS	BY
PLNG & FIRE	△
5-8-17	



BASSAI
Architecture
916.435.0605
408.674.9077

PROJECT DATA

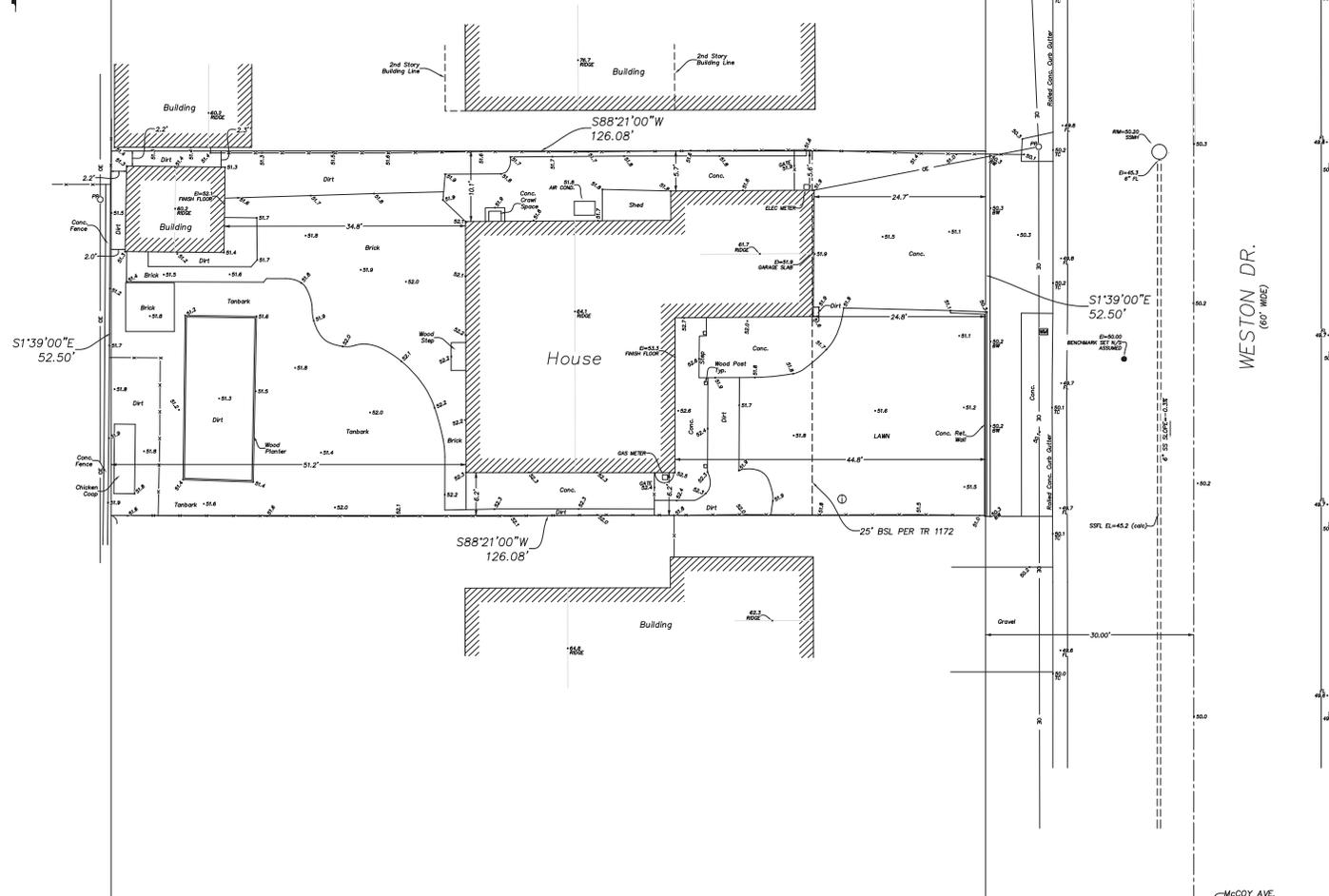
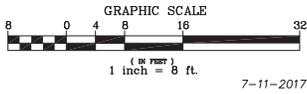
CHEN RESIDENCE
517 WESTON DRIVE
CAMPBELL, CA

DATE: 8-1-2017
SCALE: -
DRAWN: CB
JOB NO: -

A2
A1

OF SHEETS

COPYRIGHTED LIST OF THESE DRAWINGS AND ANY PART THEREOF IS THE PROPERTY OF BASSAI ARCHITECTURE. NO PART OF THESE DRAWINGS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BASSAI ARCHITECTURE.



NOTES
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
 BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.
 DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. (STUCCO/SIDING)
 FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 BENCHMARK: ASSUMED DATUM, POINT AS SHOWN
 A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
 TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.
 TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE

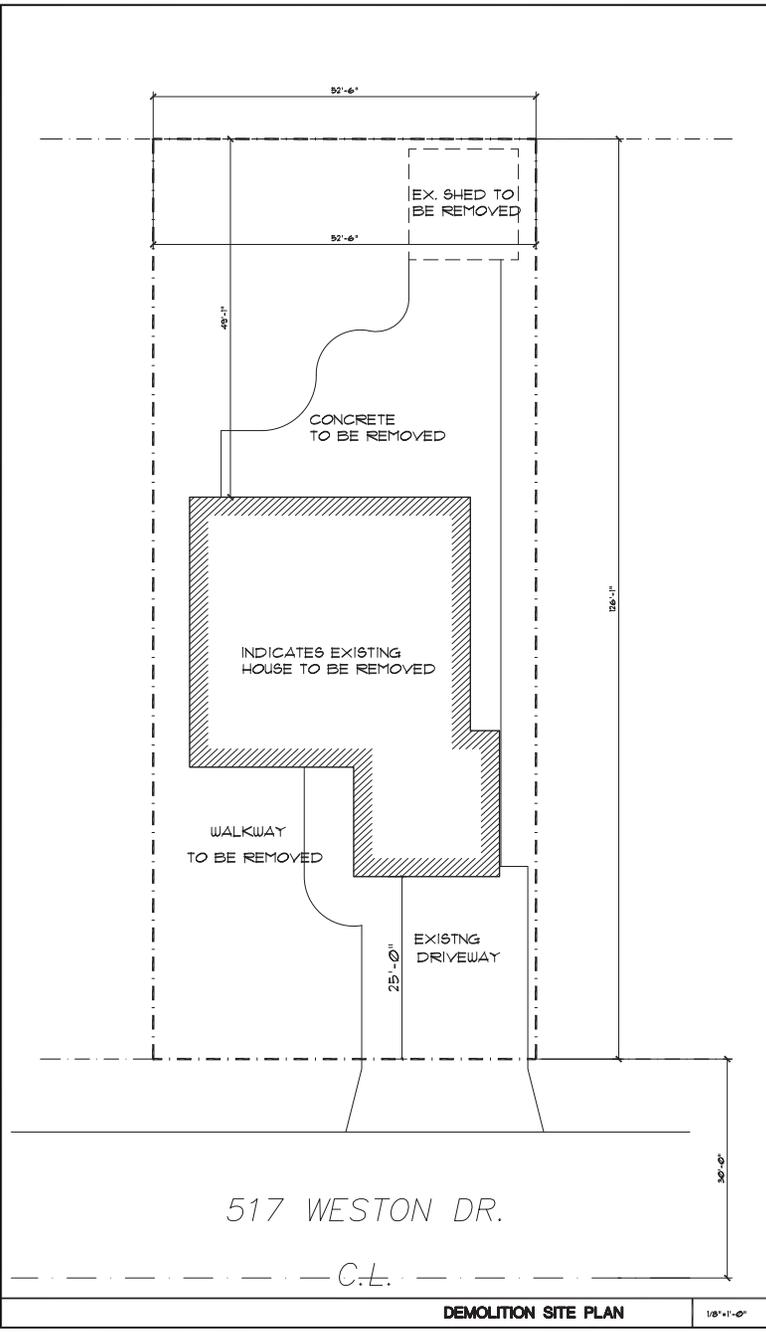
- LEGEND**
- FOUND POINT IN MONUMENT CASTING (AS NOTED)
 - FOUND POINT AS NOTED
 - () RECORD DATA / REFERENCE
 - ⊠ WATER METER OR WATER VALVE BOX
 - ⊠ FIRE HYDRANT
 - 12 8 OAK TREE - TRUNK DIAMETER IN INCHES
TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS
 - 12 4 OAK TREE WITH MULTIPLE TRUNKS
 - ⊠ TREE DRIP LINE POINTS TOWARDS TREE TRUNKS. TREE DRIP LINES ABOVE PROPERTY LOCATED AS SHOWN.
 - +25.34— TOP OF CURB
 - FENCE
 - OVERHEAD WIRES
 - POWER POLE
 - + 12.34 SPOT ELEVATION
 - ⊠ IRRIGATION VALVE BOX

ABBREVIATIONS
 AC ASPHALT
 BW BACK OF WALK
 CONC. CONCRETE
 TC TOP OF CURB
 FL FLOW LINE
 SDMH STORM DRAIN MANHOLE
 SSMH SANITARY SEWER MANHOLE

SURVEY
 517 WESTON DR.
 CAMPBELL
 APN: 403-53-017
 LOT 15, TR 1172
 LOT AREA: 6,619 SQ. FT



L. Wade Hammond
 Licensed Land Surveyor
 No. 6163
 36660 Newark Blvd. Suite C
 Newark, California 94560
 Tel: (510) 579-6112 Fax: (510) 991-8054
 wade@whlandsurveyor.com



DEMOLITION SITE PLAN

1/8"=1'-0"

PLANT LEGEND

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
SHRUBS				
⊕	5 GA.	AGAPANTHUS 'TINKERBELL'	LILY-OF-THE-NILE	
⊙	5 GA.	ESCALLONIA FRADESII	ESCALLONIA	
⊕	5 GA.	PITTOSPORIUM TENUIFOLIUM	N.C.N.	
⊕	10 GA.	MYRICA CALIFORNICA	COMMON MYRTLE	
GROUND COVERS				
[Hatched]		WOOD BARKS		
[Dotted]		LAWN		
[Pattern]		PERMEABLE Paver Walkways / Patio		
TREES				
⊙	15 GA.	PRUNUS CERASIFERA	FLOWERING PLUM	MULTI-TRUNK

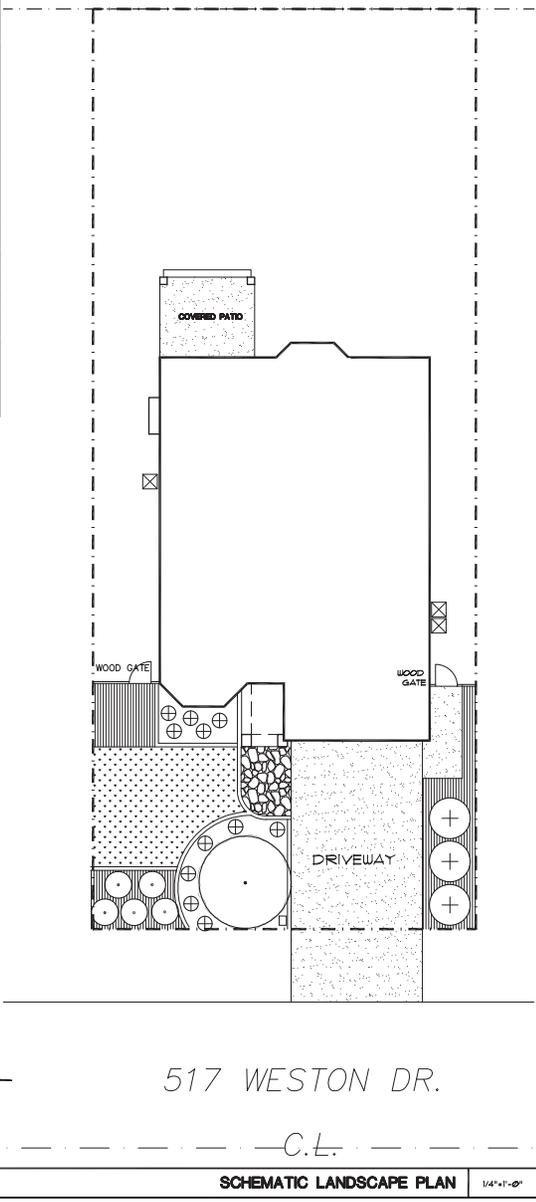
NOTES:

1. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2 % MIN)
2. ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 1/10 FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
3. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION.
4. REFER TO CIVIL ENGINEER'S PLANS FOR OVERALL SITE GRADING AND DRAINAGE.
5. SOO LAWN SHALL BE DUARF FESCUE BLEND.
6. PROVIDE 3" OF MEDIUM BARK THROUGHOUT SITE
7. PROVIDE WATER - EFFICIENT LANDSCAPE
8. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT - 18002712600

NO TREES WILL BE REMOVED OR AFFECTED BY THIS PROJECT

FRONT YARD LANDSCAPE ANALYSIS:
FRONT YARD AREA: 1300 SQ. FT.
FRONT YARD LANDSCAPE ARE: 135 SQ. FT. = 56%
FRONT YARD HARDSCAPE AREA: 565 SQ. FT. = 44%

LANDSCAPE HAVE TO COMPLY WITH WATER EFFICIENT LANDSCAPE ORDINANCE "UELO"



SCHEMATIC LANDSCAPE PLAN

1/4"=1'-0"

REVISIONS	BY
PLNG 4 FIRE 5-8-11	△

CB
BASSAI
Architecture
 916.435.0605
 408.674.9077

SCHEMATIC LANDSCAPE PLAN
 DEMOLITION SITE PLAN

CHEN RESNDE
 517 WESTON DRIVE
 CAMPBELL, CA

DATE: 8-1-2011
 SCALE: -
 DRAWN: CB
 JOB NO: -

A2
A1.2
 OF SHEETS

COPYRIGHTED LIST OF TREE REMOVALS AND DEMOLITION IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ALL RIGHTS RESERVED.

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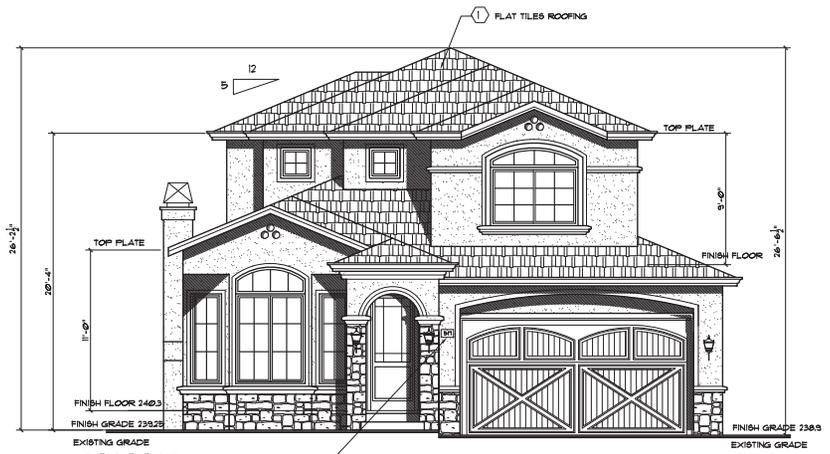
EXTERIOR
ELEVATION

CHEN RESIDENCE
 517 WESTON DRIVE
 CAMPBELL, CA

DATE: 8-9-2011
 SCALE: 1/4" = 1'-0"
 DRAWN: CB
 JOB NO: .

A2
A3.1
 OF SHEETS

- EXTERIOR FINISHES:**
- FLAT TILES ROOFING BY "EAGLE ROOFING"
- ① CHARCOAL RANGE
- BUILDING COLORS BY: SHERWIN WILLIAMS
- ② MAIN COLOR: MAISON BLANCHE SUT526
 - ③ TRIM COLOR: CARGO SW6006
 - ④ GARAGE DOOR: CARGO SW6006
- CULTURED STONE: ELDORADO STONE
- ⑤ MONTEBITO CLIFFSTONE



HOUSE ADDRESS LOCATION
 TO BE CLEARLY VISIBLE FROM
 ADJACENT ACCESS STREET
 NUMERALS TO BE NO LESS THAN
 4" HIGH AND 1/2" WIDE AND SHALL
 BE OF CONTRASTING COLOR
 2013 CRC SEC. 313(I) △

FRONT ELEVATION



LEFT SIDE ELEVATION

EXTERIOR ELEVATION

1/4" = 1'-0"

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EXTERIOR FINISHES:

FLAT TILES ROOFING BY "EAGLE ROOFING"

① CHARCOAL RANGE

BUILDING COLORS BY: SHERWIN WILLIAMS

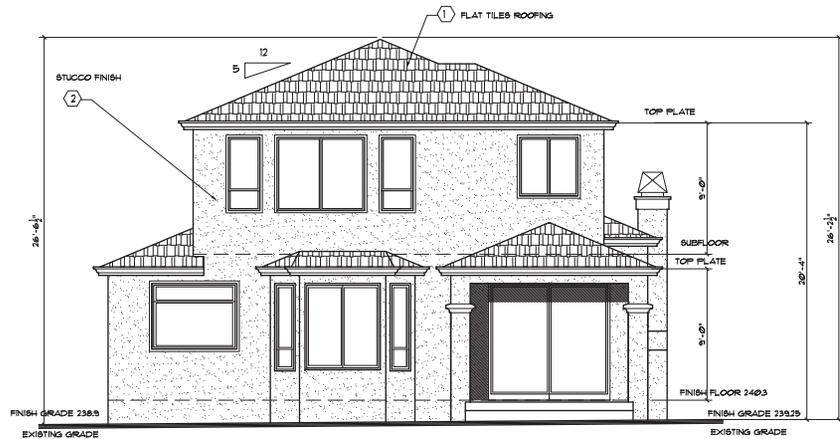
② MAIN COLOR: MAISON BLANCHE SW7526

③ TRIM COLOR : CARGO SW6006

④ GARAGE DOOR: CARGO SW6006

CULTURED STONE: ELDORADO STONE

⑤ MONTESITO CLIFFSTONE



REAR ELEVATION



RIGHT SIDE ELEVATION

EXTERIOR ELEVATION

EXTERIOR ELEVATION

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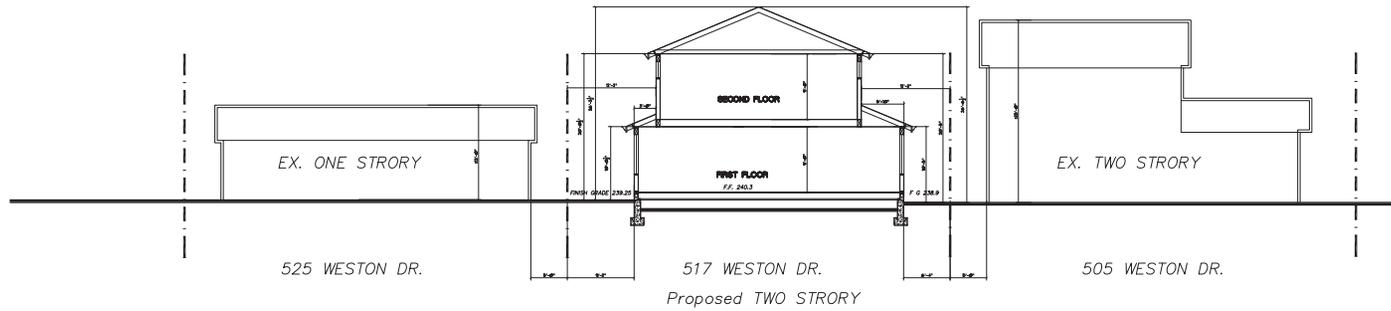
DATE:	8-9-2011
SCALE:	1/4"=1'-0"
DRAWN:	CB
JOB NO:	

A2
A3.2
 OF SHEETS

EXTERIOR ELEVATION

1/4"=1'-0"

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STREET SECTION PROFILE

1/8"=1'-0"

SQUARE FOOTAGE:

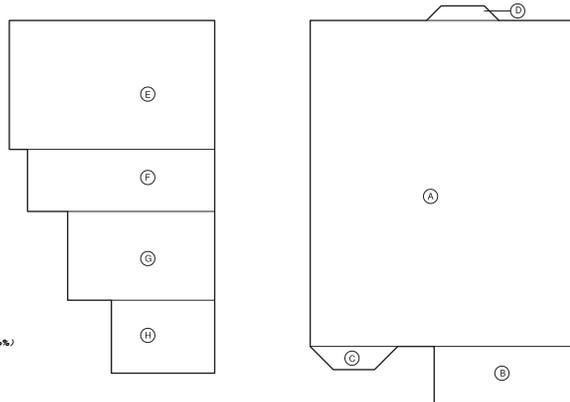
- A 31' X 44.6' = 1650 SF.
- B 30' X 7.8' = 156 SF.
- C 28 SF.
- D 16 SF.

FIRST FLOOR: 1850 SF.

- E 28.2' X 17.6' = 496 SF.
- F 25.6' X 8.5' = 218 SF.
- G 20.2' X 12.2' = 246 SF.
- U 14.2' X 10' = 142 SF.

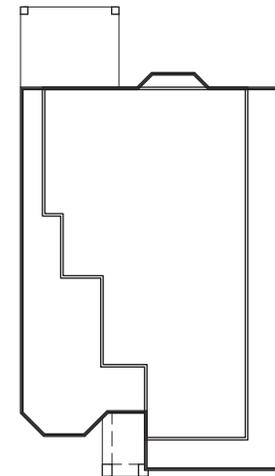
SECOND FLOOR: 1022 SF.

TOTAL PROPOSED FLOOR AREA = 2,872 SQ. FT. (FAR 44.6%)
 ALLOWED FAR 45% = 2,919 SF



FLOOR AREA CALCULATIONS

1/8"=1'-0"



ROOF PLAN

1/8"=1'-0"

REVISIONS	BY



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 408.674.9077

ROOF PLAN
 FLOOR AREA CALCULATIONS
 STREET SECTION PROFILE

CHEN RESIDENCE
 517 WESTON DRIVE
 CAMPBELL, CA

DATE: 8-9-2011
 SCALE: -
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A2
A4
 OF SHEETS

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