



CITY OF CAMPBELL
Community Development Department

October 13, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **October 24, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of John Miller for a Modification (PLN2017-175) of a previously-approved Planned Development Permit to allow an approximately 348-square-foot addition and remodel to an existing clubhouse building in the Greenery Apartment Homes complex on property located at **999 W. Hamilton Avenue**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

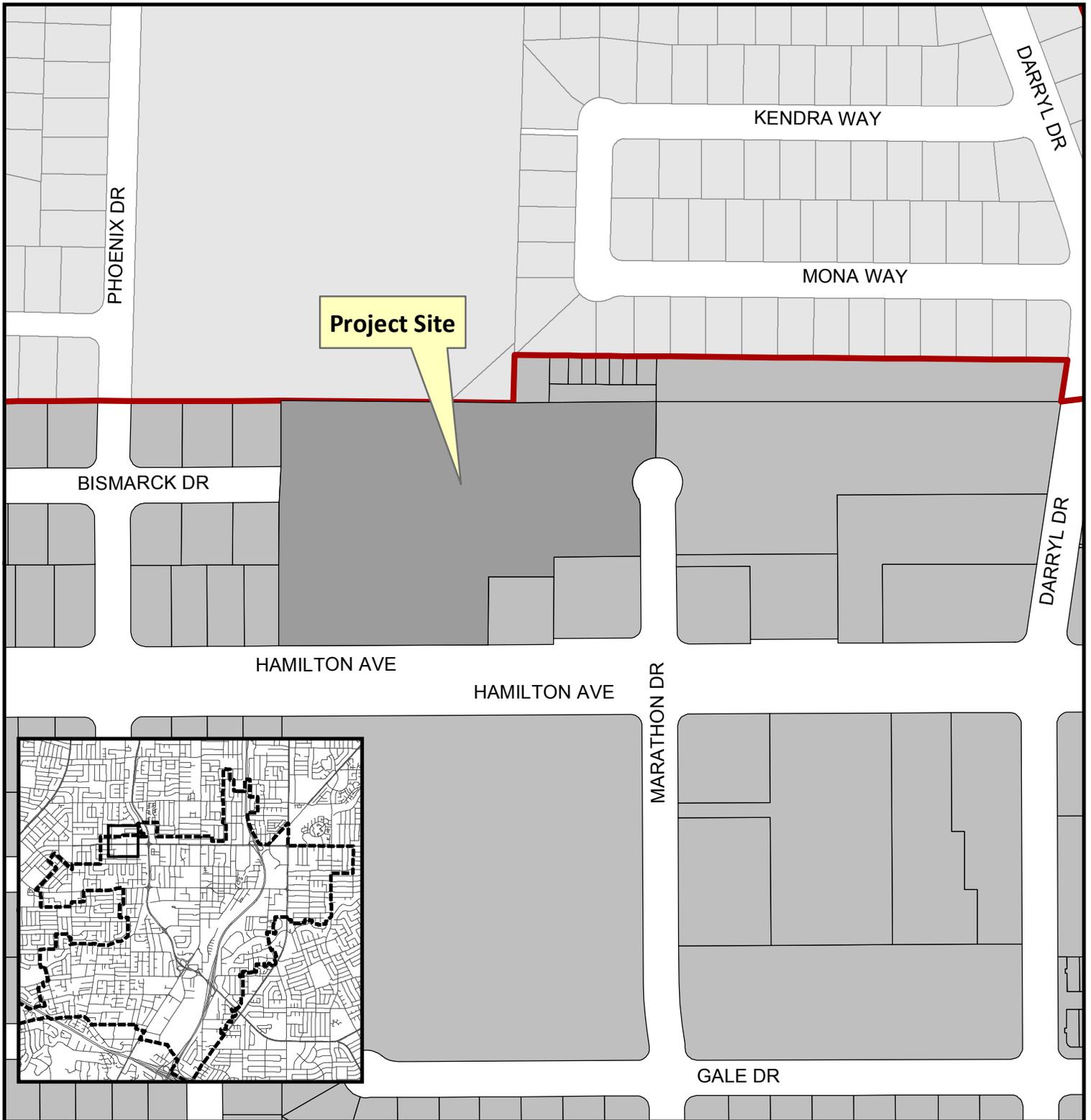
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **999 W. Hamilton Avenue**

Project Location Map

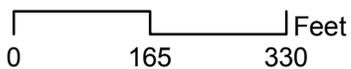


Project Location: 999 W. Hamilton Avenue

Application Type: Modification of a Planned Development Permit

Planning File No.: PLN2017-175

Description: 348 square foot addition and remodel of an existing apartment complex clubhouse building

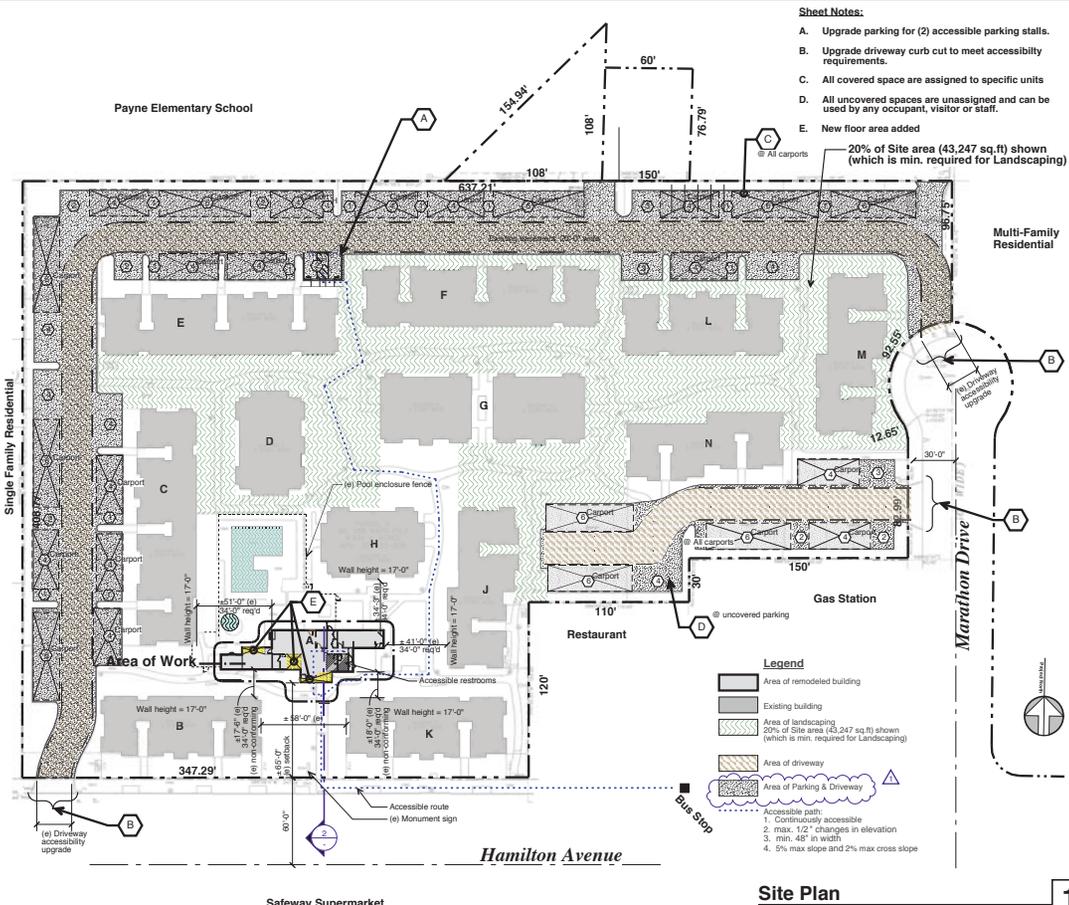


Community Development Department
Planning Division

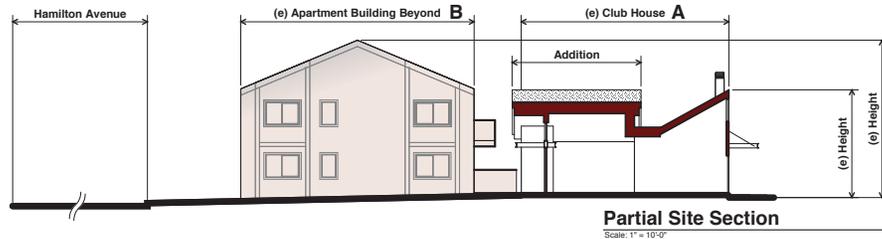
The Greenery

Club House Addition & Remodel

999 W. Hamilton Avenue, Campbell, CA 95008



Site Plan
Scale: 1" = 40'-0"



Description of Work

- Provide new entry to apartment complex's communal clubhouse.
- Remove & Replace + add to maintenance room + office
- Reconfigure restrooms for accessibility.
- Reconfigure kitchen for accessibility.
- Revise interior finishes.

Data

A.P.N. 397-33-009
Zoning P-D
Code CBC 2016, CMC 2016, CPC 2016, CEC 2016 (as amended by the state of California and local jurisdiction) Structural: CBC 2016
Occupancy B
Type of Construction V-B
No. of Stories 1 story
Sprinklered No
Lot Size Gross: 242,400 s.f. (to center line of street)
Net: 216,237 s.f.
Existing Building Area 2,104 s.f.
Proposed Building Area 2,452 s.f.
Area Change +348 s.f.

Location Map



Adj. Land Uses	Lot Size
North Elementary School	Gross s.f. 242,400 s.f.
South Restaurant, Safeway, Gas Station	(Property to center line of street)
East Multi-family Residential	Net s.f. 216,237 s.f.
West Single Family Residential	

Building Coverage

Bldg	(e) Bldg Footprint	Proposed Bldg Footprint	Change
A	± 2,104 s.f.	± 2,452 s.f.	± 348 s.f. ▲
B	± 3,993 s.f.	± 3,993 s.f.	unchanged
C	± 5,709 s.f.	± 5,709 s.f.	unchanged
D	± 2,583 s.f.	± 2,583 s.f.	unchanged
E	± 5,709 s.f.	± 5,709 s.f.	unchanged
F	± 5,709 s.f.	± 5,709 s.f.	unchanged
G	± 5,730 s.f.	± 5,730 s.f.	unchanged
H	± 2,583 s.f.	± 2,583 s.f.	unchanged
J	± 3,791 s.f.	± 3,791 s.f.	unchanged
K	± 3,993 s.f.	± 3,993 s.f.	unchanged
L	± 3,797 s.f.	± 3,797 s.f.	unchanged
M	± 3,794 s.f.	± 3,794 s.f.	unchanged
N	± 3,794 s.f.	± 3,794 s.f.	unchanged
Total	± 53,289 s.f.	± 53,637 s.f.	

Floor Area

Bldg	Stories	(e) Area	Proposed Area	Change
A	1	± 2,104 s.f.	± 2,452 s.f.	± 348 s.f. ▲
B	2	± 7,986 s.f.	± 7,986 s.f.	unchanged
C	2	± 11,418 s.f.	± 11,418 s.f.	unchanged
D	2	± 5,166 s.f.	± 5,166 s.f.	unchanged
E	2	± 11,418 s.f.	± 11,418 s.f.	unchanged
F	2	± 11,418 s.f.	± 11,418 s.f.	unchanged
G	2	± 11,460 s.f.	± 11,460 s.f.	unchanged
H	2	± 5,166 s.f.	± 5,166 s.f.	unchanged
J	2	± 7,582 s.f.	± 7,582 s.f.	unchanged
K	2	± 7,986 s.f.	± 7,986 s.f.	unchanged
L	2	± 7,594 s.f.	± 7,594 s.f.	unchanged
M	2	± 7,588 s.f.	± 7,588 s.f.	unchanged
N	2	± 7,588 s.f.	± 7,588 s.f.	unchanged
Total		± 104,474 s.f.	± 104,822 s.f.	

Existing Building Coverage Ratio

Existing F.A.R. = $\frac{\text{Floor Area}}{\text{Site Area}} = \frac{53,289 \times 100}{216,237} = 24.6\%$

Proposed Building Coverage Ratio

Proposed F.A.R. = $\frac{\text{Floor Area}}{\text{Site Area}} = \frac{53,637 \times 100}{216,237} = 24.8\%$

Existing Floor Area Ratio

Existing F.A.R. = $\frac{\text{Floor Area}}{\text{Site Area}} = \frac{104,474 \times 100}{216,237} = 48.3\%$

Proposed Floor Area Ratio

Proposed F.A.R. = $\frac{\text{Floor Area}}{\text{Site Area}} = \frac{104,822 \times 100}{216,237} = 48.5\%$

Landscape Area

Site Area - Proposed Bldg Footprint Area - Parking and driveway area = Landscape Area
216,237 sq. ft. - 53,637 sq. ft. - 63,952 sq. ft. = 98,648 sq. ft. (45.6%)

Directory

Client	Harrington Properties 105 Fremont Ave., Suite B Los Altos CA 94022 (650) 941-6900
Architect	John Miller Architects, AIA 579 Clyde Ave, Suite 300 Mountain View, CA 94043 (650) 960-0500 John Miller

Symbol Legend

9	GRID LINE
A	GRID LINE
4	DETAIL #
T	SHEET WHERE DETAIL APPEARS
1	EXTERIOR ELEVATION #
S	SHEET WHERE ELEVATION APPEARS
2	INTERIOR ELEVATION #
S	SHEET WHERE ELEVATION APPEARS
(n)	door
019	ROOM NUMBER SEE INDEX FOR NAME
◊	WINDOW TYPE e = exterior i = interior
A	WALL TYPE I = insulation

Drawing Index

- A1.0 Title, Data & Site Plan
- A2.0 Demolition Plan
- A2.1 Floor Plan
- A2.3 Roof Plan
- A4.0 Existing Exterior Elevations
- A4.1 Exterior Elevations

Parking

Number of Living Units
(e) 1-Bedroom units 32
(e) 2-Bedroom units 24
Total 116

Parking Required
One stall / 1.5 living units.
116 living units x 1.5 = 174 stalls required

Existing Parking Provided
171 + 3 accessible stalls
(2 accessible stalls created from 3 existing stalls) = 173 stalls

Per zoning approval
January 26, 1984

The Greenery
899 West Hamilton Avenue
Campbell, CA 95008

Club House Addition & Remodel

Revision History

No.	Revision	Date
1	Planning Resubmittal - 1	09-20-17
2	Planning Resubmittal	08-30-17
3	Planning Submittal	05-08-17

John Miller Architects
Architects, Planning, Restoration, Interiors

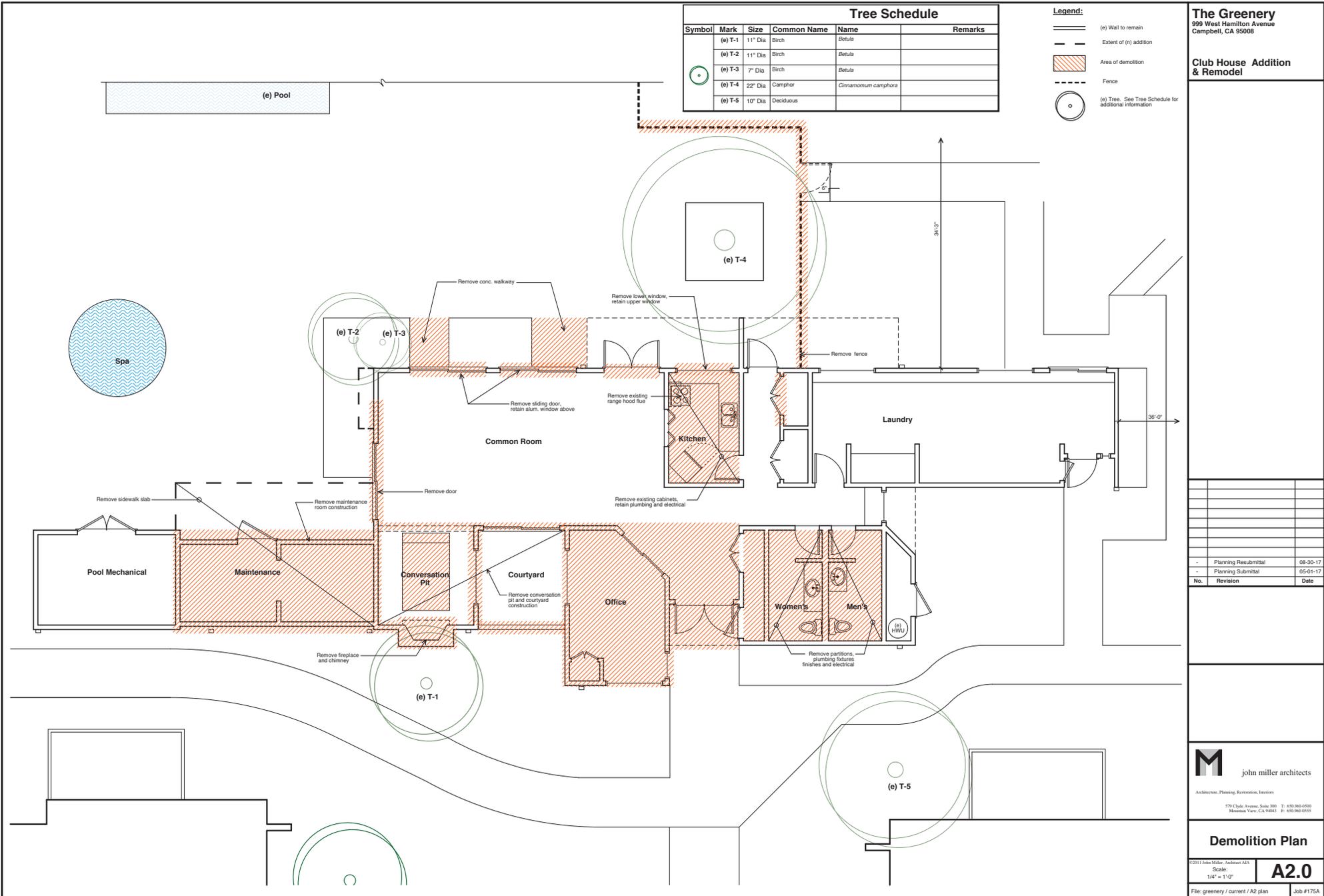
579 Clyde Avenue, Suite 300 • T: 650.960.0500
Mountain View, CA 94043 • F: 650.960.0555

Title, Data & Site Plan

Scale: 1" = 20'-0"

A1.0

File: Greenery IAO site plan Job #175



Tree Schedule					
Symbol	Mark	Size	Common Name	Name	Remarks
(e) T-1	11" Dia	Birch	Betula		
(e) T-2	11" Dia	Birch	Betula		
(e) T-3	7" Dia	Birch	Betula		
(e) T-4	22" Dia	Camphor	Cinnamomum camphora		
(e) T-5	10" Dia	Deciduous			

- Legend:**
- (e) Wall to remain
 - Extent of (n) addition
 - Area of demolition
 - Fence
 - (e) Tree. See Tree Schedule for additional information

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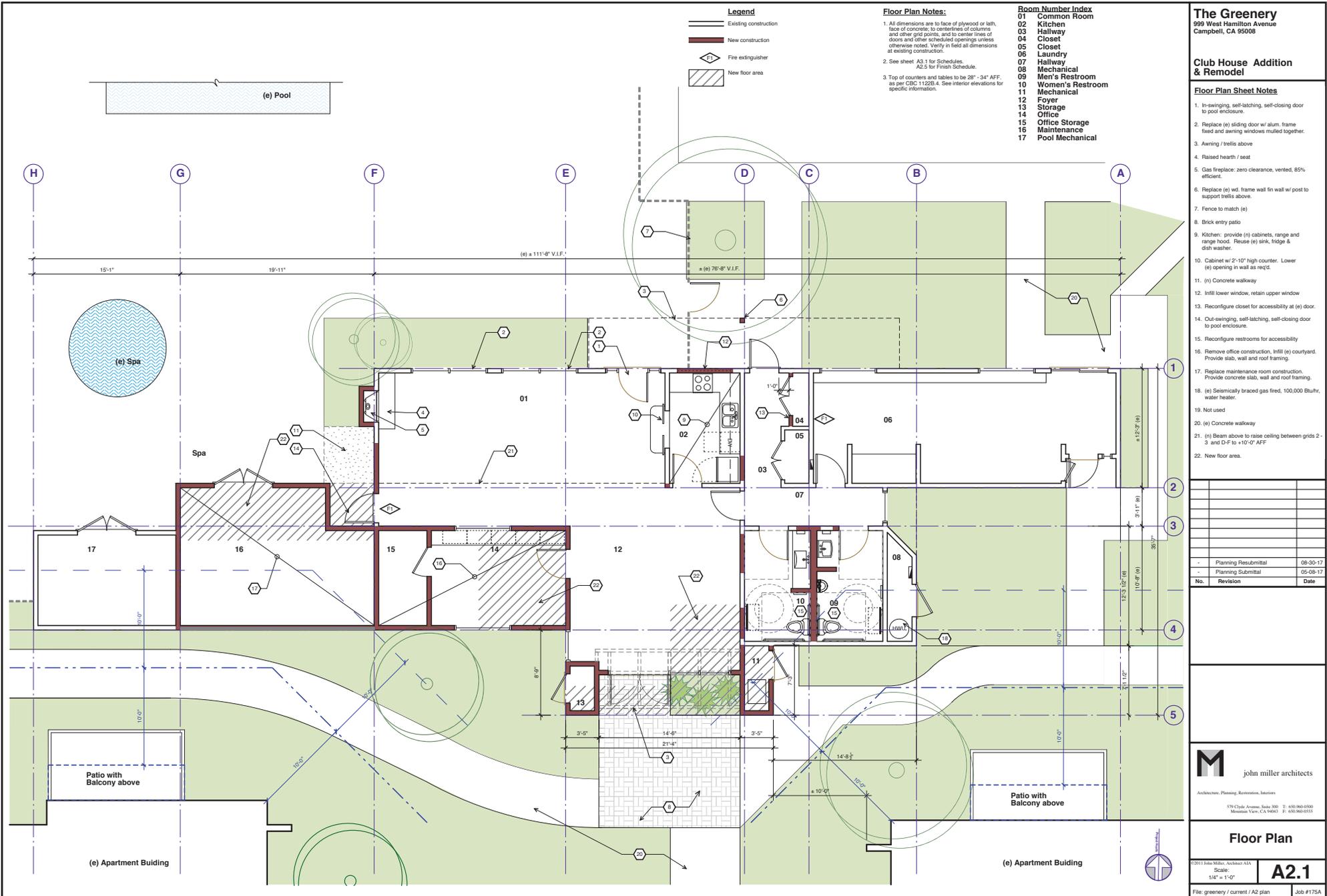
Club House Addition & Remodel

No.	Revision	Date
-	Planning Resubmital	08-30-17
-	Planning Submittal	05-01-17

M john miller architects
 Architecture, Planning, Restoration, Interiors
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 Mountain View, CA 94043 F: 408.960.0555

Demolition Plan

©2017 John Miller, Architect AIA
 Scale: 1/4" = 1'-0"
A2.0
 File: greenery / current / A2 plan Job #175A



Legend

- Existing construction
- New construction
- ⬡ Fire extinguisher
- ▨ New floor area

Floor Plan Notes:

1. All dimensions are to face of plywood or left face of concrete, to centerlines of columns and other grid points, and to center lines of doors and other scheduled openings unless otherwise noted. Verify in field all dimensions at existing construction.
2. See sheet A3.1 for Schedules, A2.5 for Finish Schedule.
3. Top of counters and tables to be 28" - 34" AFF, as per CBC 11228.4. See interior elevations for specific information.

Room Number Index

- 01 Common Room
- 02 Kitchen
- 03 Hallway
- 04 Closet
- 05 Closet
- 06 Laundry
- 07 Hallway
- 08 Mechanical
- 09 Men's Restroom
- 10 Women's Restroom
- 11 Mechanical
- 12 Foyer
- 13 Storage
- 14 Office
- 15 Office Storage
- 16 Maintenance
- 17 Pool Mechanical

The Greenery

899 West Hamilton Avenue
Campbell, CA 95008

Club House Addition & Remodel

Floor Plan Sheet Notes

1. In-swinging, self-latching, self-closing door to pool enclosure.
2. Replace (e) sliding door w/ alum. frame fixed and awning windows mullied together.
3. Awning / trellis above
4. Raised hearth / seat
5. Gas fireplace: zero clearance, vented, 85% efficient.
6. Replace (e) wd. frame wall fin wall w/ post to support trellis above.
7. Fence to match (e)
8. Brick entry patio
9. Kitchen: provide (n) cabinets, range and range hood. Reuse (e) sink, fridge & dish washer.
10. Cabinet w/ 2'-10" high counter. Lower (e) opening in wall as req'd.
11. (n) Concrete walkway
12. Infill lower window, retain upper window
13. Reconfigure closet for accessibility at (e) door.
14. Out-swinging, self-latching, self-closing door to pool enclosure.
15. Reconfigure restrooms for accessibility
16. Remove office construction, infill (e) courtyard. Provide slab, wall and roof framing.
17. Replace maintenance room construction. Provide concrete slab, wall and roof framing.
18. (e) Seismically braced gas fired, 100,000 Btu/hr, water heater.
19. Not used
20. (e) Concrete walkway
21. (n) Beam above to raise ceiling between grids 2-3 and D-F to +10'-0" AFF
22. New floor area.

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Floor Plan
 ©2017 John Miller, Architect AIA
 Scale: 1/4" = 1'-0"
A2.1
 File: greenery / current / A2 plan Job #175A

**Club House Addition
 & Remodel**

Legend

-  Area of existing comp. shingle roofing
-  Area of existing built-up roofing
-  Area of new built-up roofing
-  Area of new comp. shingle roof

Roof Plan Sheet Notes

1. Awning / trellis, welded "C" channel
2. (e) Scupper, provide overflow.
3. Scupper & overflow
4. Silt mtl gutter
5. Silt mtl flue w/ spark arrester.
6. Comp. shingle roof @ fireplace box
7. Repair fascia

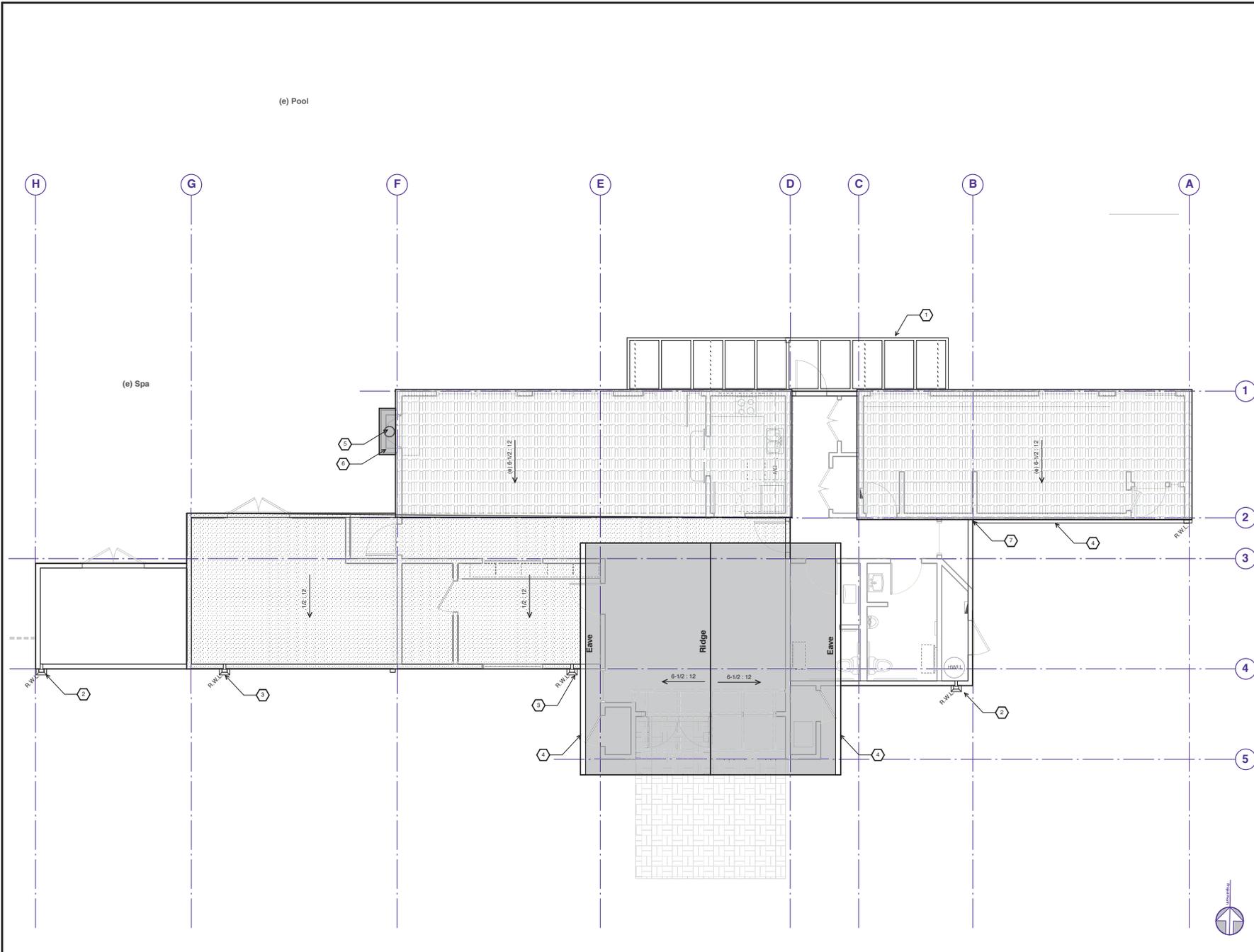
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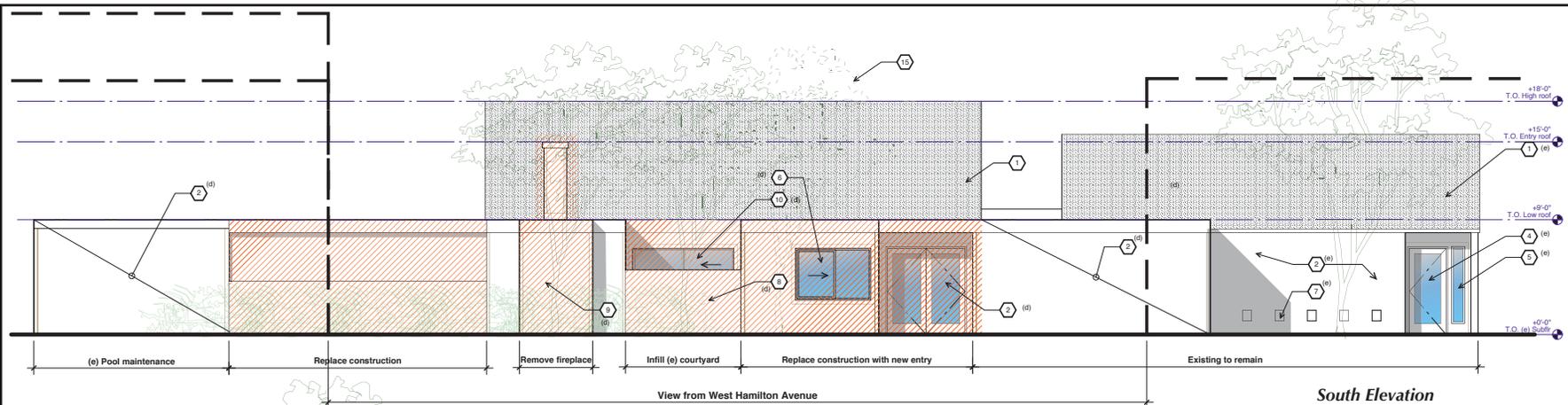
Roof Plan

©2017 John Miller, Architect AIA
 Scale: 1/4" = 1'-0"
A2.3

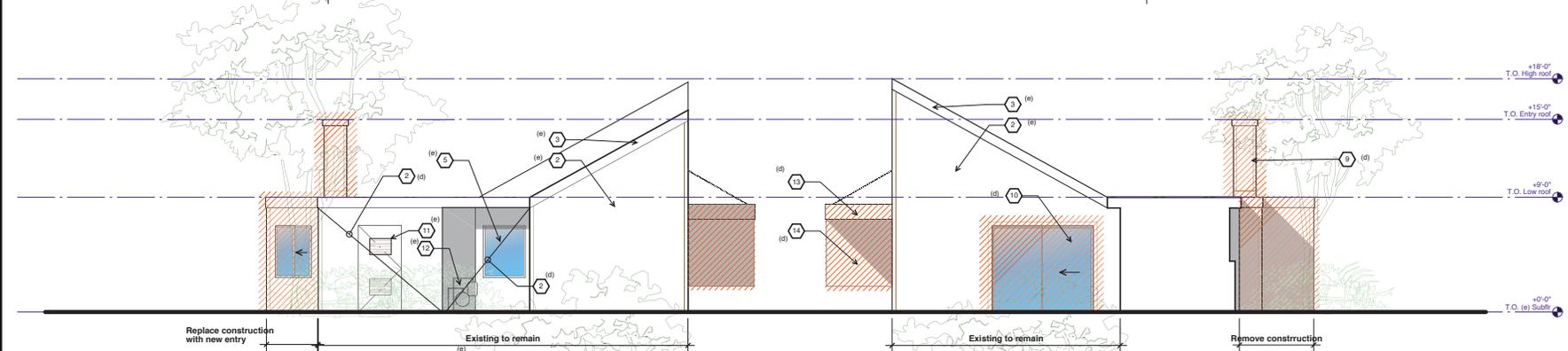


Demolition Sheet Notes

1. Comp. shingle roofing
2. Ply siding, T-III
3. Wood fascia
4. Wood frame glass door
5. Fixed metal frame window
6. Sliding metal frame window
7. Clothes dryer vent
8. Courtyard wall: 5'-0" w/ ply siding, T-III
9. Fireplace and chimney
10. Sliding aluminum glass door
11. Louvered mechanical room door
12. Gas manifold
13. Wood frame awning w/ ply siding
14. Wood frame wall fin w/ ply siding
15. Tree to be removed
16. Maintenance room



South Elevation



East Elevation

West Elevation



North Elevation

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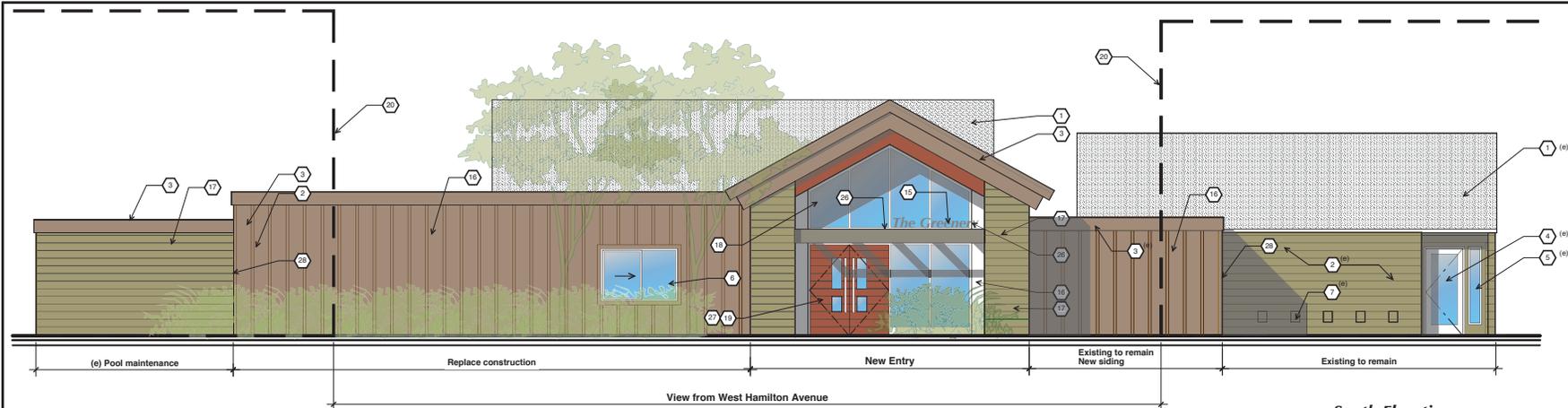
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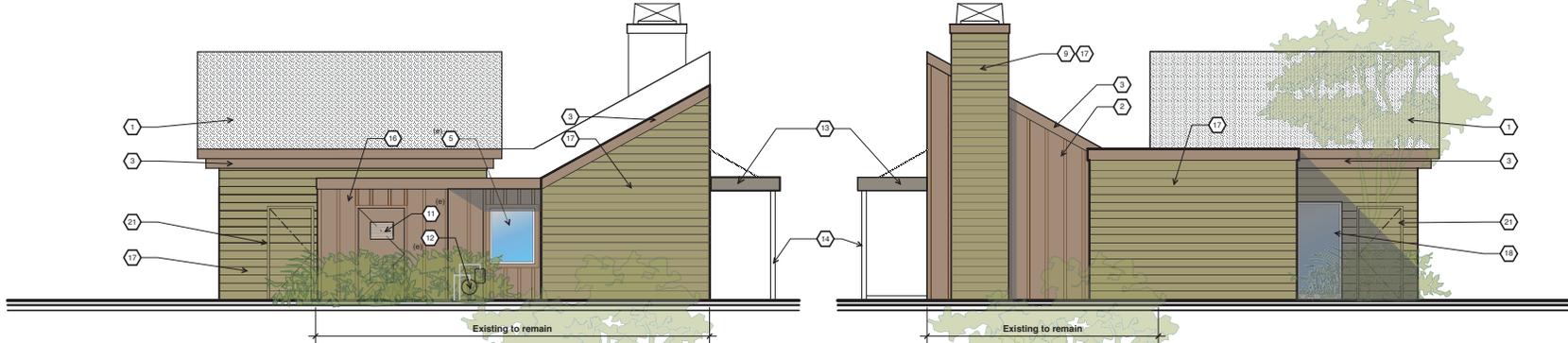
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Existing Elevations

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 Scale: 1/4" = 1'-0"
A4.0



South Elevation



East Elevation

West Elevation



North Elevation

The Greenery
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Campbell, CA 95008

Club House Addition & Remodel

Elevation Sheet Notes

1. Comp. shingle roofing
2. Ply siding, T-111
3. Wood fascia
4. Wood frame glass door
5. Fixed metal frame window
6. Sliding metal frame window
7. Clothes dryer vent
8. Not used
9. Fireplace and chimney w/ sheet mt flue and spark arrester
10. Sliding aluminum glass door
11. Louvered mechanical room door
12. Gas manifold
13. Awning / trellis: Rouse (e) rod hangers. Replace solid wood framed awning w/ welded "C" channel trellis.
14. Replace (e) wood frame wall fin w/ w/ post to support trellis
15. Signage: raised mt
16. Hardiplank vertical siding "Smooth".
17. Hardiplank horizontal siding. "Colonial smooth".
18. Aluminum storefront.
19. Solid wood entrance door.
20. Line of building in front.
21. Door faced w/ horizontal siding to match adjacent wall.
22. Replace (e) sliding door w/ alum. frame fixed and awning windows mullied together.
23. Wd frame glass door mullied to aluminum frame sidelights.
24. In-swinging, self-latching, self-closing door to pool enclosure.
25. Vent from range hood to electrical range.
26. Awning / trellis: welded "C" channel.
27. Egress door w/ panic hardware.
28. Match face of (n) construction to face of (e) construction.

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Exterior Elevation

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A4.1