



**CITY OF CAMPBELL**  
Community Development Department

November 2, 2017

**NOTICE OF ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW PERMIT**

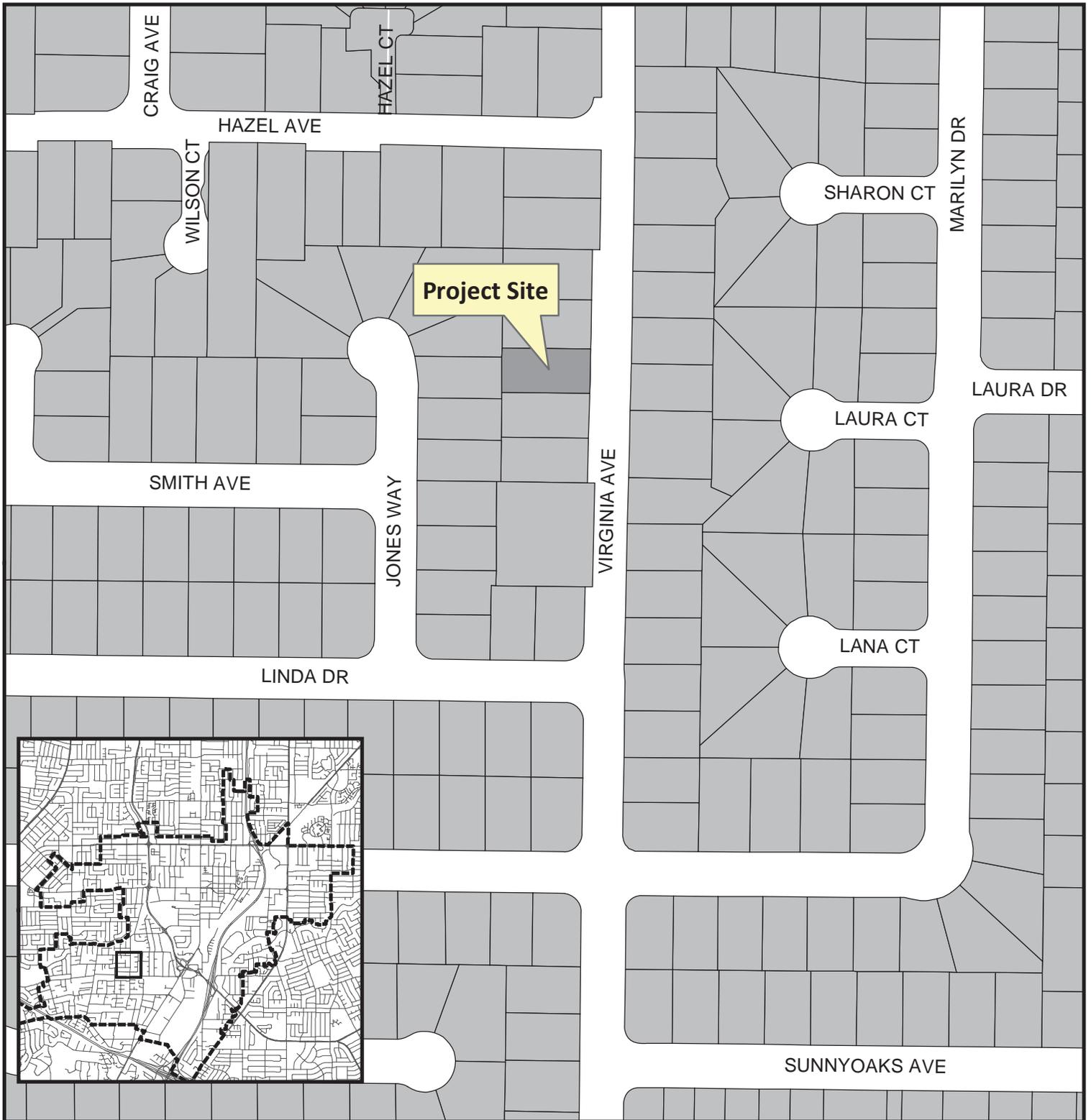
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

**File No.:** PLN2017-258  
**Applicant:** Xiaojun Feng  
**Project Address:** 831 Virginia Avenue  
**Property Owner:** Xiaojun Feng  
**Zoning District:** R-1-6 (Single-Family Residential)  
**General Plan:** Low Density Residential  
**Project Description:** An approximately 500 square foot single-story rear addition to an existing single family home.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on November 2, 2017 and ends on November 12, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 12, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Victoria Hernandez, Assistant Planner, in the Community Development Department, at (408) 866-2732 or by email [victoriah@cityofcampbell.com](mailto:victoriah@cityofcampbell.com).

# Project Location Map

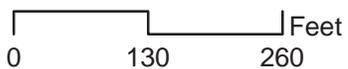


**Project Location:** 831 Virginia Avenue

**Application Type:** Admin. Site and Arch. Review Permit

**Planning File No.:** PLN2017-258

**Description:** An approximately 500 square foot single-story rear addition to an existing single family home



Community Development Department  
Planning Division

**GENERAL NOTES**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK

THESE DRAWINGS AREA INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE

NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODE (UBC), UNIFORM MECHANICAL CODE (UMC), NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.

THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.

ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.

ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.

THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING. A MINIMUM 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INSTALL DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACE WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING. DIRECT ON-SITE DRAINAGE THROUGH LANDSCAPED SWALES BEFORE DRAINING INTO THE PUBLIC RIGHT-OF-WAY.

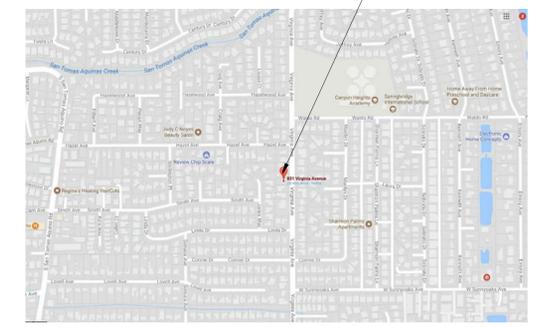
**PROJECT SCOPE DESCRIPTION:**

497 SF OF REAR YARD ADDITION, CONVERT EXISTING BATHROOM INTO HALLWAY, ADD TWO NEW BATHROOMS AND TWO BEDROOMS.

**PROJECT INFORMATION**

PROPERTY: 831 VIRGINIA AVE, CAMPBELL, CA95008  
 APN: 406-04-024  
 OWNER: XIAOJUN FENG  
 LOT SIZE: 6,900 SF  
 LOT ZONING: R-1  
 TYPE OF CONSTRUCTION: TYPE V-B  
 OCCUPANCY: R-3U  
 EXISTING LIVING AREA: 1,019 SF.  
 EXISTING GARAGE AREA: 320 SF.  
 PROPOSED ADDITION AREA AT REAR YARD: 497 SF  
 PROPOSED LIVING AREA: 1,516 SF  
 PROPOSED F.A.R: (1,019+320+497) SF/6, 900SF=26.6%.

**VICINITY MAP**



**APPLICABLE CODES**

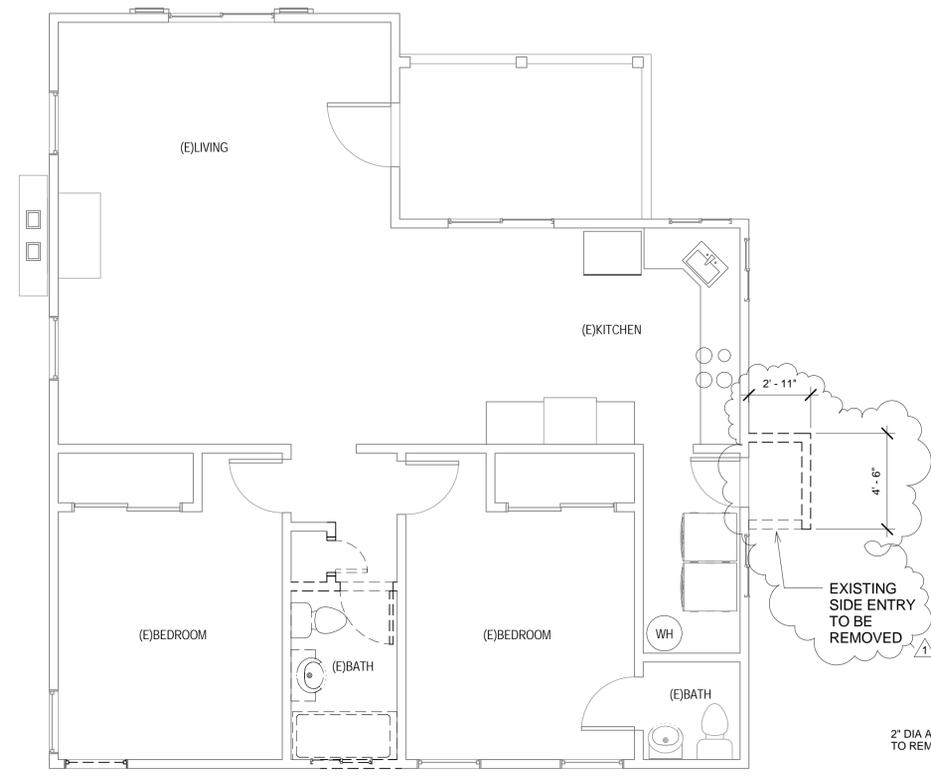
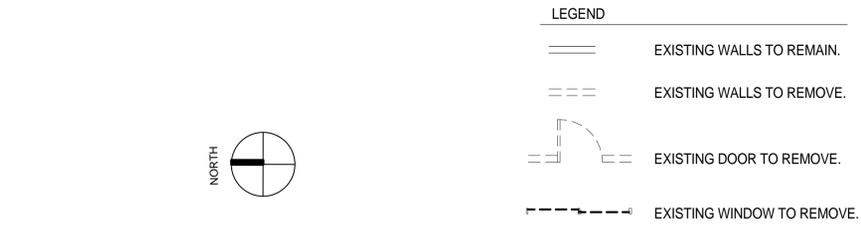
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA ELECTRIC CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ENERGY CODE (PART 6 OF TITLE 24)
- 2016 CALIFORNIA ELECTRIC CODE
- 2016 CALIFORNIA FIRE CODE (PART 9 OF TITLE 24)

**SYMBOLS**

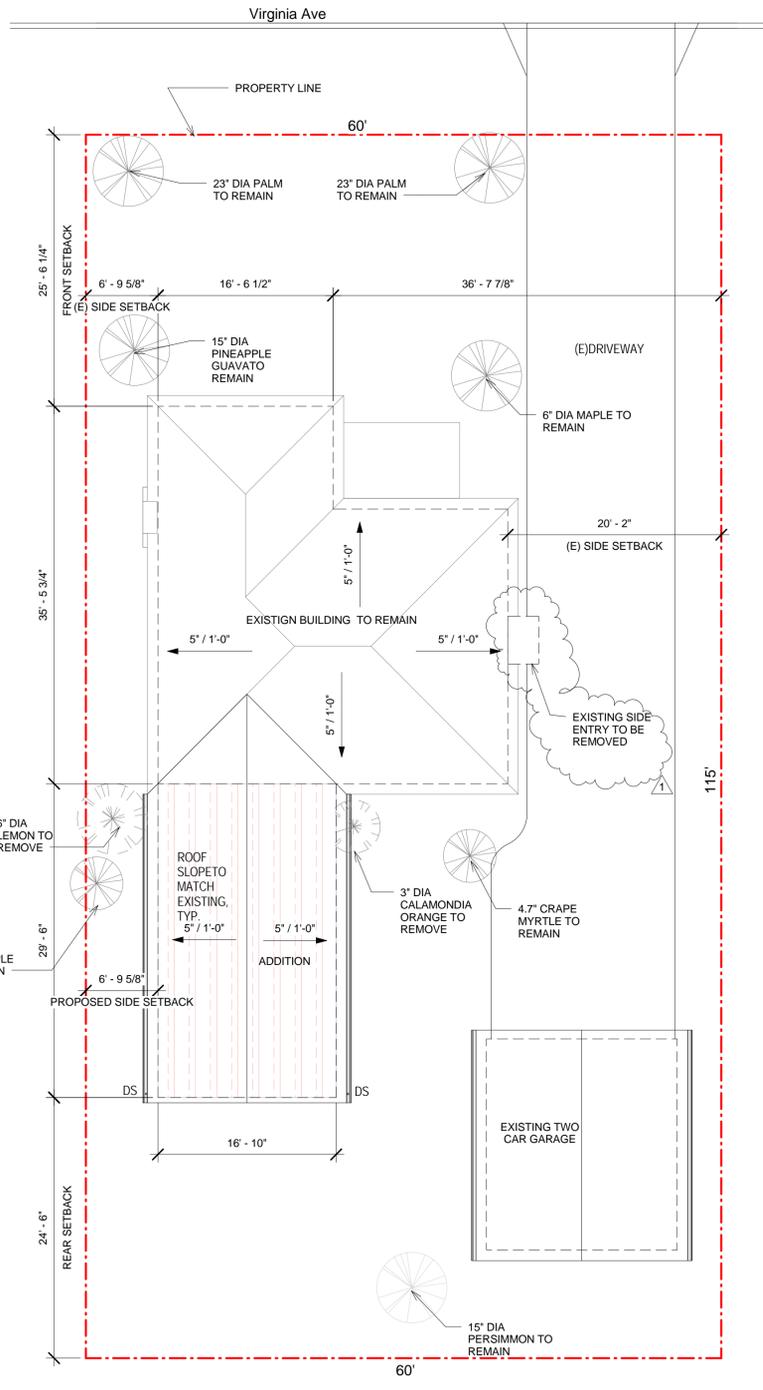
- ① GRID LINE NUMBER OR LETTER
- 1 DETAIL NUMBER
- A-501 SHEET WHERE DETAIL IS DRAWN. SAME DISCIPLINE
- 1 SECTION NUMBER
- A-301 SHEET WHERE SECTION IS DRAWN. SAME DISCIPLINE
- F H S INSULATION STUD SIZE WALL TYPE WALL EXTENT
- DELTA SEE DESCRIPTION BLOCK ON SAME SHEET FOR DATE & DESCRIPTION
- 1 KEYED NOTES SEE DESCRIPTION LIST ON SAME SHEET
- FILLED LINE INDICATES PLAN NORTH
- DASHED ARROW INDICATES TRUE NORTH

**DRAWING INDEX**

- A0.0 SITE /ROOF PLAN DEMOLITION PLAN
- A0.2 PROPOSED FLOOR/CEILING PLAN BUILDING SECTIONS
- A0.3 ELEVATIONS



② DEMOLITION PLAN  
1/4" = 1'-0"



① PROPOSED SITE / ROOF PLAN  
1/8" = 1'-0"



- NOTE:**
- PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS FROM ALL PARTS OF THE ROOF.
  - D.S. ○ INDICATES 2"x3" 26 GA. G.I. DOWNSPOUTS W/ SPLASH BLOCKS LOCATED AS SHOWN.
  - PROVIDES 5" - 26 GA. G.I. OGEE GUTTER OVER 2x8 SPRUCE FASCIA BLARD - TYP.
  - ROOF PITCH TO MATCH EXISTING ROOF TYP. - U.N.O.
  - ROOF MATERIAL TO MATCH EXISTING ROOF OVER 30# FELT - TYP.
  - PROVIDE NECESSARY FLASHING AT ALL ROOF AND WALL CONNECTIONS AS REQUIRED.
  - PROVIDE 3/4" THICK T&G PLANKS @ ROOF OVERHANG AREA

**KEY PLAN**

NO.	DESCRIPTION	DATE
1	PLANNING COMMENTS	10.18.2017
1	PLANNING SUBMITTAL	08.18.2017

PROJECT NO. 201726

SCALE As indicated

**TITLE**  
**SITE/ROOF PLAN**  
**DEMOLITION PLAN**

**A0.0**

**ELECTRICAL SYMBOLS**

	CABLE TV
	HOSE BIB
	HOSE BIB W/ SHUT OFF VALVE
	COLD WATER STUB OUT
	GAS KEY
	FUEL GAS W/SHUTOFF VALVE
	TELE. OUTLET AT 8" ABOVE FLOOR/COUNTER
	120V DUPLEX CONVENIENCE OUTLET
	120V 4-PLEX CONVENIENCE OUTLET
	HIDDEN OUTLET
	120V WEATHERPROOF DUPLEX RECEPTACLE W/GFCI
	120V DUPLEX GFCI OUTLET
	220V OUTLET
	120V DUPLEX CONVENIENCE OUTLET, 1/2 HOT
	120V DUPLEX CONVENIENCE FLOOR OUTLET
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	VOLUME CONTROL SWITCH
	DIMMER SWITCH
	3-WAY DIMMER SWITCH
	4-WAY DIMMER SWITCH
	SWITCH W/ VACANCY SENSOR
	CABLE TV SERVICE
	PHONE SERVICE
	MAIN ELECTRICAL PANEL
	GAS SERVICE \$ METER
	CEILING MTD. FAN, 4 OR 5 BLADE SWITCH CONTROLLED
	RECESSED EXHAUST FAN
	RECESSED COMBINATION OF EXHAUST FAN & LIGHT (FLUORESCENT OR OTHER HIGH EFFICACY LIGHT)
	CEILING MTD. SMOKE DETECTOR, I.C.B.O. APPROVED, (ALL SMOKE DETECTOR S SHALL BE INTERCONNECTED)
	CARBON MONOXIDE DETECTOR (ALL CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED)
	SPEAKER
	RECESSED CAN LIGHT - INCANDESCENT (VERIFY SWITCH REQUIREMENTS)
	RECESSED CAN LIGHT - FLUORESCENT (OR OTHER HIGH EFFICACY)
	SURFACE MTD. FIXTURE - INCANDESCENT (VERIFY SWITCH REQUIREMENTS)
	SURFACE MTD. FIXTURE - INCANDESCENT (VERIFY SWITCH REQUIREMENTS)
	HANGING FIXTURE - INCANDESCENT (VERIFY SWITCH REQUIREMENTS)
	HANGING FIXTURE - FLUORESCENT (OR OTHER HIGH EFFICACY)
	SURFACE MTD. 12x48 FLUORESCENT FIXTURE
	SURFACE MTD. 24x48 FLUORESCENT FIXTURE
	UNDER CABINET MOUNTED 24" FLUORESCENT STRIP
	WALL MTD. LIGHT BAR - FLUORESCENT (OR OTHER HIGH EFFICACY)
	WALL MTD. LIGHT BAR - INCANDESCENT (W/ OCCUPANCY SENSOR SWITCH)
	WALL MTD. FIXTURE - FLUORESCENT (OR OTHER HIGH EFFICACY)
	WALL MTD. FIXTURE - INCANDESCENT (W/ MOTION SENSOR & PHOTO CONTROL)
	WALL SCONCE - INCANDESCENT (VERIFY SWITCH REQUIREMENTS)
	WALL SCONCE - FLUORESCENT (OR OTHER HIGH EFFICACY)
	JUNCTION BOX
	DOOR CHIME
	DOOR CHIME PUSH BUTTON
	THERMOSTAT (LOCATED BY MECH. CONTRACTOR)
	GARAGE DOOR PUSH BUTTON
	ILLUMINATED ADDRESS +78" ABOVE T.O.C. (U.O.N.)

**NOTE:**

\*ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE FLOOR.

\*TYPICAL ALL PLUMBING WALL BEARING WALLS AND WALL EXCEED 10'-0" HIGH SHALL BE 2x6 STUDS @ 16" O.C.

\*TYPICAL ALL WATER SUPPLY PIPE TO BE COPPER.

\*ADD SOUND BATT INSULATION IN ALL NEW WALLS.

**FLOOR PLAN NOTES:**

1. PROVIDE 3'x3' MIN CONC. LANDING AT ALL NEW EXTERIOR DOOR, 8' MAX. FROM FINISHED FLOOR.
2. TOILET ACCESS AREA SHALL BE 24"(D)x30"(W)
3. SHOWER PAN SIZE PER OWNER W/TILE TO 72" U.N.O. PROVIDE SOAP DISH.
4. ALL PLUMBING FIXTURES SHALL BE OF UPC APPROVED PRODUCTS. THE FIXTURE IN SHOWER SHALL HAVE PRESSURE OR THERMOSTATIC MIXING VALVE THAT LIMIT WATER TEMPERATURE TO 120 F.
5. PROVIDE "DUROCK" OR "WONDER BOARD" WALL LINING AROUND SHOWER/BATHTUB AREA. CULTURE MARBLE OR TILE FINISH.

**GENERAL PLAN NOTES:**

1. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THK. U.N.O. (SEE PLAN FOR SIZE)
2. ALL HOUSE TO GARAGE DOORS TO BE SOLID CORE 1 3/8" THK. SELF CLOSING AND TIGHT FITTING. (SEE PLAN FOR SIZE)
3. ALL ENTRY DOORS TO BE SOLID CORE 1 3/4" THK. (SEE PLAN FOR SIZE)
4. PROVIDE A LANDING WITH A MIN. DEPTH OF 36" AT THE EXIT DOOR PER UBC 1004.9
5. WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE "U" AND "SHGC" FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION.

**NOTE:**

\*PROVIDE W/R GREEN GYP.BD @ AROUND SHOWER, TUBS PER SEC.2512 UBC.

\*ALL BATHROOM LIGHTS SHALL BE FLUORECENT LIGHTS.

\*ALL SHOWER OR TUB GLASS DOOR SHALL BE TEMPERED GLASS.

\*PROVIDE A MIN. 5 SQ.FT. MECHANICAL VENTILATING SYSTEM FOR BATH, UTILITY ROOM, AND ROOM OF SIMILAR NATURE.

\*THE SHOWERS AND TUB/SHOWER WALLS SHALL HAVE A MOISTURE RESISTANT UNDERLAYMENT TO A MIN. HEIGHT OF 70" ABOVE THE DRAIN INLET PER SEC. 807.1.3 OF 2010 CBC.

\*PROVIDE SOUND BATT INSULATION BETWEEN ALL BEDROOMS AND BATHS.

\*PROVIDE 12" MINIMUM CLEARANCE IN FRONT OF 2" OR LESS UNDER-FLOOR CLEANOUT PIPING AND 13" IF MORE THAN 2" DIAMETER PIPE.

\*NO UNDER-FLOOR CLEANOUT SHALL BE LOCATED MORE THAN 20 FEET FROM CRAWL HOLE ACCESS PANEL (CPC 707.10)

\*OUTDOOR A/C SUCTION LINE INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM U/V DETERIORATION OR PHYSICAL DAMAGE. (GEES 150(j)2 150(m)9)

\*THE "F.A.U." WHICH LOCATED IN THE ATTIC NEED TO BE WITHIN 20' FROM THE ACCESS AND HAS A CONTINUOUS SOLID WALKWAY AT 24" WIDE. PROVIDE A SWITCH-CONTROLLED LIGHT PER CMC 908.0.

\*ENVIRONMENTAL AIR DUCTS SUCH AS VENTILATION FOR HUMAN USAGE, KITCHEN RANGE EXHAUST, BATHROOM EXHAUST, AND CLOTHES DRYER EXHAUST SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER PER CMC 504.1.

\*A DEDICATED 20-AMP CIRCUIT SHALL BE PROVIDED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES LIGHT/FAN PER CEC210.11(C)(3).

\*LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES ARE LAGELED "SUITABLE\_ FOR DAMP LOCATIONS" PER CEC 410-4(a).

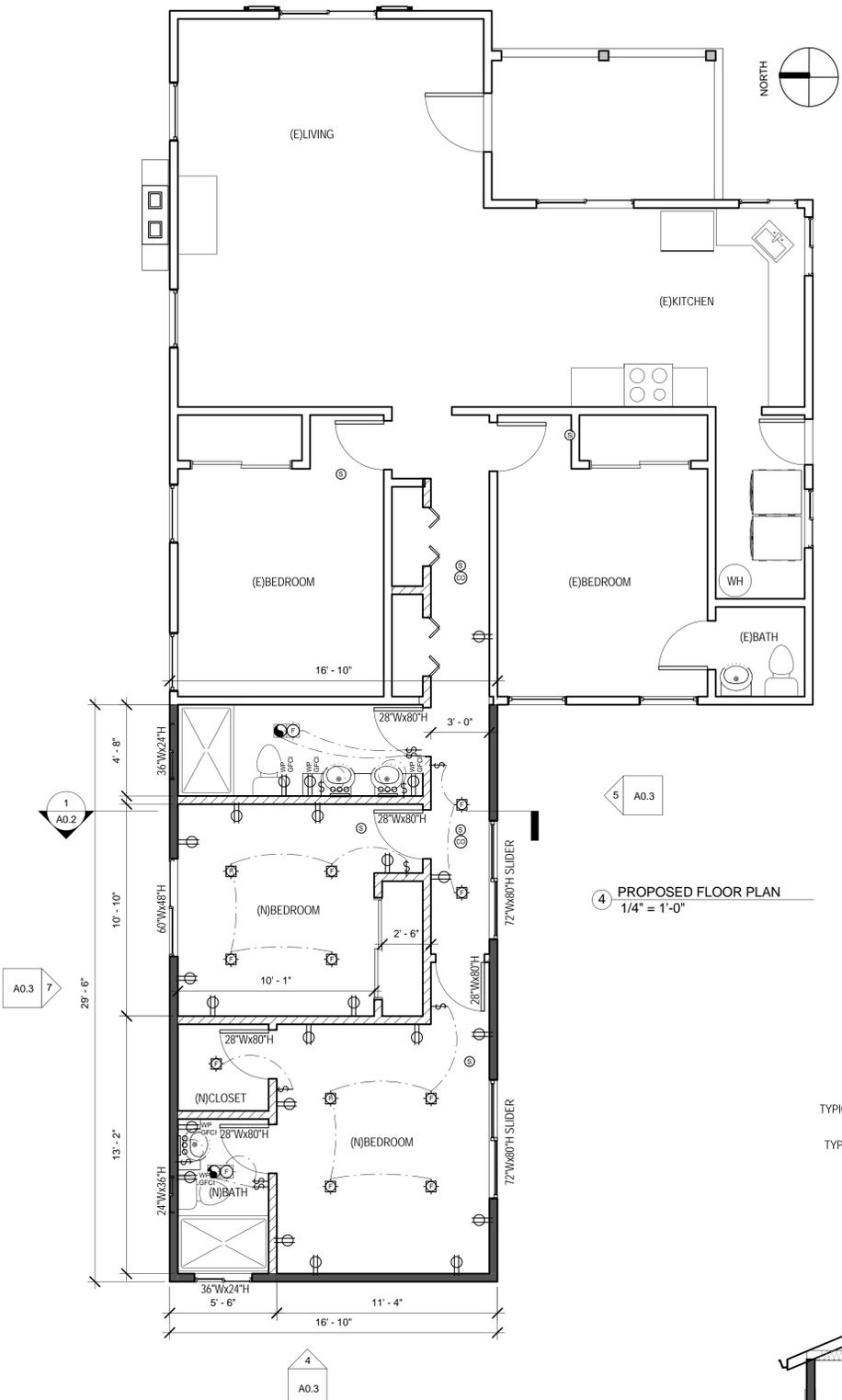
\*ALL RECESSED LIGHT FIXTURES SHALL BF IC RATED OR FIXTURES NOT IDENTIFIED FOR CONTACT W/ INSULATION SHALL HAVE ALL RECESS PARTS SPACED AT FAST 1/2" FROM COMBUSTIBLE MATERIAL AND 3" FROM THERMAL INSULATION PER CEC 410-66.

\*BATHROOM SHALL BE HIGH EFFICACY LUMINAIRES OR CONTROLLED BY AN OCCUPANT SENSOR THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION.

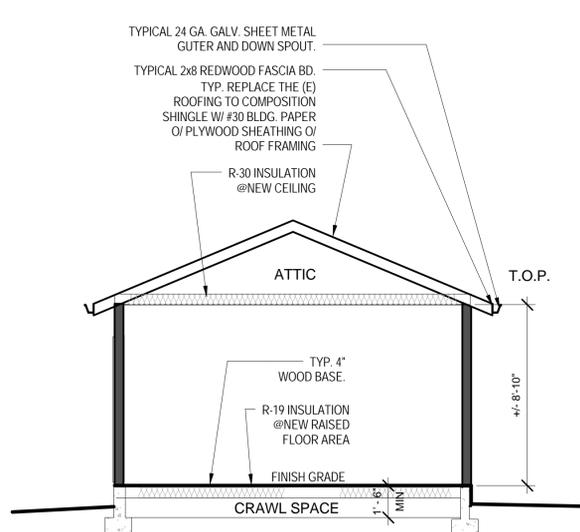
\*ALL OTHER INTERIOR ROOM EXCEPT CLOSETS LESS THAN 70 S.F. SHALL BE HIGH EFFICACY LUMINAIRES OR CONTROLLED BY A MANUAL ON OCCUPANT SENSOR OR DIMMER.

\*ALL OUTDOOR DOOR LIG ITING THAT IS MOUNTED TO THE BUILDING SHALL BE HIGH EFFICACY LUMINAIRES OR CONTROLLED BY PHOTO. CONTROL/ MOTION SENSOR COMBINATION.

\*VENTILATION IN THE BATHROOM SHALL PROVIDE 5 AIR CHANGES PER HOUR AND BE CONNECTED TO THE OUTSIDE AS PER CBC 1203.3.



4 PROPOSED FLOOR PLAN  
1/4" = 1'-0"



1 BUILDING LATITUDE SECTION  
1/4" = 1'-0"

**ATTIC VENTILATION**

REQUIRED:  
497 Sf/150 = 2.06 SF x144= 296 SI  
30% TOP = 296x30%=88.8 SI  
70% BOTTOM = 296x70%=207.2 SI

PROPOSED:  
TOP:  
GABLE VENT 1@12"x18" = 216 SI  
BOTTOM:  
EAVE VENTS 7@14.5x5.5=558.3 SI

**UNDER FLOOR VENTILATION**

REQUIRED:  
497 Sf/150 = 4.87 SF x144= 701.3 SI  
PROPOSED:  
VENTS 9@14.5x5.5=717.8 SI

**Xiaojun Feng**  
(OWNER)

Address:  
831 Virginia Ave,  
Campbell, Ca95008

Email:  
ifengxiaojun@gmail.com

**KEY PLAN**

NO.	DESCRIPTION	DATE
1	PLANNING COMMENTS	10.18.2017
2	PLANNING SUBMITTAL	08.18.2017

PROJECT NO. 201726

SCALE 1/4" = 1'-0"

TITLE

**PROPOSED FLOOR/CEILING PLAN BUILDING SECTIONS**

**A0.2**

