



CITY OF CAMPBELL
Community Development Department

November 17, 2017

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **November 28, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Kurt Anderson for a Modification (PLN2017-349) to a previously approved Conditional Use Permit (UP 83-11) and an Administrative Planned Development Permit (PLN2017-350) to formalize "general" alcohol service, late-night operational hours, and an outdoor seating area, and to allow site and parking configuration changes for an existing restaurant (New Jersey's Restaurant) on property located at **923 W. Hamilton Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

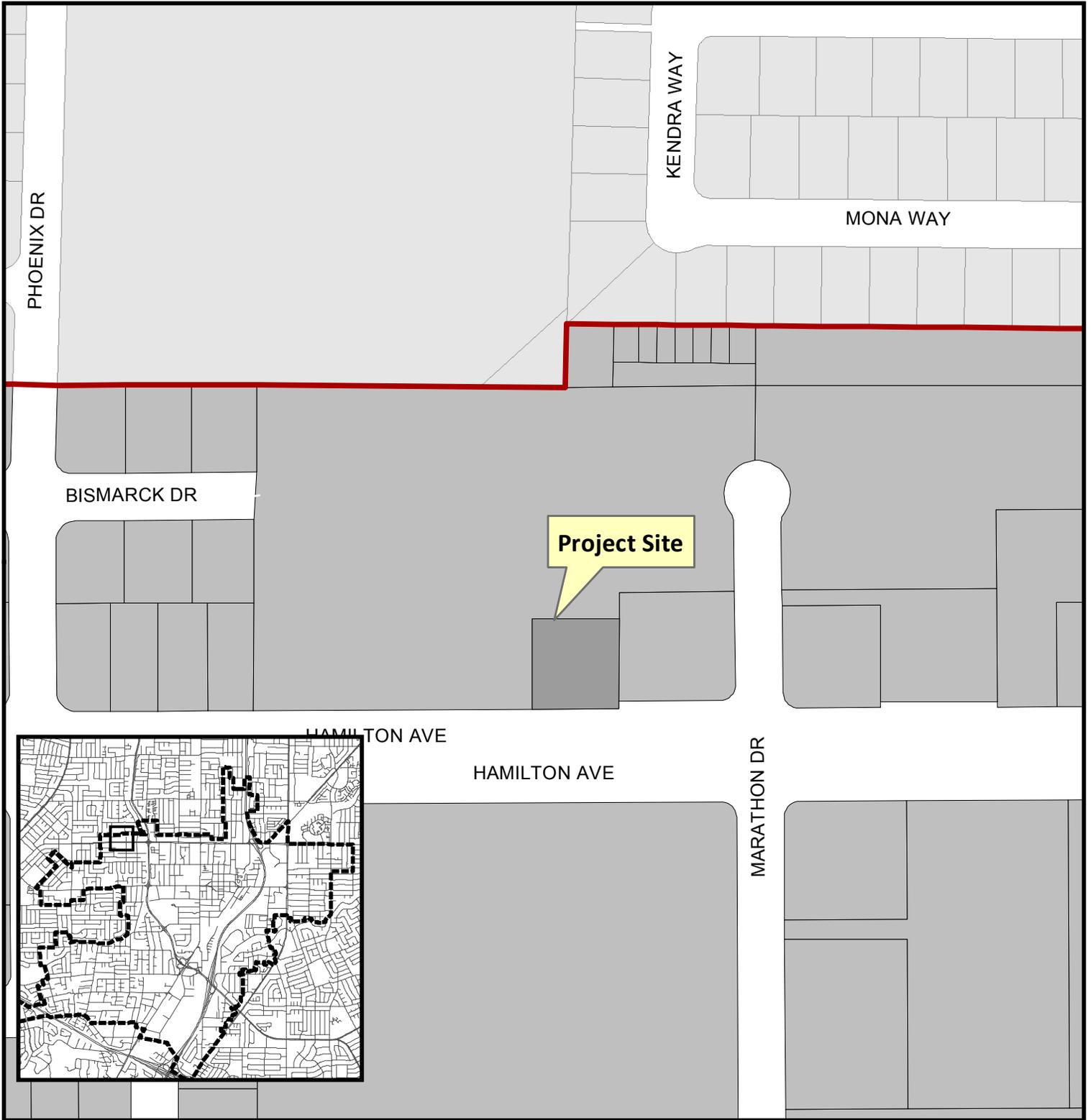
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

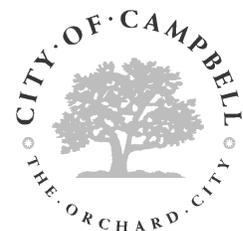
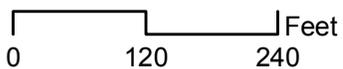
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **923 W. Hamilton Avenue**

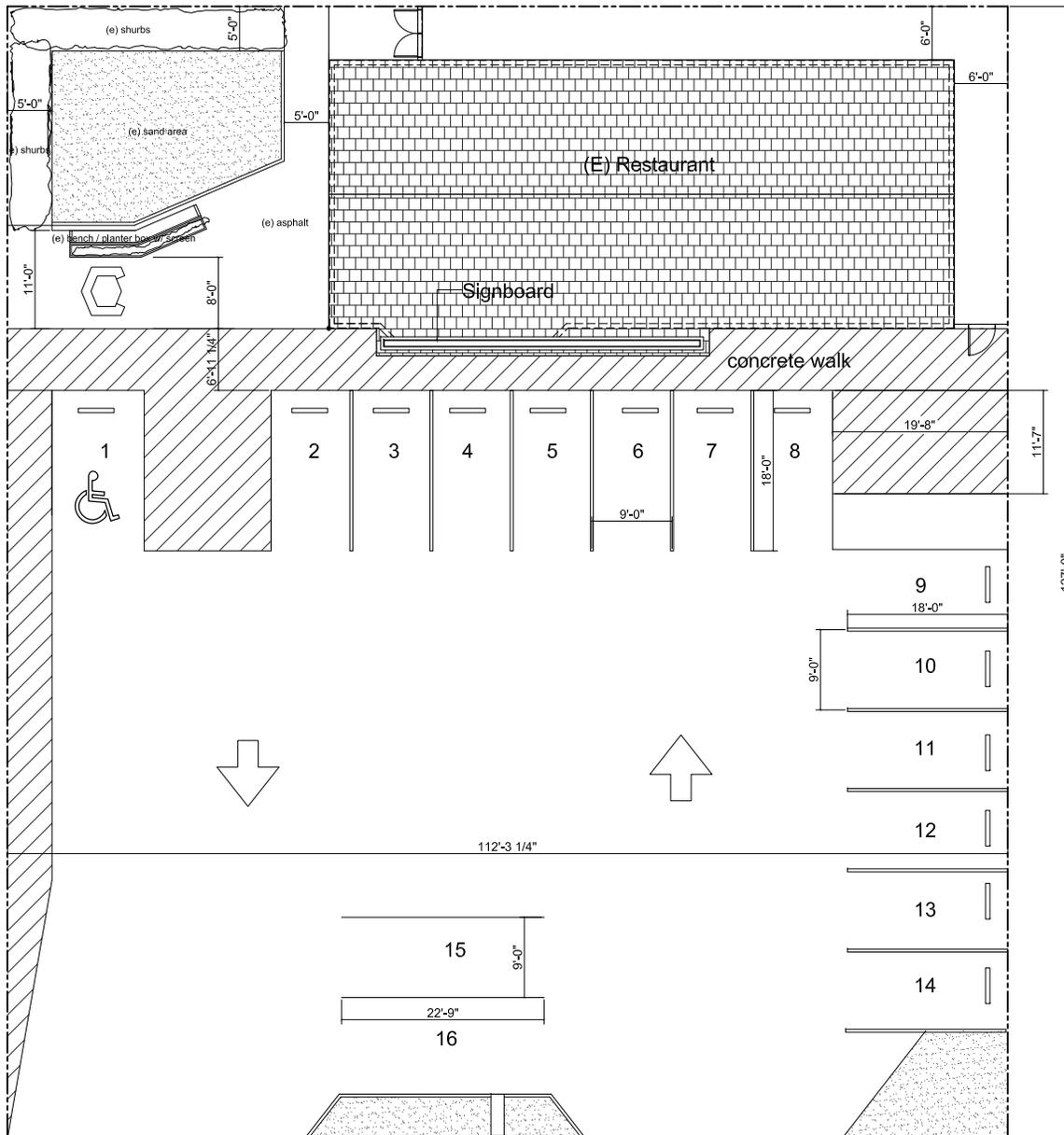
Project Location Map



Project Location: 923 W. Hamilton Avenue
Application Type: Modification to Conditional Use Permit
and Admin P-D Permit
Planning File No.: PLN2017-349,350

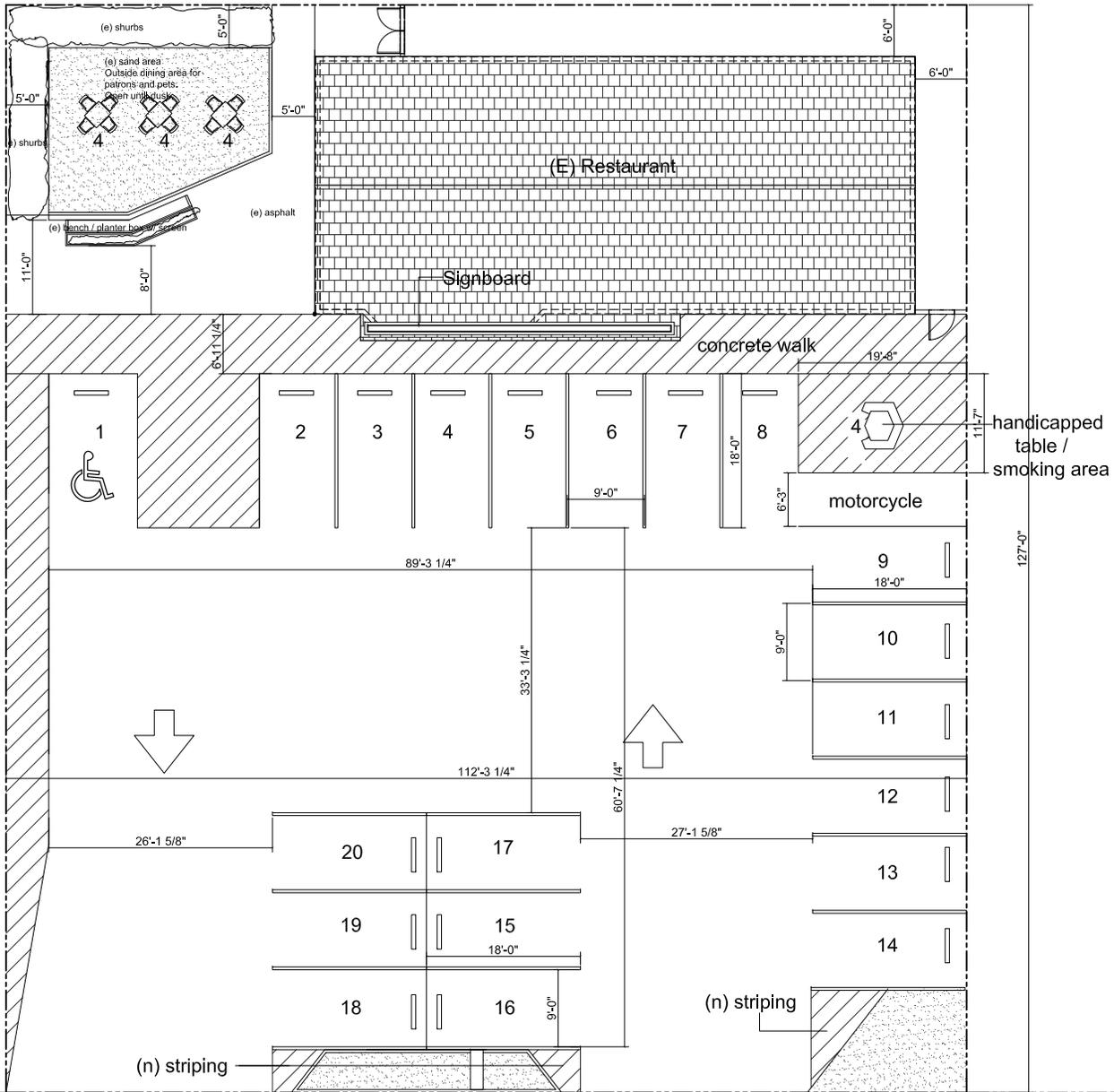


Community Development Department
Planning Division



NOTE :

This current parking plan supports 48 seats in the restaurant.

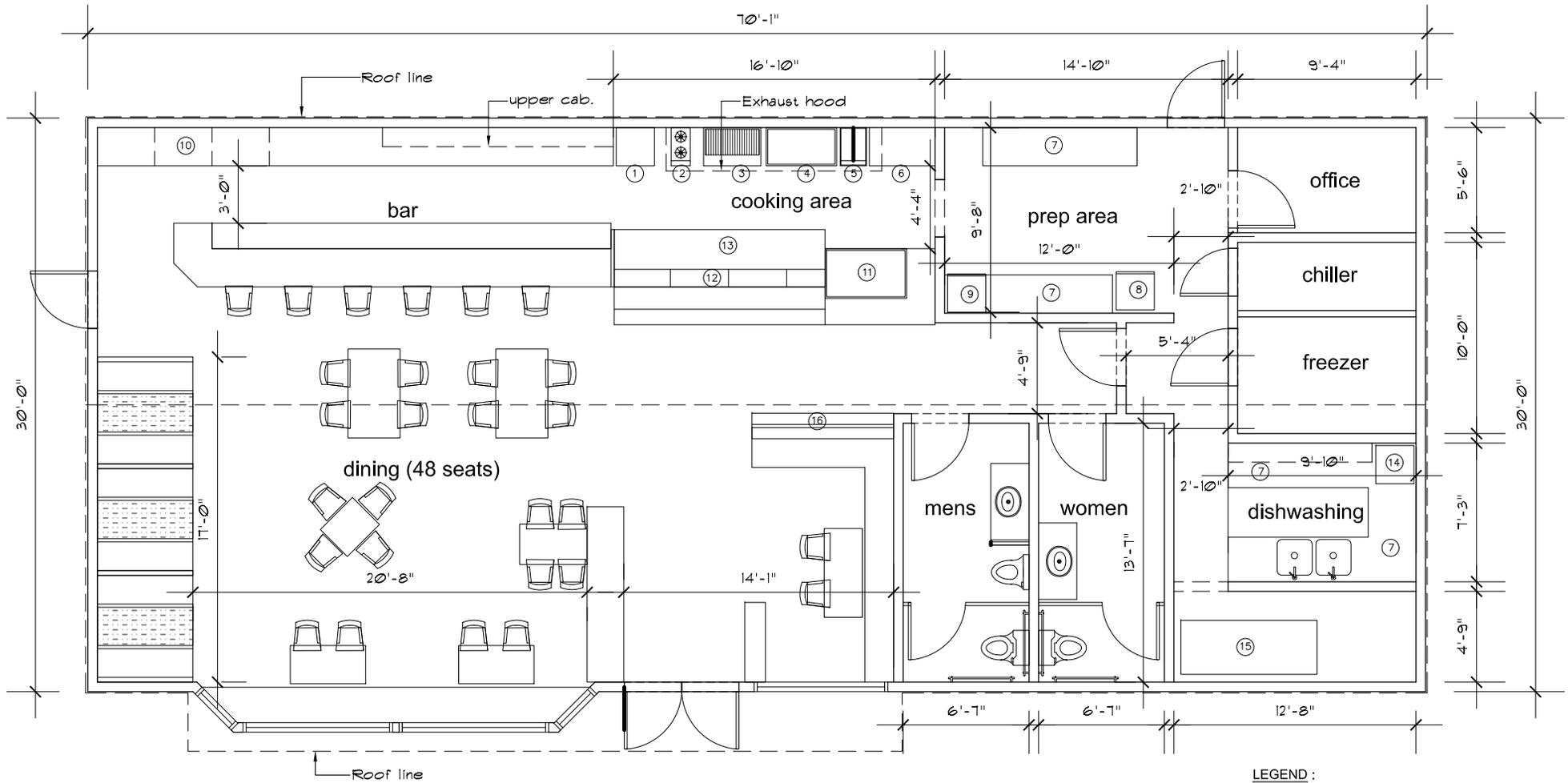


PARKING NOTES:

PARKING STALLS: 19
 MOTORCYCLE STALL: 1
 HANDICAPPED STALL: 1

NOTE :

This parking plan indicates re-striping at stalls 15 & 16, providing 4 additional stalls plus motorcycle stall for a total of 62 seats. 16 of these 62 seats will be outdoor seats.



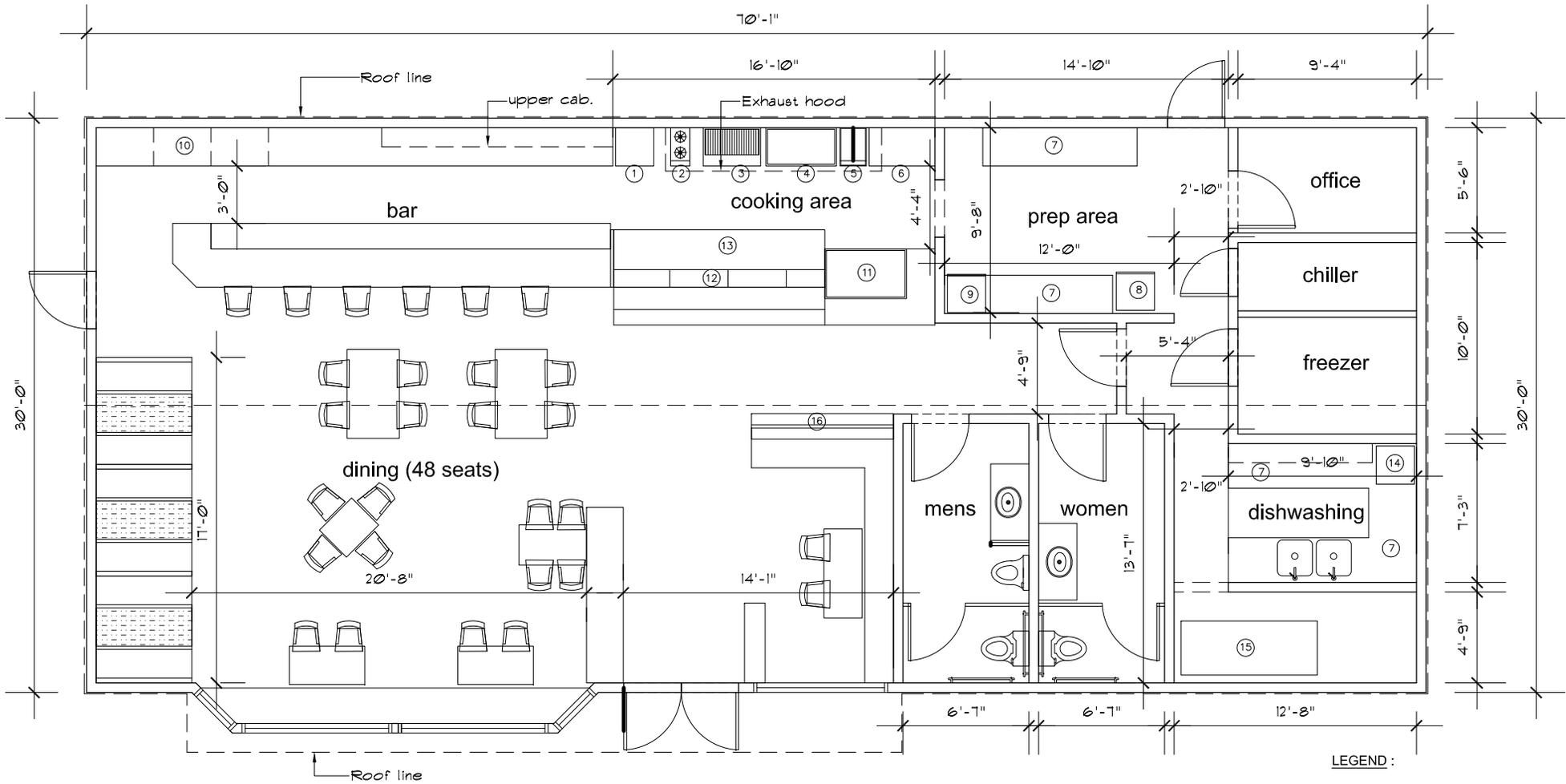
1 **EXISTING FLOOR PLAN**
 1/8"=1'-0"

LEGEND :

- 1. Bread rack
- 2. 2 Burner
- 3. Gas Griller
- 4. Griddle
- 5. Deep fryer
- 6. Oven cabinet
- 7. Stainless steel prep table
- 8. Refrigerator
- 9. Over the counter dual door oven
- 10. Under counter fridge
- 11. Salad bar
- 12. Chiller (sandwich unit)
- 13. Sandwich prep table
- 14. Dishwasher unit
- 15. Freezer
- 16. Glass divider

NOTE :

The interior seats have been reduced.



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1 PROPOSED FLOOR PLAN
1/8"=1'-0"

NOTE :

The interior seats have been reduced.