



**CITY OF CAMPBELL**  
**Community Development Department**

December 1, 2017

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **December 12, 2017**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Daniel Warren for a Site and Architectural Review Permit (PLN2017-221) to allow the construction of a new, two-story single-family residence on property located at **1330 Westmont Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **1330 Westmont Avenue**

# Project Location Map

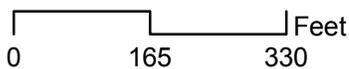


**Project Location:** 1330 Westmont Avenue

**Application Type:** Site and Architectural Review Permit

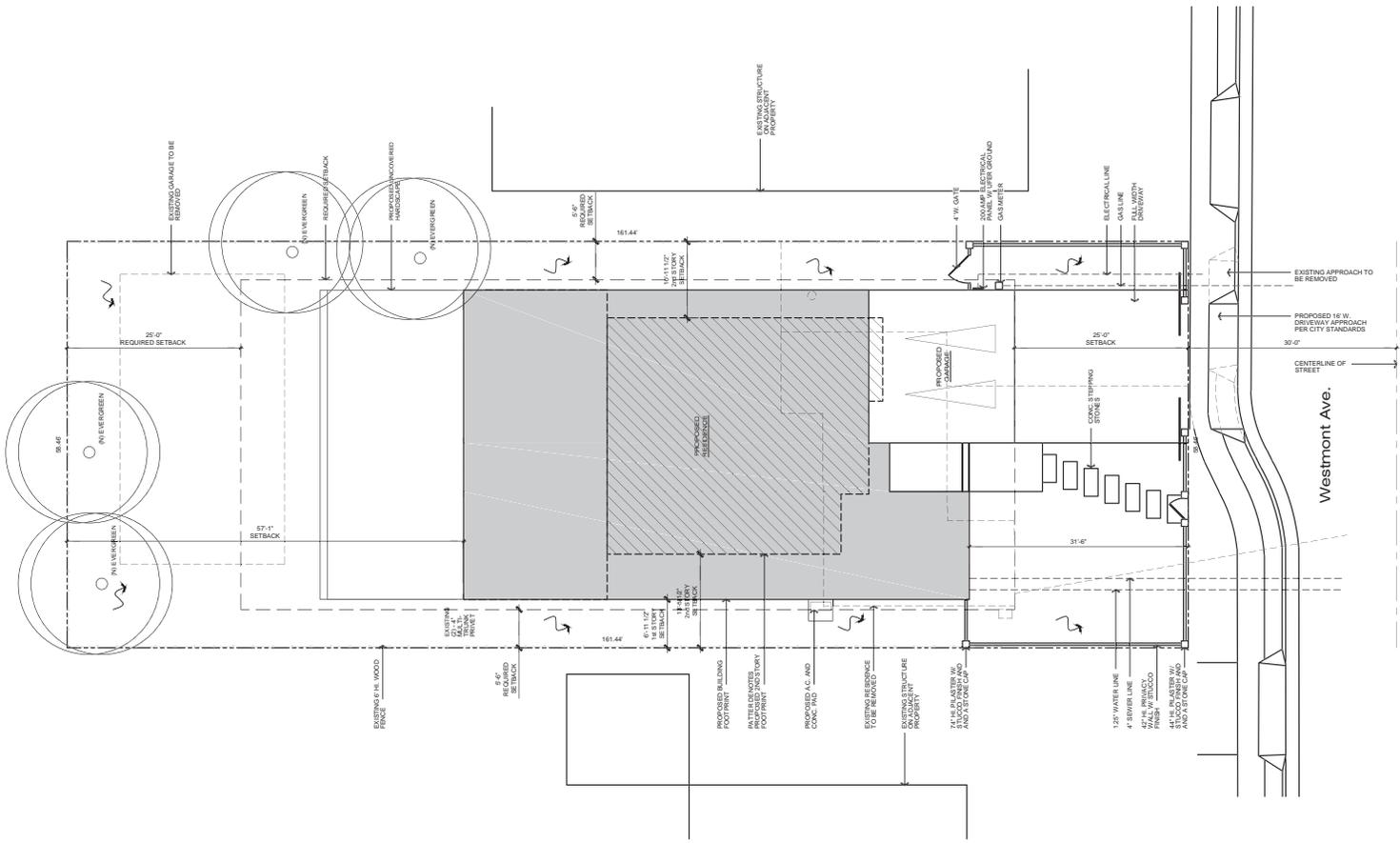
**Planning File No.:** PLN2017-221

**Description:** New two-story single family residence with attached garage



Community Development Department  
Planning Division





**Site Plan**

scale: 1/8" = 1'-0"

- GENERAL NOTES:
- VERIFY LOCATION OF ALL UTILITIES AT JOB SITE.
  - SLOPE ALL FINISH GRADES A MIN. OF 2% FOR 5'-0" AWAY FROM STRUCTURE FOR DRAINAGE.
  - ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR THE INTO AN APPROVED DRAINAGE SYSTEM.
  - THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10'-0" (CBC 1804.3).
  - ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2" (CRC 1808.7.4).
  - EAVE PROJECTIONS SHALL HAVE 1 HOUR FIRE-RESISTANCE RATING ON ALL EAVE PROJECTIONS THAT ARE LESS THAN 3'-0" FROM THE PROPERTY LINE. THIS IS NOT REQUIRED FOR EAVE PROJECTIONS GREATER THAN 3'-0" AS PRESCRIBED UNDER CRC SECTION R302 & TABLES R302.1(2).

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**TAGARE RESIDENCE**  
**1330 WESTMONT AVENUE**  
**CAMPBELL CALIFORNIA**

Date:	6/15/17
Drawn By:	DCW
Revisions:	
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Site Plan

Project No: 1712

Sheet No: A-1

of

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1320



1330



1340

Westmont Ave.

Existing Streetscape

scale: 1/8"= 1'-0"



1320



1330



1340

Westmont Ave.

Proposed Streetscape

scale: 1/8"= 1'-0"

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Streetscape

Project No:

1712

Sheet No:

A-1.1

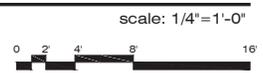
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GENERAL NOTES:

1. WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIERS AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.)
2. ALL EXTERIOR HEADERS SHALL BE AT 6'-0" U.N.O.
3. ALL EXTERIOR DOORS SHALL BE AT LEAST 1" THICK
4. ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED
5. BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH SILL & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 FEET
6. SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAYMENT TO MIN. HEIGHT OF 7/2" ABOVE DRAIN W/ TEMPERED GLASS ENCLOSURES
7. PROVIDE THERMOSTATIC MIXING VALVE OR INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE AT ALL SHOWERS PER C.P.C.
8. WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS/USH. KITCHEN FAUCET SHALL NOT EXCEED 1.8 GALS/ MIN. LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALS/ MIN. SHOWER HEADS SHALL NOT EXCEED 2.0 GALS/MIN.
9. WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.
10. PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES
11. WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. A.F.F.
12. OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED
13. AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER
14. INSTALL PRE-FAB MTL. FIREPLACES PER MFG'S SPECS. PROVIDE I.C.C. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION
15. PROVIDE FIRE-STOPS IN OPENINGS AT FLOOR & CEILINGS OF ALL FIREPLACES
16. PROVIDE AC/DC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL
17. LANDINGS NO MORE THAN 7.75" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, & NO MORE THAN 1" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 3'-0" DEEP MIN.
18. ALL GYPSUM BOARD TO 5/8" TYP. U.N.O



Proposed Entry Level Floor Plan



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Proposed Floor Plans

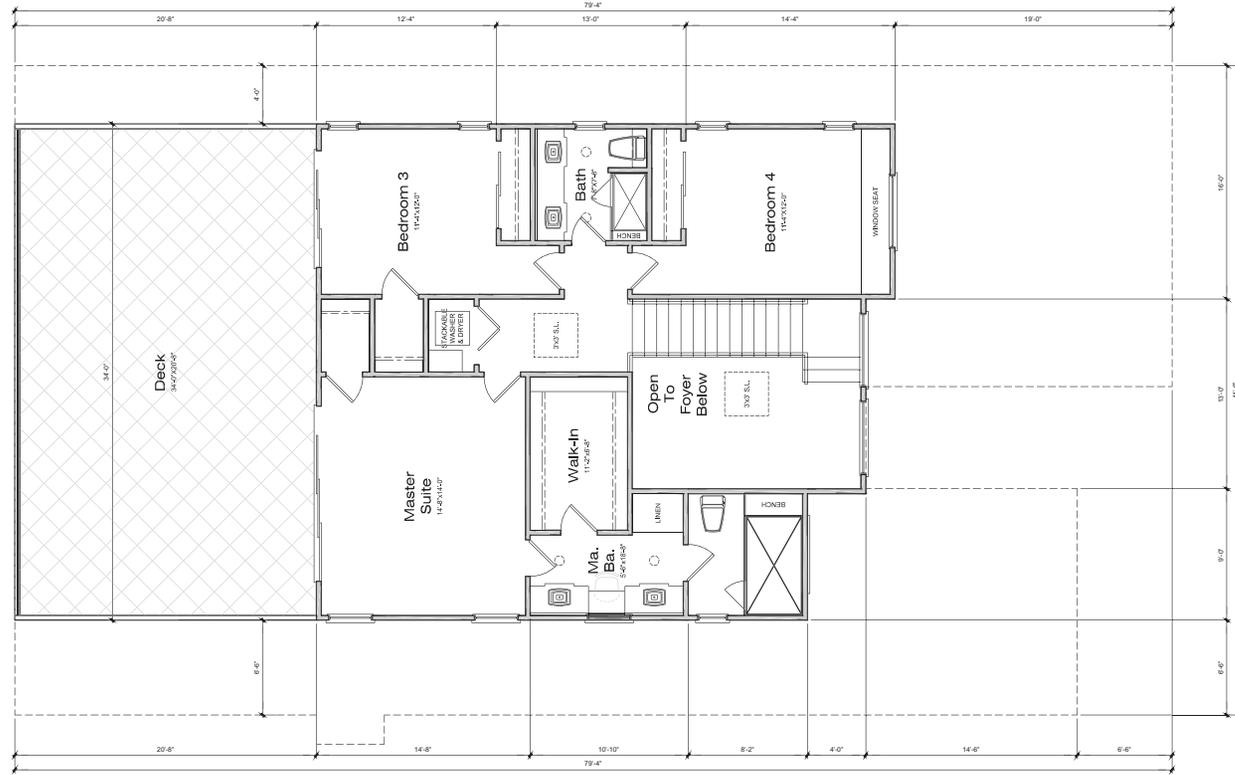
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15. PROVIDE FIRE-STOPS IN OPENINGS AT FLOOR & CEILINGS OF ALL FIREPLACES
16. PROVIDE AC/DIC SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA ALL DETECTORS TO BE INTERCONNECTED TYPICAL
17. LANDINGS NO MORE THAN 7.75' LOWER THAN THRESHOLD FOR IN-SWINGING DOORS, & NO MORE THAN 11" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 3'-0" DEEP MIN.
18. ALL GYPSUM BOARD TO 5/8" TYP. U.N.O.



Proposed Upper Level Floor Plan



scale: 1/4"=1'-0"



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Proposed Floor Plans

Project No: 1712

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NOTE: 8'-0" TYP. HEADER HT. 2'-0" TYP. SILL HT. 2'-0" TYP. SILL HT.

G.I. DRIP SCREED, TYP. AT 4" ABV. GRADE (2" ABV. HANDSCOPE)

DECORATIVE FRONT DOOR - COLOR TO BE BLACK

APPROVED ADDRESS TO CONTRAST W/ BACKGROUND MIN. 4" H. W/ MIN. 1" STROKE

STEEL PANEL GARAGE DOOR - COLOR TO BE WHITE

Front Elevation

scale: 1/4" = 1'-0"



Right Elevation

scale: 1/4" = 1'-0"



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Proposed Exterior Elevations

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Rear Elevation

scale: 1/4" = 1'-0"



Left Elevation

scale: 1/4" = 1'-0"



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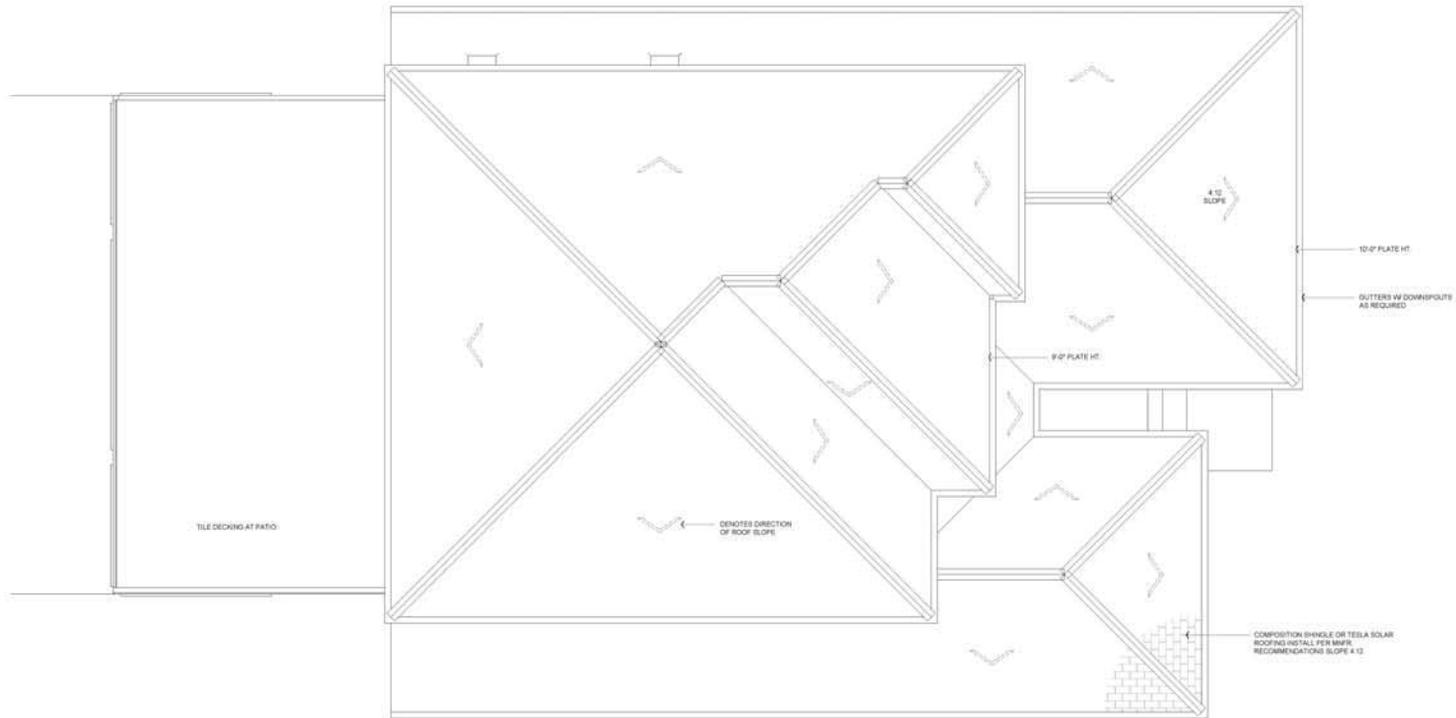
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Proposed  
Exterior  
Elevations

Project No: 1712

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**Roof Plan**

scale: 1/4"=1'-0"

- ROOF PLAN NOTES**
- ROOF SLOPE IS TO BE 4:12 UN-D
  - ARROWS INDICATE DIRECTION OF ROOF SLOPE
  - PLATE HEIGHT IS TO BE 10'-0" ENTRY LEVEL AND 9'-0" AT UPPER LEVEL
  - DOWNSPOUTS ARE TO BE 24" AT GABLES
  - PROVIDE EARLY VENTS FOR ATTIC VENTILATION PER C.R.C. TYPICAL
  - INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED
  - INSTALL "YOGEE" GUTTERS W/ DOWNSPOUTS AS REQUIRED TO MATCH EXISTING
  - PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL

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**Roof Plan**

Project No: 1712

Sheet No: A-6

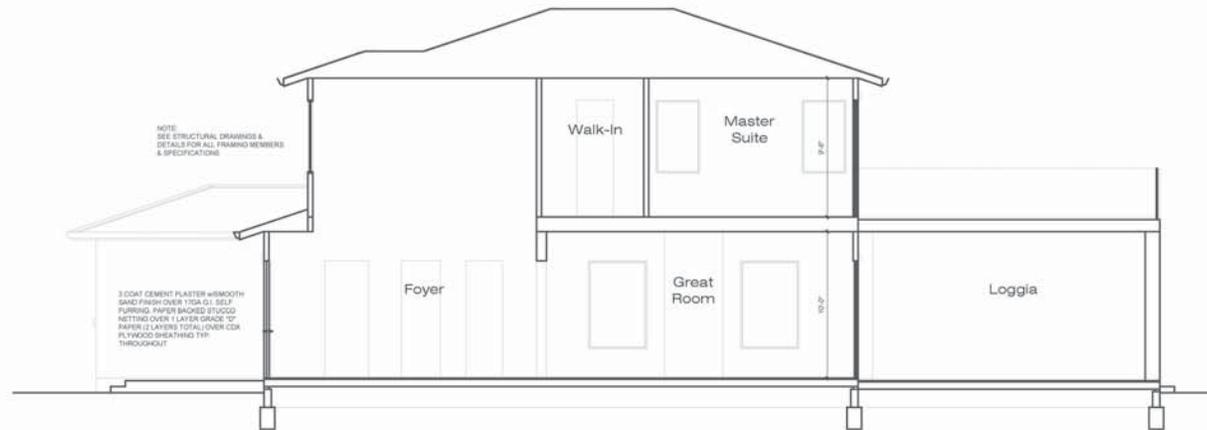
NOTE:  
2x4 EXTERIOR WALL: R-11 AND R-13 INSULATION  
ROOF ATTIC SPACE: R-30 INSULATION

- NOTE:
1. ALL SHEARWALLS TO BE FRAMED TO BOTTOM OF ROOF SHEATHING - TYP.
  2. FIRE STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER CBC:
    - 2a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FINISHED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 15-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
    - 2b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND OVER CEILING.
    - 2c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
    - 2d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
    - 2e. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.



Section A-A

scale: 1/4"=1'-0"



Section B-B

scale: 1/4"=1'-0"

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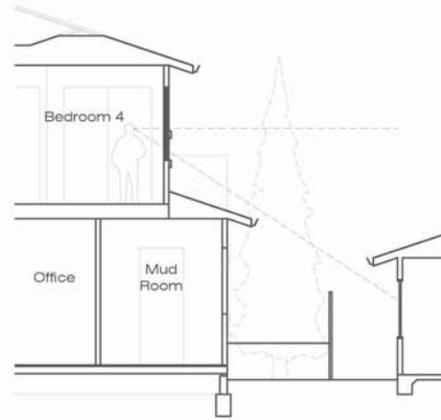
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Sections

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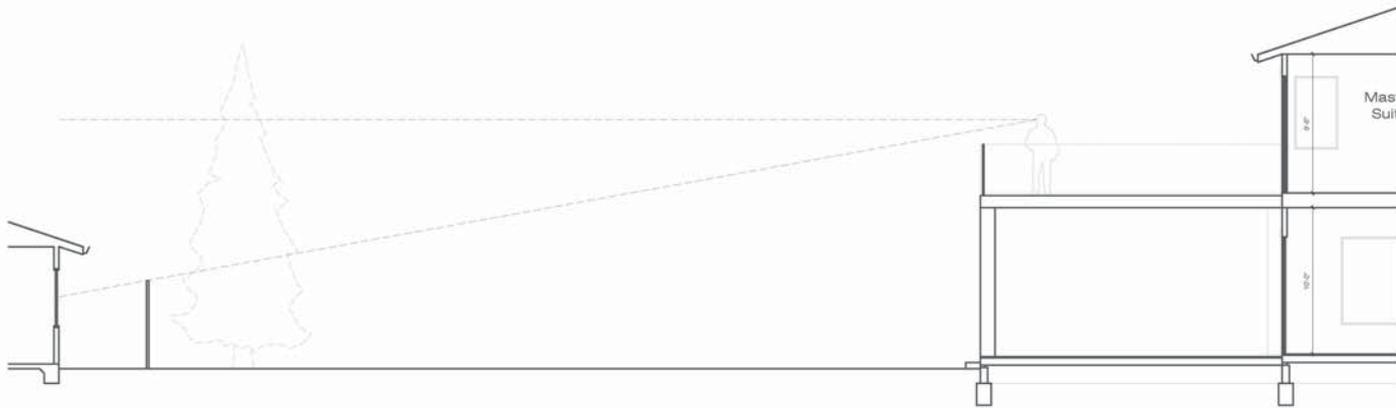
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Section A-A

scale: 1/4"=1'-0"



Section B-B

scale: 1/4"=1'-0"

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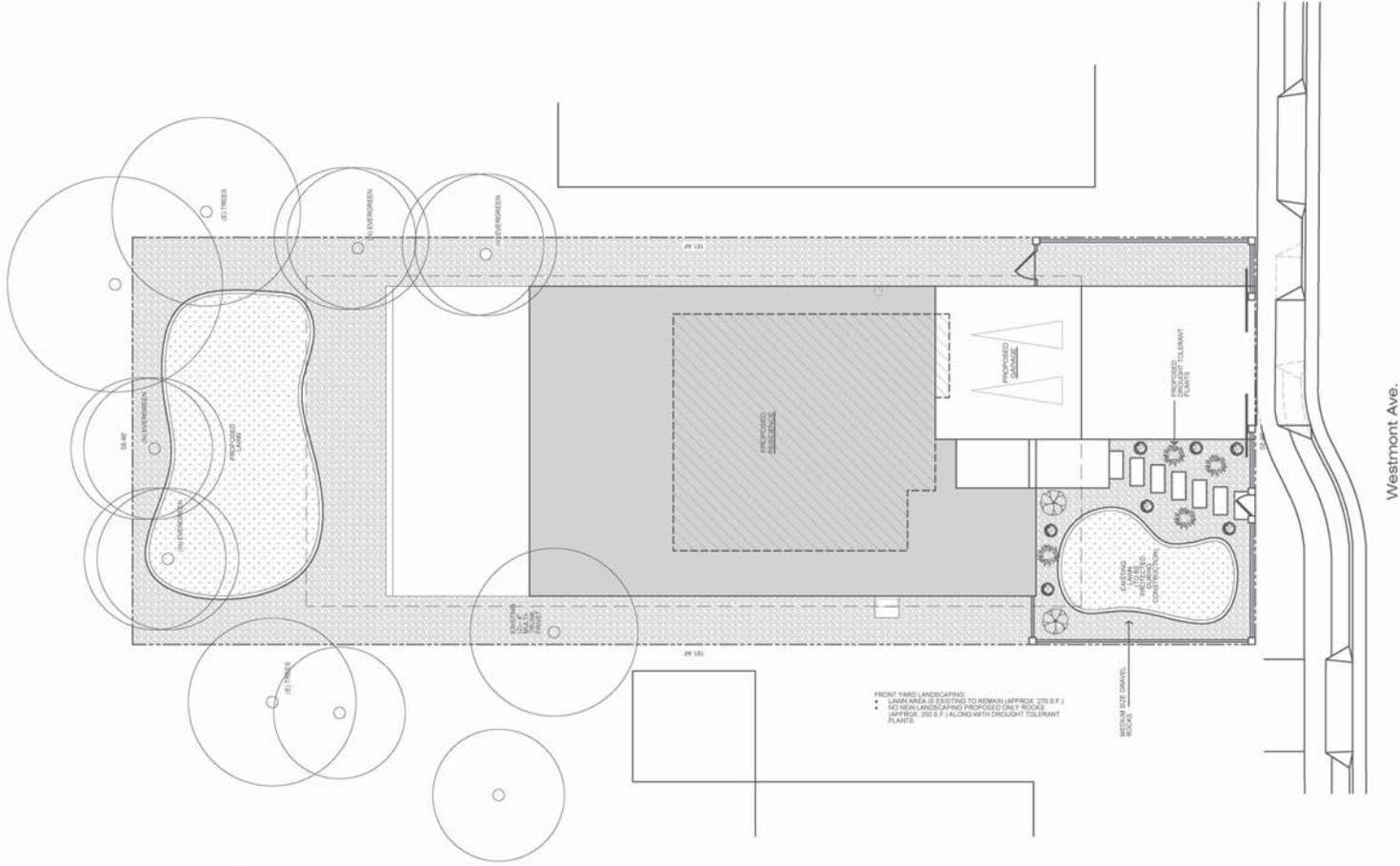
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Conceptual Landscape Plan

scale: 1/8" = 1'-0"

- FRONT YARD LANDSCAPING:
- LAWN AREA IS DESIGNED TO REMAIN (APPROX. 275 S.F.)
  - NO HEAVY LANDSCAPING PROPOSED (ONLY ROCKS APPROX. 300 S.F.) ALONG WITH DROUGHT TOLERANT PLANTS.

MEDIUM SIZE GRAVEL  
ROCKS

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Landscape Plan

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