



CITY OF CAMPBELL
Community Development Department

December 6, 2017

NOTICE OF ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW PERMIT

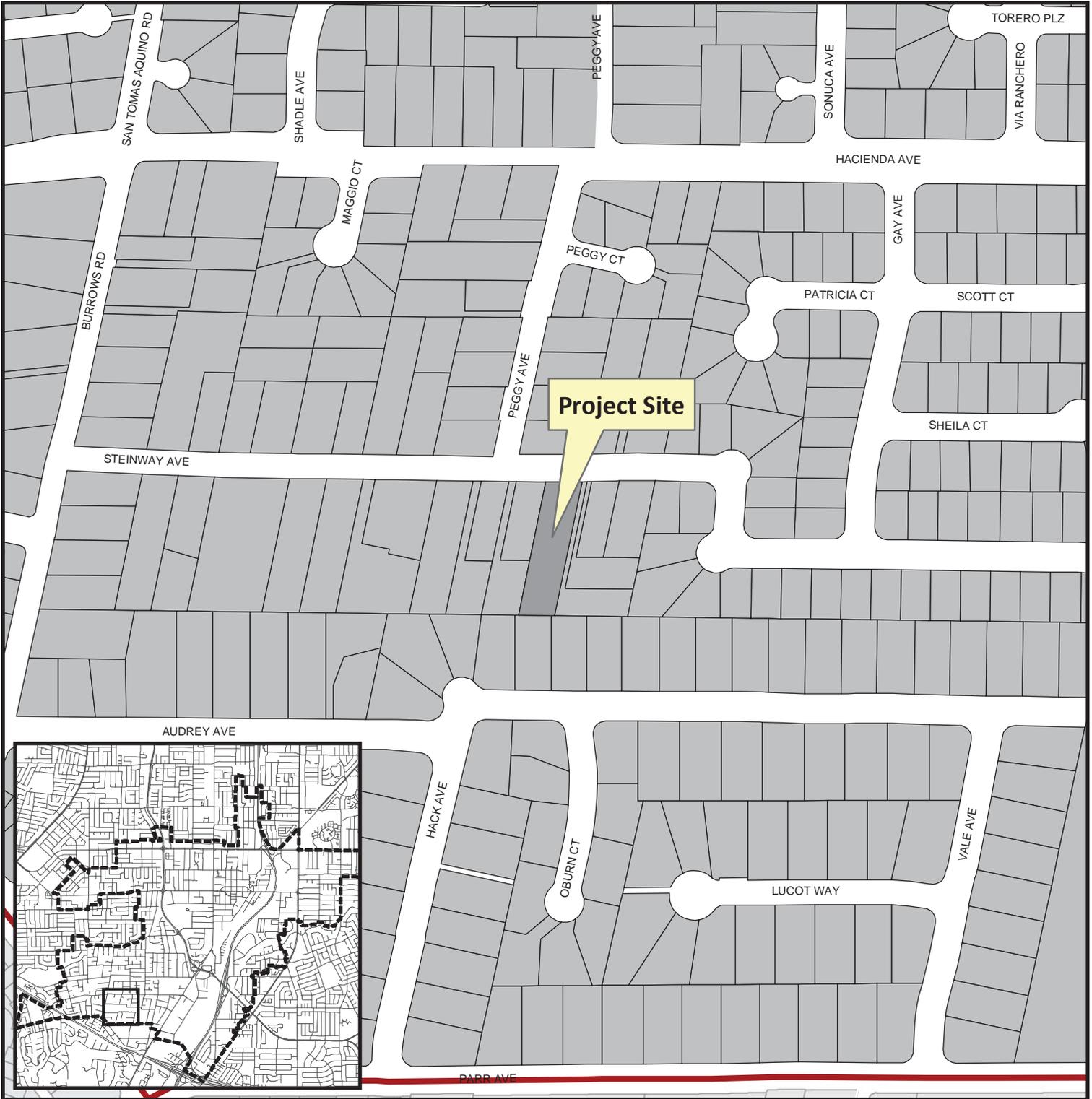
Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

File No.: PLN2017-284
Applicant: Duksu Lee
Project Address: 1124 Steinway Avenue
Property Owner: Jun Sung Lim
Zoning District: R-1-10 (Single-Family Residential)
General Plan: Low Density Residential
Project Description: An approximately 802 square-foot one-story front and rear addition to an existing one-story single-family residence

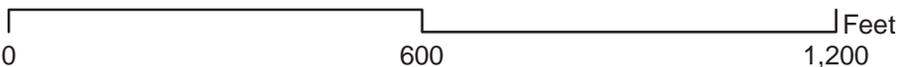
This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on December 8, 2017 and ends on December 18, 2017. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **December 18, 2017**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Victoria Hernandez, Assistant Planner, in the Community Development Department, at (408) 866-2732 or by email victoriah@cityofcampbell.com.

Project Location Map



Project Location: 1124 Steinway Avenue
Application Type: Admin. Site and Architectural Review
Planning File No.: PLN2017-284
Description: 802 square-foot single-story front and rear addition to an existing single-family home



Community Development Department
Planning Division

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PROJECT INFORMATION
EXISTING SINGLE FAMILY HOUSE ADDITION
ADDRESS : 1124-1126 STEINWAY AVE
CAMPBELL , CA, 95008
A P N, NUMBER, 406-16-15

OWNER INFORMATION
MR:Jun sung,Lim
ADDRESS : 1124 STEINWAY AVE
CAMPBELL , CA, 95008
TEL: 408.307-1786

BUILDING INFORMATION
LOT SIZE 22,119.0 SQ,FT

1124 STEINWAY AVE (EXISTING ONE STORY SINGLE FAMILY)
EXISTING LIVING AREA 1,451.5 SQ,FT
W/ ENCLOSED PORCH AREA
REMOVE EXISTING AREA(BAY FLOOR) -15.0 SQ,FT
TOTAL EXISTING AREA 1,436.5 SQ,FT

NEW ADDITION AREA 802.0 SQ,FT
TOTAL LIVING AREA 2,238.5 SQ,FT
NEW ATTACHED 2-CAR GARAGE 402.2 SQ,FT
TOTAL AREA 2,640.7 SQ,FT

REMOVE EXISTING DETACHED GARAGE -(600.0 SQ,FT)
NEW REAR DECK 492.0 SQ,FT
TOTAL COVERAGE AREA 3,132.7 SQ,FT

1126 STEINWAY AVE (EXISTING ONE STORY SINGLE FAMILY)
EXISTING LIVING AREA 1,384.0 SQ,FT
EXISTING PORCH 12.0 SQ,FT
EXISTING ATTACHED GARAGE 502.0 SQ,FT
TOTAL AREA 1,898.0 SQ,FT

TOTAL LOT COVER AREA 5,030.7 SQ,FT
COVERAGE (5031,SQ,FT / 22119 SQ,FT) = **RATIO 22.7 %**

PROPOSED SCOPE OF WORKS

2114 STEINWAY AVE
EXISTING ONE STORY SINGLE FAMILY WITH 3 BED ROOM AND 1 BATH AND DETACHED GARAGE ADDITION AND INTERIOR REMODEL TO 4 BED ROOM, 3 BATH, HOUSE.

1. REMOVE EXISTING DETACHED GARAGE AND NEW ATTACHED GARAGE (402.0 SQ,FT) HOUSE HORIZONTAL ADDITION(802.0 SQ,FT) AND NEW DECK(492.0 SQ,FT)
2. FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALL PER - NFPA 13D 2016 ADDITION STANDARD.



PROPOSED JOB SITE

ASSESSOR MAP



PROPOSED JOB SITE

VICINITY MAP

LIM 's RESIDENCE

HOUSE ADDITION AND REMODEL

LIM 's RESIDENCE
HOUSE ADDITION AND REMODEL
1124 STEINWAY AVE
CAMPBELL ,CA. 95008

GENERAL NOTES :

1. ALL WORK SHALL COMPLY WITH THE UNIFORM BUILDING CODE, UNIFORM PLUMBING CODE, UNIFORM MECHANICAL CODE, NATIONAL ELECTRIC CODE AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES AND STANDARDS. AS
- 2016 CALIFORNIA BUILDING CODE (BASE ON 2015 INTERNATIONAL BUILDING CODE)
- 2016 CALIFORNIA RESIDENTIAL CODE (BASE ON 2015 INTERNATIONAL RESIDENTIAL CODE)
- 2016 CALIFORNIA PLUMBING CODE (BASE ON 2015 UNIFORM PLUMBING CODE)
- 2016 CALIFORNIA MECHANICAL CODE (BASE ON 2015 UNIFORM MECHANICAL CODE)
- 2016 CALIFORNIA ELECTRICAL CODE (BASE ON 2014 NATIONAL ELECTRICAL CODE)
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- CAMPBELL MUNICIPAL CODE
- STRUCTURE REVIEW IS BASED ON THE ASCE 7-10
2. EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS CAN BE USED FOR BIDDING PURPOSES. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE ACTUAL SITE CONDITIONS PRIOR TO BIDDING. AND FOR ANY UNIQUE CIRCUMSTANCES OR DISCREPANCIES THAT MAY EXIST, CONTRACTOR SHALL VERIFY ALL DIMENSIONS CALLED OUT ON THE PLANS, ELEVATIONS, SECTIONS, ETC., TO DETERMINE POTENTIAL DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL SAFELY SHORE EXISTING CONSTRUCTION WHEREVER EXISTING SUPPORTS ARE REMOVED TO ALLOW THE INSTALLATION OF THE NEW WORK. THE EXISTING CONSTRUCTION SHALL BE CONNECTED AND/OR EMBEDDED INTO THE NEW CONSTRUCTION AS SHOWN SPECIFIED.
4. DO NOT DAMAGE OR DESTROY ANY POST TENSIONING TENDON OR THEIR ANCHORAGE IN THE EXISTING FOUNDATION SYSTEM.
5. DIMENSIONS UNLESS OTHERWISE SHOWN ARE THE STUD LINE, ROUGH CONCRETE OR CONCRETE BLOCK SURFACES.
6. CONTRACTORS SHALL VERIFY ALL DIMENSIONS PRIOR TO THE FABRICATION AND START OF ANY WORK.DO NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS ARE TO BE USED. ANY ERRORS AND/OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR OWNER. (IN WRITING) IMMEDIATELY. UNLESS REPORTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIMENSIONAL INCONSISTENCIES AND PROBABLE REMEDIAL WORK.

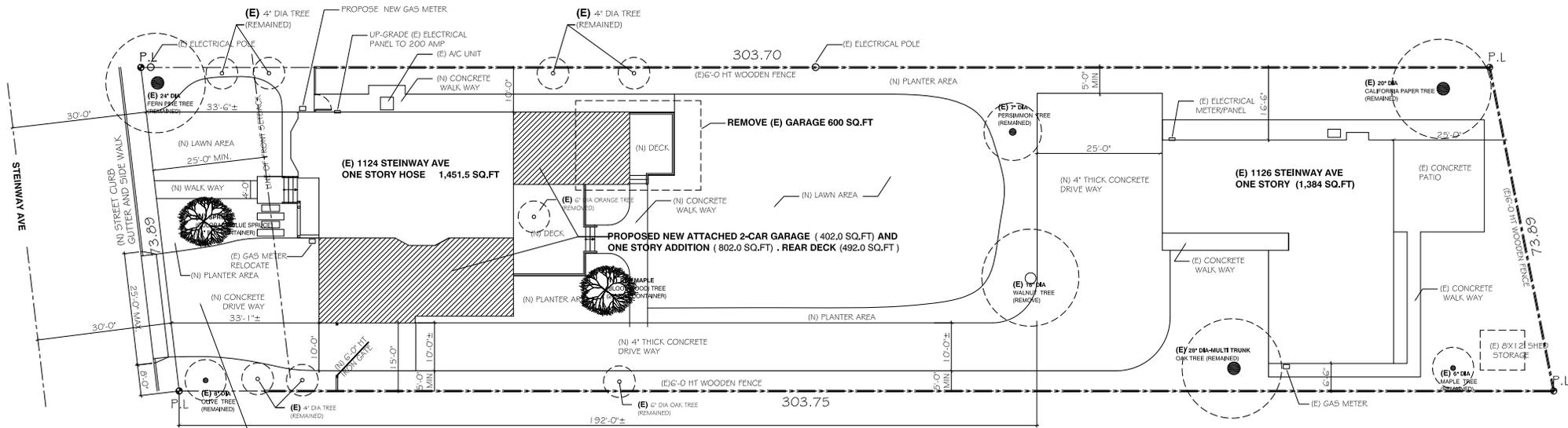
7. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT SHOWN, THEN THE CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN OR CALLED FOR.
8. THE REMOVAL AND CUTTING, DRILLING, ETC. OF EXISTING WORK SHALL BE PERFORMED WITH GREAT CARE AND SMALL TOOLS IN ORDER NOT TO JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING. IF STRUCTURAL MEMBERS NOT INDICATED FOR REMOVAL INTERFERE WITH THE NEW WORK, THE DESIGNER AND ENGINEER SHALL BE IMMEDIATELY NOTIFIED AND PROPER APPROVAL OBTAINED BEFORE THE REMOVAL OF MEMBERS.
9. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR THE CONDUCT OF THE WORK INCLUDING ALL CONSTRUCTION METHODS AND PROCEDURES; SITE SAFETY; AND METHOD, DESIGN AND MATERIALS FOR TEMPORARY VERTICAL AND LATERAL SUPPORT OF EXISTING AND NEW STRUCTURE.
10. WHEREVER THE WOOD TENDS TO SPLIT, HOLES SHALL BE PRE DRILLED, SPLIT MEMBERS SHALL BE REPLACED.
11. CONTRACTOR SHALL INFORM THE DESIGNER OF ALL MODIFICATIONS TO DRAWINGS BY APPROVAL AGENCIES AND/OR CHANGES REQUESTED BY INSPECTORS.
12. SEPARATE PERMIT SHALL BE OBTAINED FOR ELECTRICAL, HEATING AND PLUMBING INSTALLATIONS. CONTRACTOR SHALL PROVIDE DESIGNS/SCHEMATICS AND PAY REQUIRED PERMIT FEES.
13. CONTRACTOR SHALL COORDINATE BETWEEN THE VARIOUS TRADES, VENDORS, AND/OR SUBCONTRACTORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO THE MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.
14. MANUFACTURERS OPERATING INSTRUCTIONS AND GUARANTEES SHALL BE GIVEN TO THE OWNER
15. CONTRACTOR SHALL REMOVE ALL DEBRIS ON A DAILY BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING.
16. RESOLUTION OF ALL QUESTIONS OR VARIANCES MUST BE MADE THROUGH THE DESIGNER AND/OR OWNER AND CONFIRMED IN WRITTEN FORM.
17. REPETITIVE FEATURES NOT NOTED ON THE DRAWINGS SHALL BE PROVIDED COMPLETELY AS IF DRAWN IN FULL.

18. ALL CHANGE ORDERS SHALL BE IN WRITING, REQUIRING BOTH THE OWNER AND DESIGNERS SIGNATURE FOR APPROVAL.
19. CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND REPORT TO THE DESIGNER ANY DISCREPANCIES FOR CORRECTION OR ADJUSTMENT. NO ALLOWANCE WILL BE MADE FOR INCREASED COSTS INCURRED DUE TO THE LACK OF PROPER COORDINATION.
20. CONTRACTOR SHALL CARRY LIABILITY, PROPERTY DAMAGE, AND WORKER'S COMPENSATION INSURANCE AND SHALL PROVIDE THE OWNER WITH CERTIFICATES OF INSURANCE.
21. UPON COMPLETION OF THE JOB, CONTRACTOR SHALL LEAVE THE PREMISES AND ALL AFFECTED AREAS CLEAN (CLEAN WINDOWS, DUST ALL SURFACE AND LIGHT CANS, VACUUM OUT HEATING DUCTS AND REGISTERS) AND IN AN ORDERLY MANNER READY FOR MOVE IN THE OCCUPANCY.
22. BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, 10-1103(b) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.

DRAWING LIST

- A-0 COVER
- A-1 SITE PLAN
- A-2 EXISTING FLOOR PLAN AND PICTURES
- A-2.1 EXISTING ELEVATIONS
- A-3 PROPOSED NEW FLOOR PLAN
- A-4 ROOF PLAN
- A-5 ELEVATIONS
- A-6 ELEVATION AND NOTES
- A-7 SECTIONS

Issued:	Date
Project No:	17-R09
Sheet Title:	COVER
Scale:	AS SHOWN
Sheet No	A - 0
of	Sheets



FRONT YARD LANDSCAPE AREA CALCULATION

FRONT YARD REQUIREMENT AREA : 1844.0 SQ.FT
 CONCRETE DRIVE WAY: 661.5 SQ.FT
 CONCRETE WALK WAY: 145.5 SQ.FT
 TOTAL PAVED AREA TOTAL 807.0 SQ.FT
 807/1844 = 44% <50%

NEW LAWN AREA: 772.0 SQ.FT
 NEW PLANTER AREA: 265.0 SQ.FT
 TOTAL LAWN AND PLANTING AREA 1,037.0 SQ.FT

1
A-1

PROPOSED SITE PLAN

SCALE 3/32" = 1'-0"



DEMOLITION NOTES :

- DURING CONSTRUCTION AND DEMOLITION, ALL DEBRIS MUST BE REMOVED FROM SITE BY THE CITY'S ONLY APPROVED HAULER, REPUBLIC SERVICE, USING THEIR DEBRIS BOX SERVICE. NO OTHER ENTITY IS AUTHORIZED TO COLLECT OR TRANSPORT MATERIAL THAT HAS BEEN GENERATED WITHIN SANTA CLARA COUNTY THERE IS AN EXCEPTION FOR DEBRIS BOXES CONTAINING ONLY SEPARATED SOIL, CONCRETE, OR ASPHALT.
- ALTERNATIVELY, THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE MATERIALS FROM THE JOB SITE PREMISES, USING THEIR OWN EQUIPMENT, VEHICLES AND EMPLOYEES, AS AN INCIDENTAL PART OF TOTAL CONSTRUCTION SERVICE OFFERED BY THAT CONTRACTOR. CONTRACTOR WHO SELF-HAUL DEBRIS IN THEIR OWN VEHICLES MUST DELIVER THE MATERIAL TO AN APPROVED FACILITY AND SUBMIT THE RECEIPTS TO THE CITY ON A MONTHLY BASIS.
- IF A COMPANY OTHER THAN PUBLIC SERVICE PROVIDES DEBRIS BOX SERVICE FOR HAULING CERTAIN SEPARATED RECYCLABLE MATERIALS ONLY SOIL, ASPHALT OR CONCRETE, EACH LOAD MUST NOT CONTAIN MORE THAN 10% GARBAGE OR OTHER NON-RECYCLEABLE MATERIAL BY WEIGHT OR VOLUME.
- DURING CONSTRUCTION, 100% OF THE ASPHALT AND CONCRETE MUST BE REUSED OR RECYCLED AND AT LEAST 50% OF THE REMAINING DEBRIS GENERATED FROM THE PROJECT MUST BE REUSED OR RECYCLED. IN ORDER TO RECEIVE FINAL PERMIT APPROVAL, APPLICANT MUST SAVE ALL RECEIPTS FROM DISPOSAL AND RECYCLING TO TURN IN AT THE COMPLETION OF THE PROJECT.

FIRE NOTES :

- ALL APPLICANT MUST IMMEDIATELY NOTIFY THE SANTA CLARA COUNTY FIRE DEPARTMENT, HAZARDOUS MATERIALS ANY UNDERGROUND PIPES, TANK OR STRUCTURES, ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS, OR OTHER ENVIRONMENTAL ANOMALIES ENCOUNTERED DURING SITE DEVELOPMENT ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIATED PRIOR TO PROCEEDING WITH SITE DEVELOPMENT.
- A 20 FOOT WIDE FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION. THIS ACCESS ROADWAY SHALL BE A PAVED ALL-WEATHER SURFACE. PROVIDE EMERGENCY VEHICLE ACCESS TO WITHIN 150 FEET OF ALL CONSTRUCTION OR COMBUSTIBLE STORAGE.
- PERSONNEL OPERATING AT THE CONSTRUCTION SITE SHALL HAVE A MEANS OF COMMUNICATING AND THE REPORTING A FIRE OR MEDICAL EMERGENCY. THIS REQUIREMENT MAY BE MET BY USE OF A CELLULAR TELEPHONE AND BY DIALING 911. CELLULAR PHONE CALLS TO 911 NOW REPORT TO THE CLOSEST PUBLIC SERVICE ANSWERING POINT.
- A MINIMUM OF ONE EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE PROVIDED AND INSTALLED IN EACH SLEEPING ROOM. THESE WINDOW SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. MINIMUM OPENING IS 24 INCHES IN HEIGHT AND 20 INCHES IN WIDTH WITH A NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING.

**LEE DUKSU
DESIGN**

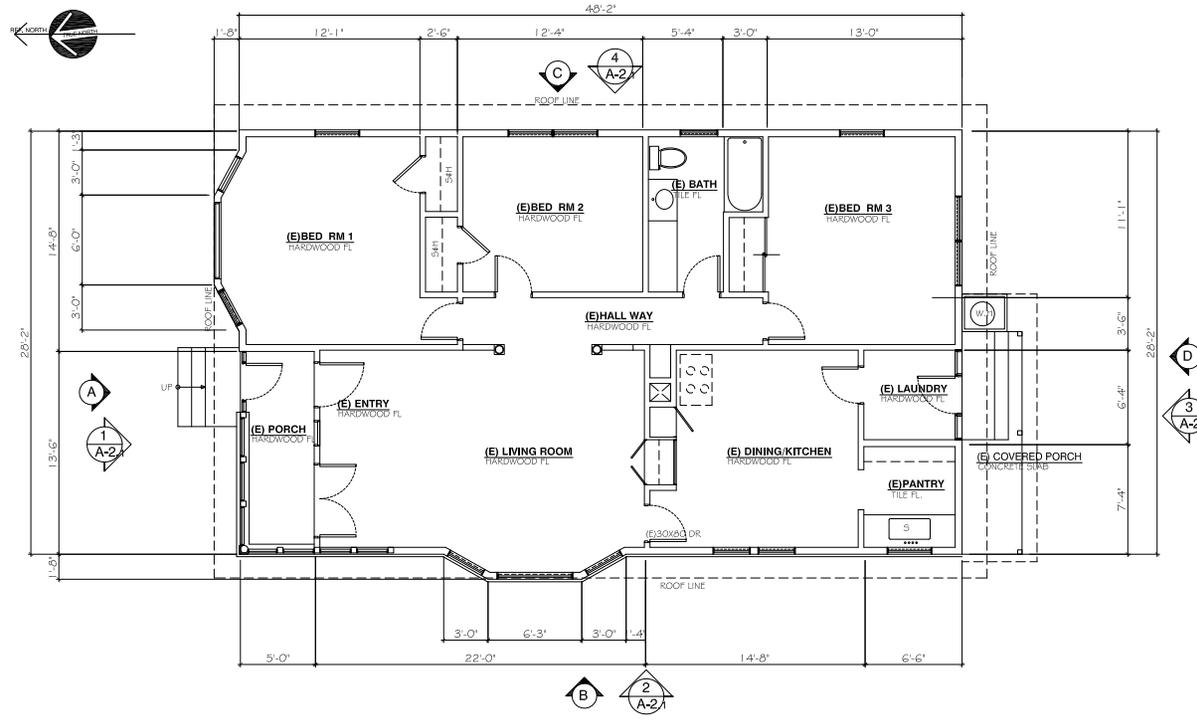
30823 WATKINS STREET
UNION CITY, CA, 94587.
TEL: 415, 794, 3994

<p>These notes apply to all projects unless otherwise noted. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.</p>
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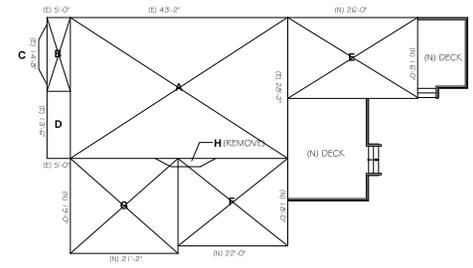
**LIM'S RESIDENCE
HOUSE ADDITION AND REMODEL**

1124 STEINWAY AVE
CAMPBELL, CA, 95008

Issue:	Date:	Sheet Title:	Scale:
		SITE PLAN	AS SHOWN
Project No:	17-R09		
Sheet No:			A - 1
of Sheets:			



1 EXISTING FLOOR PLAN
SCALE 1/4" = 1'-0"



2 FLOOR DIAGRAM PLAN
SCALE 1/8" = 1'-0"

FLOOR AREA DIAGRAM
2174 STEINWAY AVE

A	EXISTING LIVING AREA	1,280.7 sq.ft	
B	EXISTING LIVING AREA	73.3 sq.ft	
C	EXISTING LIVING AREA	15.0 sq.ft	
D	EXISTING PORCH	67.5 sq.ft	
E	NEW LIVING AREA	416.0 sq.ft	
F	NEW LIVING AREA	336.0 sq.ft	
TOTAL HOUSE AREA		2,248.5 sq.ft	
E	NEW 2-CAR GARAGE	402.2 sq.ft	
TOTAL		2,650.7 sq.ft	
H	EXISTING AREA	15.0 sq.ft	REMOVED



A EXISTING FRONT (North)
1124 STEINWAY AVE



B EXISTING SIDE (West)
1124 STEINWAY AVE



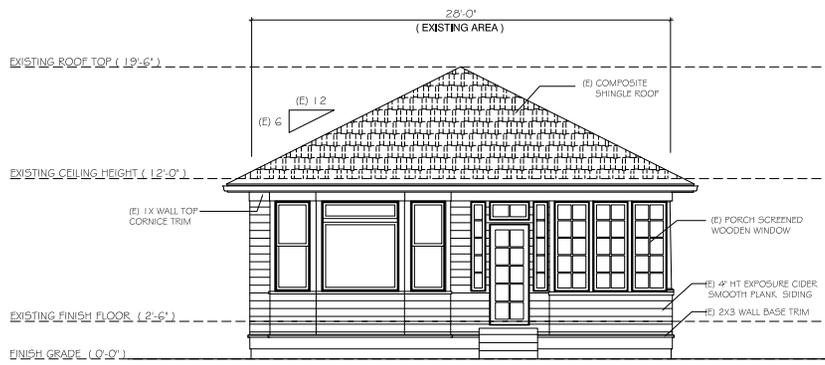
C EXISTING SIDE (East)
1124 STEINWAY AVE



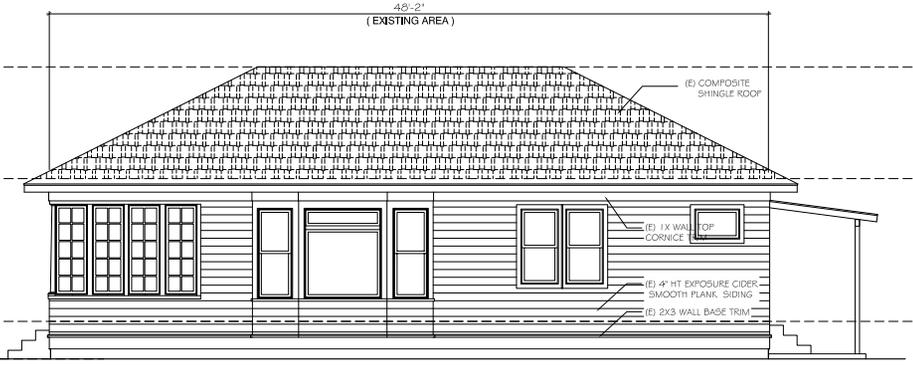
D EXISTING REAR (South)
1124 STEINWAY AVE



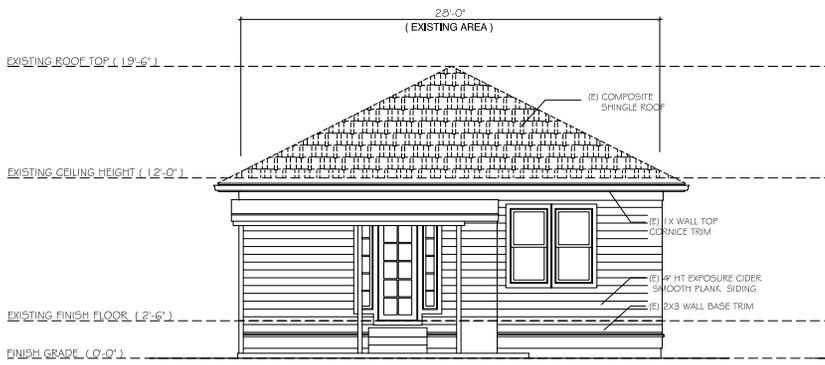
EXISTING GARAGE



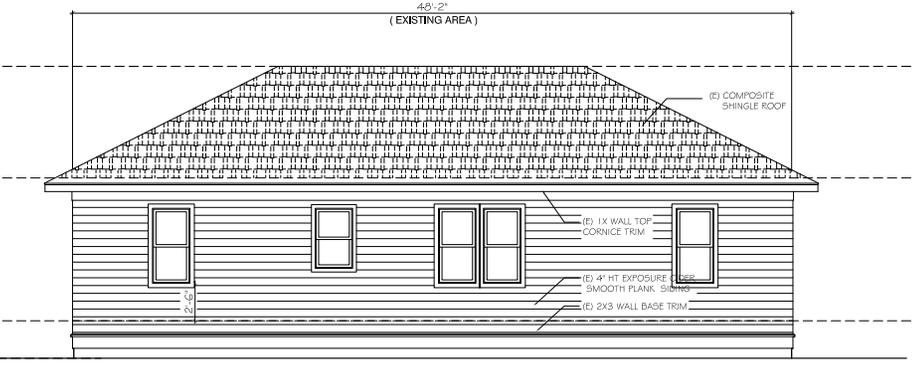
1
A-2.1 **(E) FRONT ELEVATION .**
(NORTH) SCALE 1/4" = 1'-0"



2
A-2.1 **(E) SIDE ELEVATION .**
(EAST) SCALE 1/4" = 1'-0"



3
A-2.1 **(E) REAR ELEVATION .**
(SOUTH) SCALE 1/4" = 1'-0"



4
A-2.1 **(E) SIDE ELEVATION .**
(WEST) SCALE 1/4" = 1'-0"

LIM'S RESIDENCE
HOUSE ADDITION AND REMODEL
1124 STEINWAY AVE
CAMPBELL, CA. 95008

Issued: _____ Date _____

Project No: 17-R09

Sheet Title: **EXISTING ELEVATIONS**

Scale: AS SHOWN

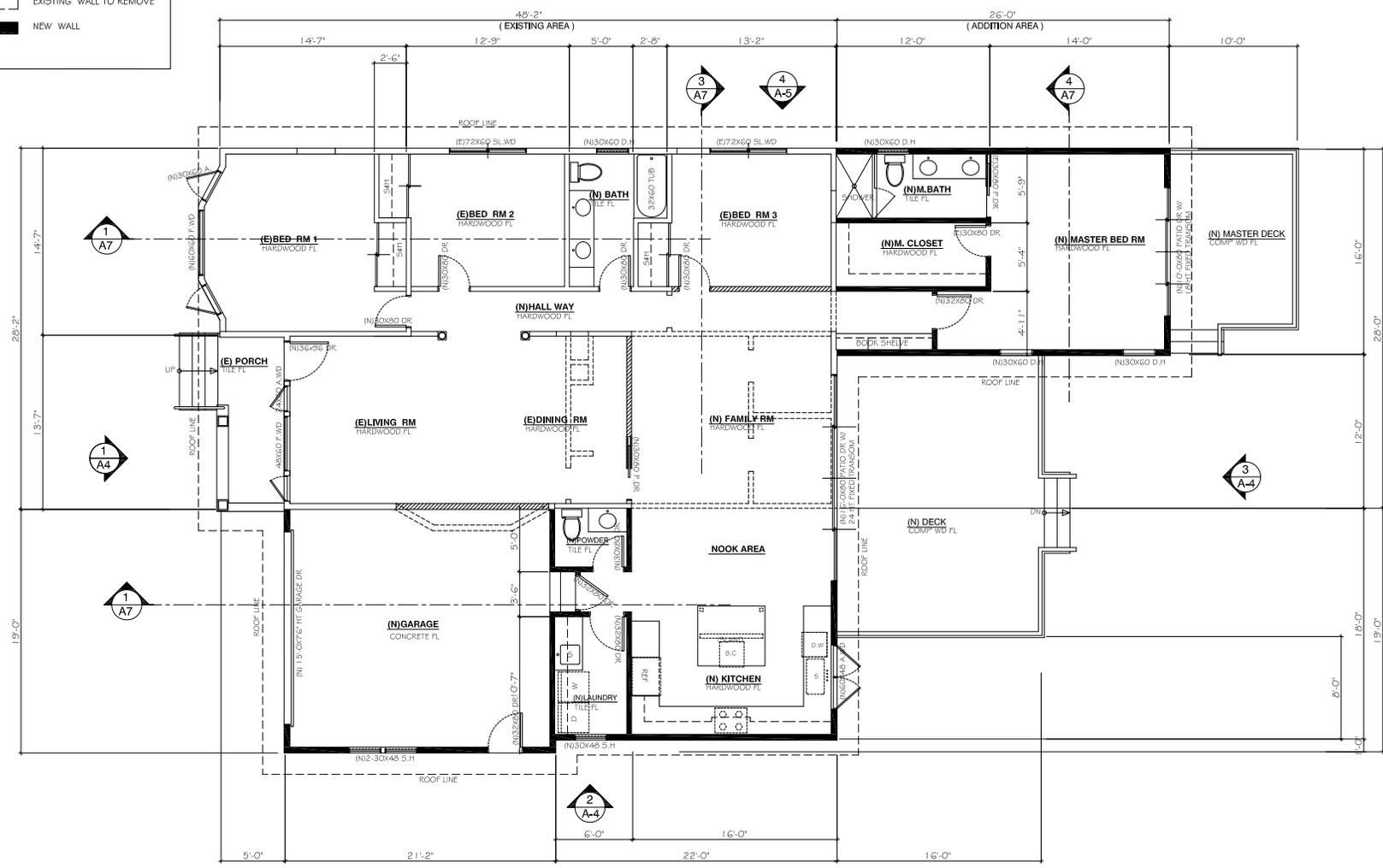
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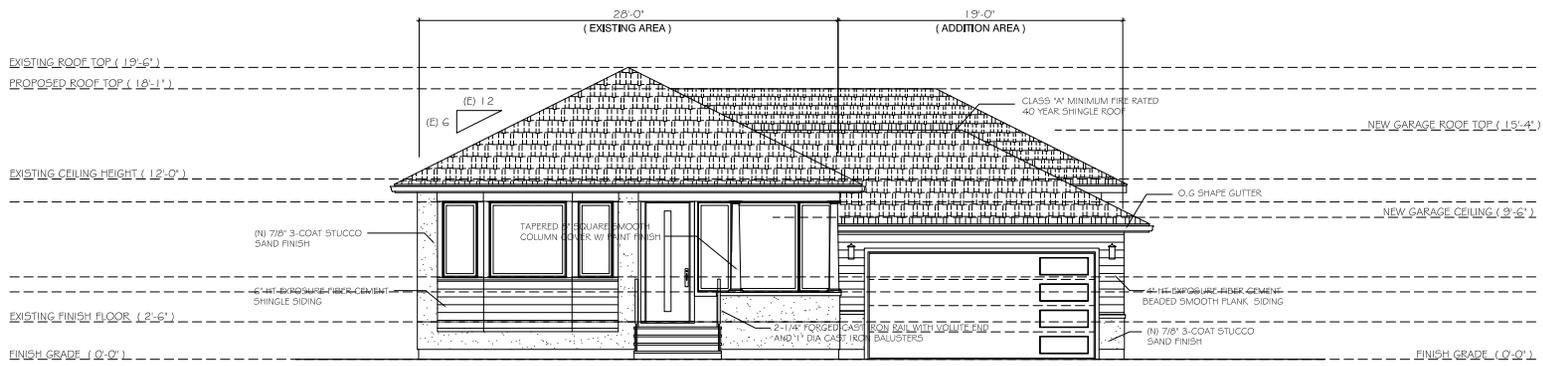
WALL LEGEND

-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO REMOVE
-  NEW WALL

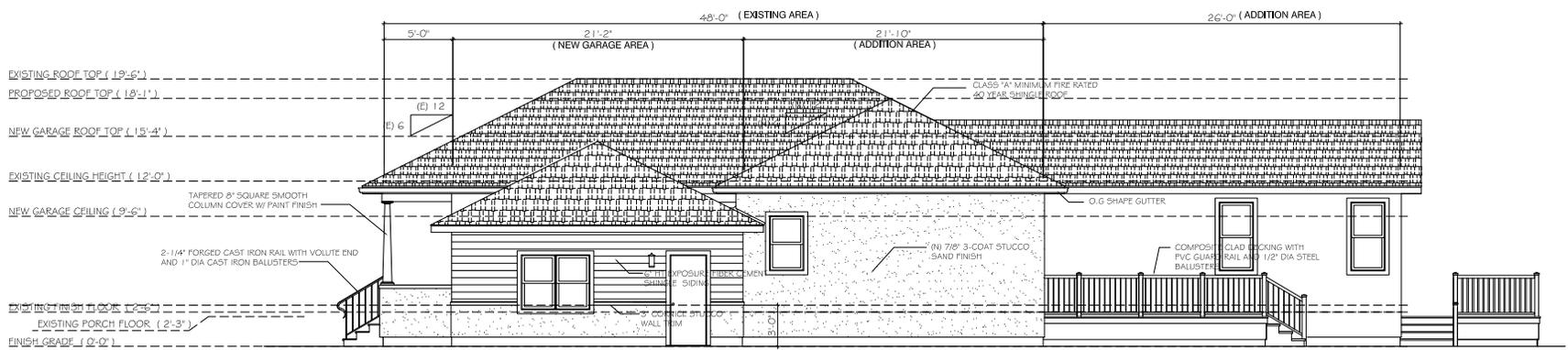


1
A-3 **PROPOSED NEW FLOOR PLAN**
SCALE 1/4" = 1'-0"

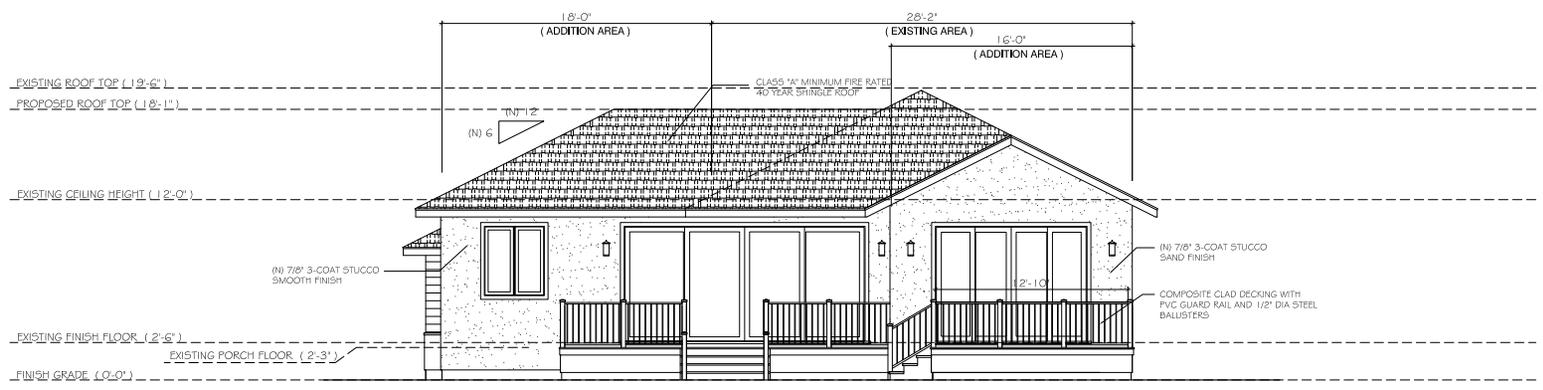
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1 FRONT ELEVATION .
(NORTH)
SCALE 1/4" = 1'-0"



2 SIDE ELEVATION .
(EAST)
SCALE 1/4" = 1'-0"



3 REAR ELEVATION .
(SOUTH)
SCALE 1/4" = 1'-0"

LIM'S RESIDENCE
HOUSE ADDITION AND REMODEL
1124 STEINWAY AVE
CAMPBELL, CA. 95008

Issued: _____ Date _____

Project No: 17-R09
Sheet Title: _____

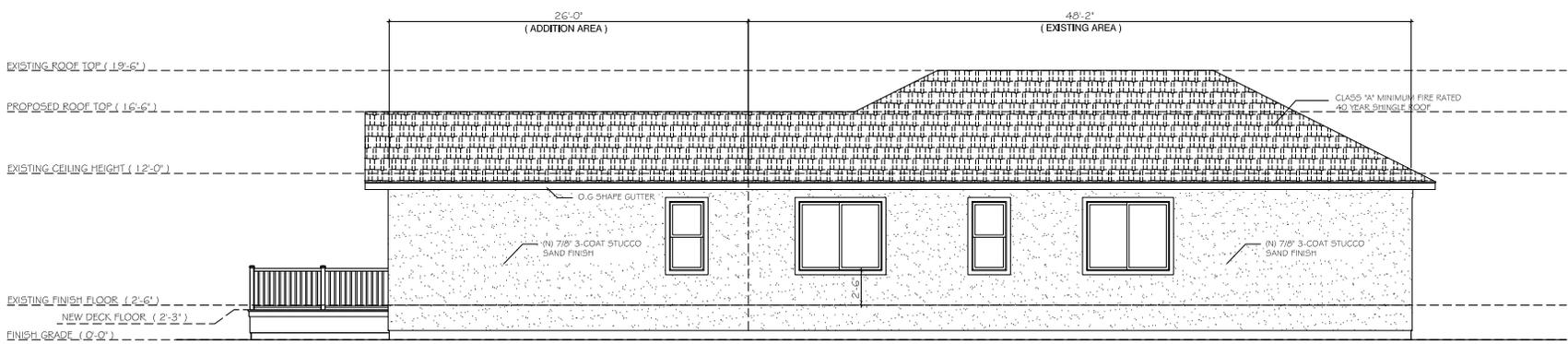
ELEVATIONS

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A - 4

of Sheets

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4
A-5 **SIDE ELEVATION .**
(WEST) SCALE 1/4" = 1'-0"

ENERGY NOTES

1. ALL EXTERIOR WALLS SHALL BE INSULATED WITH BLANKET TYPE MINERAL FIBER OR GLASS FIBER INSULATION CONFORMING TO FEDERAL SPECIFICATION HH-1-52 (E WITH A THERMAL RESISTANCE(R) OF NOT LESS THAN R-9, R/19 AT TWO BY SIX STUD WALLS AND R/13 AT TWO BY FOUR STUD WALLS.
2. ALL CEILING OF ROOF CEILING ASSEMBLIES SHALL BE INSULATED WITH EITHER OF THE FOLLOWING:
 - a. BLANKET TYPE MINERAL OR FIBER GLASS INSULATION CONFORMING TO FEDERAL SPECIFICATION HH-1-1030A, WITH A THERMAL RESISTANCE (R) OF NOT LESS THAN 30.1
 - b. BLOWN OR FLOURED MINERAL FIBER INSULATION CONFORMING TO FEDERAL SPECIFIC.
3. SWINGING DOOR S OR WINDOWS TO THE EXTERIOR OR TO UNCONDITIONED SPACES SHALL BE SULLY WEATHER STRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR FILTRATION.
4. ALL SLIDING GLASS DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED TO SHOW CONFORMANCE WITH AIR INFILTRATION STANDARDS OF 1972 AMERICAN NATIONAL STANDARDS INSTITUTE (A134.1, A134.3, AND A134.4) WHEN TESTED IN ACCORDANCE WITH ASTM 283-73 WITH A PRESSURE DIFFERENTIAL OF 1.57 POUND PER FOOT.
5. ALL STEAM AND STEAM CONDENSE RETURN PIPING AND ALL CONTINUOUSLY CIRCULATION DOMESTIC OR HEATING HOT WATER PIPING SHALL BE INSULATED AS REQUIRED BY THE CITY OR COUNTY PLANNING DIVISION.
6. A CERTIFICATE OF COMPLIANCE SIGNED BY THE INSULATION CONTRACTOR AND GENERAL CONTRACTOR SHALL BE PROMINENTLY POSTED ON THE SITE. IN ADDITION THE OWNER AND ARCHITECT SHALL RECEIVE A COPY OF THIS CERTIFICATE. THE CERTIFICATES CAN BE OBTAINED AT ALL BUILDING AND SAFETY DEPARTMENT OFFICES.
7. ALL FANS EXHAUSTING AIR FROM THE BUILDING SHALL BE EQUIPPED WITH BACK DRAFT DAMPERS.
8. CALK AROUND ALL PLUMBING AND ELECTRICAL PENETRATIONS INTO THE BUILDING ENVELOPE.
9. CALK AND SEAL AROUND ALL WINDOW AND DOOR FRAMES AND BETWEEN WALL SOLE PLATES AND FLOOR AND BETWEEN EXTERIOR WALL PANELS.
10. DUCTS CONSTRUCTED, INSTALLED AND INSULATED ACCORDING TO CHAPTER 10 OF 2007 ADDITION OF UNIFORM MECHANICAL CODE. ALL JOINTS OR THE DUCT SYSTEMS SHALL BE TIGHTLY SEALED WITH MASTIC OR APPROVED TAPE.
11. STORAGE TYPE WATER HEATER AND STORAGE TANKS FOR SOLAR WATER HEATING SYSTEMS SHALL BE EXTERNALLY WRAPPED WITH INSULATION OF R-12 OR GREATER.
12. PROVIDE MINIMUM R-3 INSULATION ON WATER HEATER INLET AND OUTLET PIPES FOR THE FIRST FIVE FEET IN UNCONDITIONED SPACE.
13. GAS FIRED HOUSEHOLD HEATING AND COOLING APPLIANCES, SHOWER HEADS AND FAUCETS, SHALL COMPLY WITH THE EFFICIENCY STANDARDS.
14. GENERAL LIGHTING IN KITCHENS AND BATHROOMS SHALL HAVE AN EFFICIENCY OF NOT LESS THAN TWENTY FIVE LUMENS PER WATT.
15. THERMOSTATICALLY CONTROLLED HEATING AND COOLING SYSTEMS EXCEPT HEAT PUMP SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM WHICH CAN BE MANUALLY PROGRAMMED TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINTS FOR THE LEAST TWO PERIODS WITHIN TWENTY FOUR HOURS.
16. PROVIDE CA. LISTED LOW FLOW TOILETS AND SHOWER HEAD

WINDOW / DOOR NOTES

1. WINDOWS REPLACEMENT REQUIREMENTS
PENETRATION SHALL BE LOW-E AND DUAL PANE. SEE TITLE 24
A MINIMUM OF ONE EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE PROVIDED AND INSTALLED IN EACH SLEEPING ROOM. THESE WINDOW SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. MINIMUM OPENING IS 24 INCHES IN HEIGHT AND 20 INCHES IN WIDTH WITH A NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING.
2. TEMPERED SAFETY GLASS IS REQUIRED AT ALL SLIDING GLASS DOORS, SIDE LIGHTS ADJACENT TO DOORS, AND GLAZING LOCATED LESS THAN 18" FROM THE FLOOR, SHOWER AND TUB ENCLOSURES, OR ANY HAZARDOUS LOCATION FOR GLAZING WHICH COULD BE SUBJECT TO HUMAN IMPACT (PER CBC. 2406).
3. ALL DOORS AND WINDOWS TO THE OUTSIDE OR UNCONDITIONED AREAS SHALL BE WEATHER STRIPPED. ALL MANUFACTURERS PRODUCTS SHALL BE APPROVED BY THE AMERICAN NATIONAL STANDARD INSTITUTE (A.N.S.I.).
4. ALL GLAZING MATERIAL IS TO MEET ALL APPLICATIONS OF TITLE 16, CHAPTER 11, PART 1201 OF THE SAFETY STANDARDS OF ARCHITECTURAL GLAZING MATERIALS, ESTABLISHED BY THE U.S. CONSUMER SAFETY COMMISSIONER (SEE CBC. SECT. 2406)
5. PROVIDE APPROVED FLUSHING AT ALL OPENINGS IN THE EXTERIOR WALLS SUCH AS DOORS, WINDOWS, SKYLIGHTS, VENTS, PIPES, DUCTS, ETC., IN SUCH A MANNER AS TO MAKE THEM WATER PROOF. ALL METAL FLASHING SHALL BE 26 GA. GI., UNLESS OTHERWISE NOTED (SEE CBC. SECT. 1707).
6. ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL OR CEILING COVERING (SEE PLANS AND CHAPTER 14, CBC FOR FURTHER INFORMATION).
7. ALL LATH AND PLASTER SHALL CONFORM TO CBC. CHAPTER 25. EXTERIOR LATH AND PLASTER (STUCCO) SHALL BE APPLIED 7/8" THICK MIN. IN NO LESS THAN 3 COATS OVER WIRE MESH LATH, OVER 2 LAYER 1# GRADE 'D' FELT WITH WEEP SCREDS (TYPICAL UNLESS NOTED OTHERWISE).
8. PROVIDE A MIN. 12" x 12" ACCESS TO ALL TUB SHUT OFF.
9. ALL WATER CLOSETS AND BIDETS SHALL BE PROVIDED WITH A MIN. OF 30" CLEAR FLOOR SPACE OR 15" MIN. FROM THE CENTER LINE OF THE WATER CLOSET TO ANY WALL OR VERTICAL SURFACE ON EITHER SIDE OF THE WATER CLOSET.
10. FIREPLACE DESIGN PER CBC. 5615. 31
11. INSTALLATION ALL ROOF TYPES SHALL COMPLY WITH CBC. CHAPTER 15.

ELEVATION NOTES

DESCRIPTION	REMARKS	DESCRIPTION	REMARKS
ROOF FASCIA	PRE-PRIMED 2X6 FASCIA BD (TYPICAL)	3-COAT STUCCO	SAND OR MATCH W/ EXIST'G FINISH OWNER SHALL SELECT PAINT AND COLOR(S).
COMPOSITION SHINGLE ROOFING.	CLASS 'A' MINIMUM FIRE RATED 40 YEAR OR BETTER. COLOR MATCH W/ EXIST'G	STUCCO WEEP SCREED	CONTINUOUS AT BOTTOM OF ALL STUCCO 4" MIN. ABOVE EARTH AND 2" MIN. ABOVE SLABS
CONTINUOUS SHEET METAL FLASHING	PROVIDE AT ALL ROOF-TO-WALL CONDITIONS PAINT TO MATCH BODY COLOR.	WALL STUCCO TRIMS	1X4 FLAT STUCCO TRIM WITH SMOOTH FINISH
METAL GUTTERS AND DOWNSPOUTS	SEAMLESS ALUM. O.G SHAPE GUTTER CONTRACTOR SHALL DETERMINE LOCATION OF ALL DOWNSPOUTS. NO PAINT OR MATCH WITH EXISTING.	STUCCO WINDOW TRIMS	1X3 FLAT STUCCO TRIM WITH SMOOTH FINISH
WALL SIDING	6" HT EXPOSURE FIBER CEMENT SHINGLE SIDING	FLOOR VENT	5-1/2"X 14-1/2" GALV'D WIRE MESHED VENT COVER OWNER SHALL SELECTE PAINT AND COLOR
WALL SIDING TRIMS	PRE-PRIMED 2-1/2"X3" HT CORNICE TRIM	ATTIC VENT	3"X 14-1/2" GALV'D WIRE MESHED VENT COVER OWNER SHALL SELECTE PAINT AND COLOR 1 1/2"X 14-1/2" GALV'D WIRE MESHED VENT COVER OWNER SHALL SELECTE PAINT AND COLOR
FRONT WINDOWS	MILGUARD "MONTECITO" SERIES VINYL WINDOW TRUE DIVIDE SHORT FRACTIONAL SASH	DECK	COMPOSITE CLAD DECKING WITH PVC GUARD RAIL AND STEEL BALUSTERS
WINDOW AND PATIO DOOR	MILGUARD "MONTECITO" SERIES VINYL WHITE COLOR		
ENTRY DOOR	36" WIDTH SOLID HARDWOOD DOOR AND FRAMES WITH 12" WIDTH GLAZED SIDE PANEL		
GARAGE DOOR	16'-0" WIDTH 7'-0" HEIGHT WOOD CLAD INSULATED DOOR WITH OBSCURE GLASS AND MOTOR OPENER		
COLUMN	TAPERED 8" SQUARE SMOOTH COLUMN COVER W/ PAINT FINISH		
HAND RAIL	2-1/4" FORGED CAST IRON RAIL WITH VOLUTE END AND 1" DIA CAST IRON BALUSTERS		

LIM'S RESIDENCE
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Sheet Title: **ELEVATION FINISH NOTES**

Scale: AS SHOWN

Sheet No

A - 5

of Sheets

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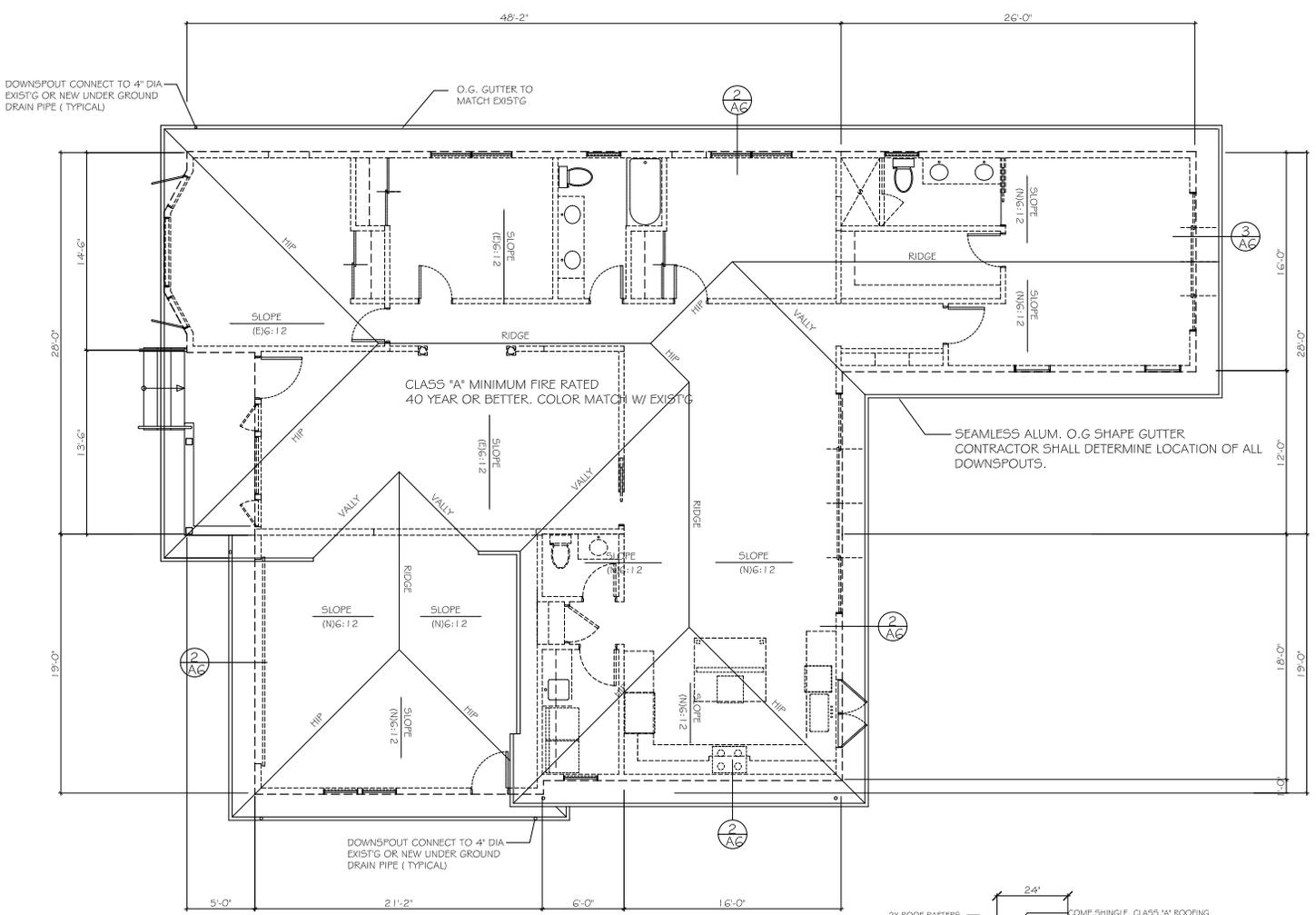
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Sheet Title: **ROOF PLAN**

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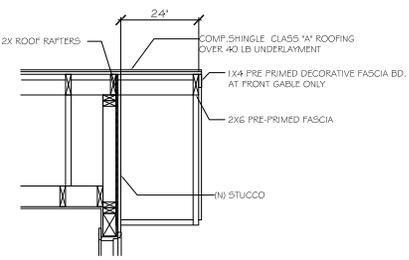
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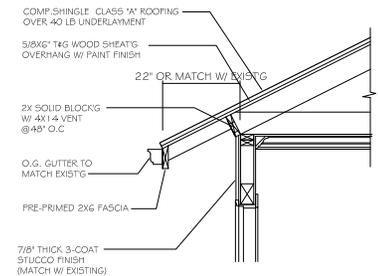
1
A-6 **PROPOSED NEW ROOF PLAN**

SCALE 1/4" = 1'-0"

STORM DRAIN NOTES: NEW 4" DIA PVC PIPE UNDERGROUND STORM DRAIN (CARRIES RUNOFF AWAY FROM FOUNDATION AND NEIGHBORS PROPERTIES)



2
A6 **DETAIL ROOF**



3
A6 **DETAIL ROOF**

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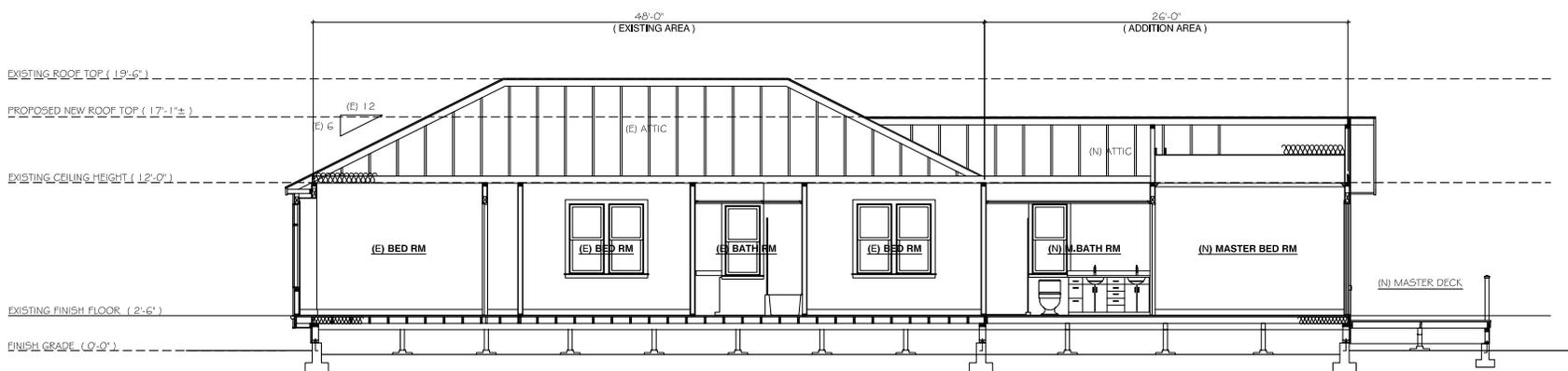
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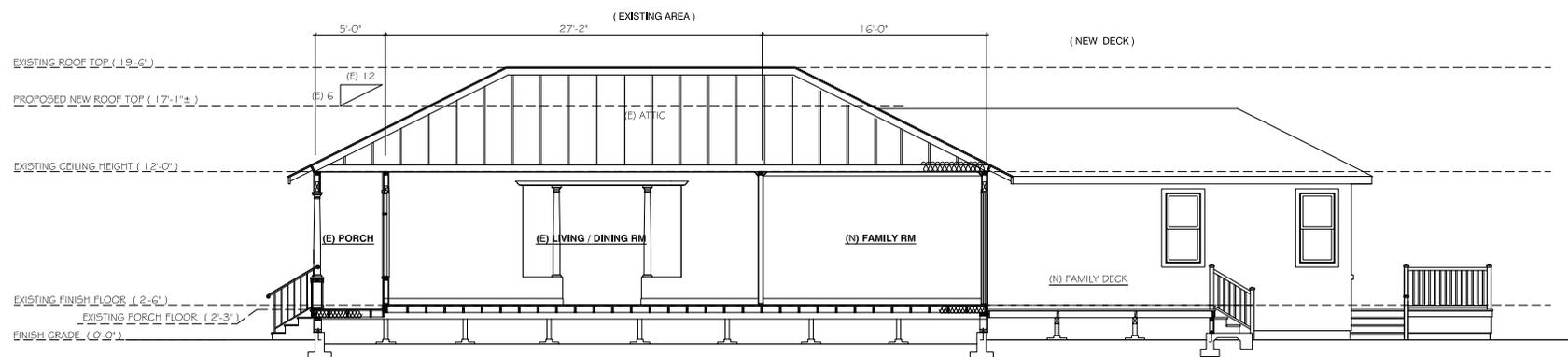
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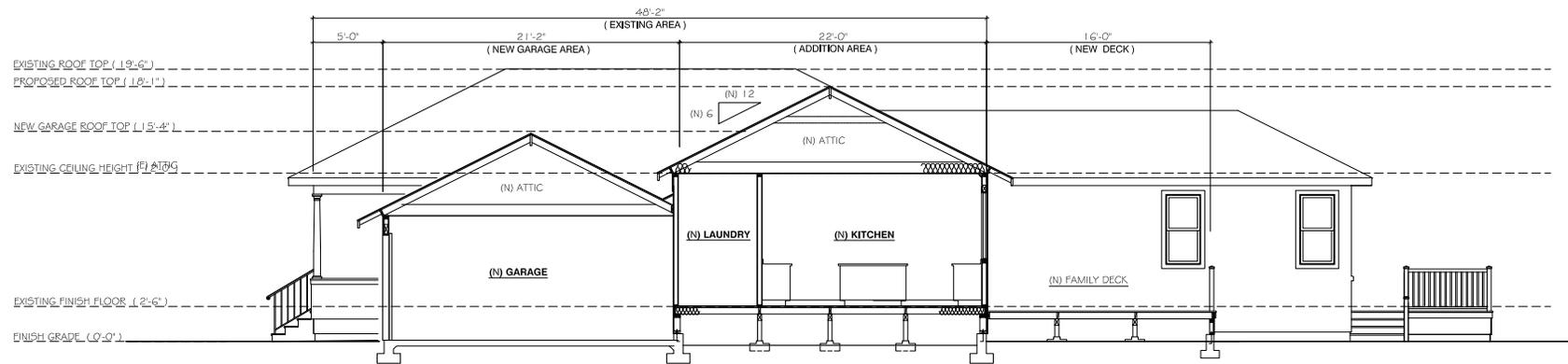
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1 SECTION
SCALE 1/4" = 1'-0"



2 SECTION
SCALE 1/4" = 1'-0"



3 SECTION
SCALE 1/4" = 1'-0"