



CITY OF CAMPBELL
Community Development Department

January 25, 2018

NOTICE OF ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

Project Address: 1110 Shadle Ave

File No: PLN2017-342

APN: 406-14-038

Applicant: Keith Williams

Property Owner: Robert Wise

Project Description: 215 sq. ft. addition to existing single-story home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on January 25, 2018 and ends on February 3, 2018. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **February 3, 2018**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Cindy McCormick, Senior Planner, in the Community Development Department, at (408) 871-5103 or by email cindm@cityofcampbell.com.

Project Location Map

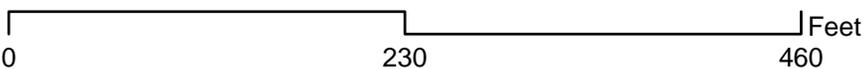


Project Location: 1110 Shadle Ave

Application Type: Administrative Site and Architectural Review Permit

Planning File No.: PLN2017-342

Description: 215 sq. ft. addition to existing single-story single-family residence.



Community Development Department
Planning Division



SITE MAP
 1/8" = 1' - 0"

REVISIONS	BY

SAN JOSE, CALIF.
 DRAFTING AND DESIGNS BY:
WILLIAMS DESIGN
 SUPPORT@WILLIAMSDSGN.COM
 FAX (408) 694-3332 CELL (408) 667-2446
 715 N. FIRST ST. Ste. 34

PROJECT INFO
 STREETScape
 VICINITY MAP
 ADJACENT PROPERTIES

ADDITION FOR:
WISE RESIDENCE
 1110 SHADLE ST.
 CAMPBELL, CA

DRAWN AJZ
 DATE 10/23/17
 CHECKED
 SCALE AS SHOWN
 SHEET #
SP2

NOTE:
 ARROWS INDICATE (E)
 DIRECTION OF SLOPE
 GRADE FOR DRAINAGE

- 1) WATER CLOSET SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLONS PER FLUSH. (CALGREEN 4.303.1.1)
- 2) SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 3.0 GALLONS PER MINUTE. (CALGREEN 4.303.1.2)
- 3) THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 80 PSI. (CALGREEN 4.303.1.41)
- 4) THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 80 PSI. (CALGREEN 4.303.1.41)
- 5) SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES (6 FT). (CRC R307.2)
- 6) SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. (CPC 408.3)
- 7) SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES (6 FT). (CRC R307.2)
- 8) THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB AND WHIRLPOOL/BATHTUB FILLER SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION. (CPC 409.4)

ELECTRICAL LEGEND

- Ⓜ MOTION TRIGGERED LIGHT W/ SWITCH
- Ⓜ 110 OUTLET
- Ⓜ INCANDESCENT LIGHT
- Ⓜ LIGHT SWITCH
- Ⓜ FAN 5 AIR CHANGES
- Ⓜ LED RECESSED CAN LIGHTS
- Ⓜ EXTERIOR WALL MOUNTED LIGHT PER HOUR
- Ⓜ ALL SD. TO BE HARD WIRE W/ BATTERY BACKUP AND SOUND AN ALARM AUDIBLE IN ALL BEDROOMS OF THE HOUSE
- Ⓜ CARBON MONOXIDE DETECTOR

ALL SHOWER COMPARTMENTS REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY-FOUR (1024) SQUARE INCHES (0.66m²) AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A THIRTY (30) INCH (762mm) CIRCLE. THE MINIMUM REQUIRED AREA AND DIMENSION SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND AT A POINT TANGENT TO IT CENTER LINE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT SEVENTY (70) INCHES (1778mm) ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVES, SHOWER HEAD AND SAFETY GRAB OR RAILS.

ALSO PROVIDE BUILDING PAPER 6" HIGH ON FACE OF STUDS OF SHOWER ENCLOSURE AND FINISH SHOWER WALL, (TUB-SHOWER) WITH TILE OR EQUAL MATERIAL, TO A HEIGHT OF 70" MINIMUM ABOVE THE DRAIN. FIBERGLASS UNITS WITH WALLS 70" HIGH ARE EXEMPT FROM THE BUILDING PAPER ON THE STUD FACE

ELECTRICAL NOTES #2

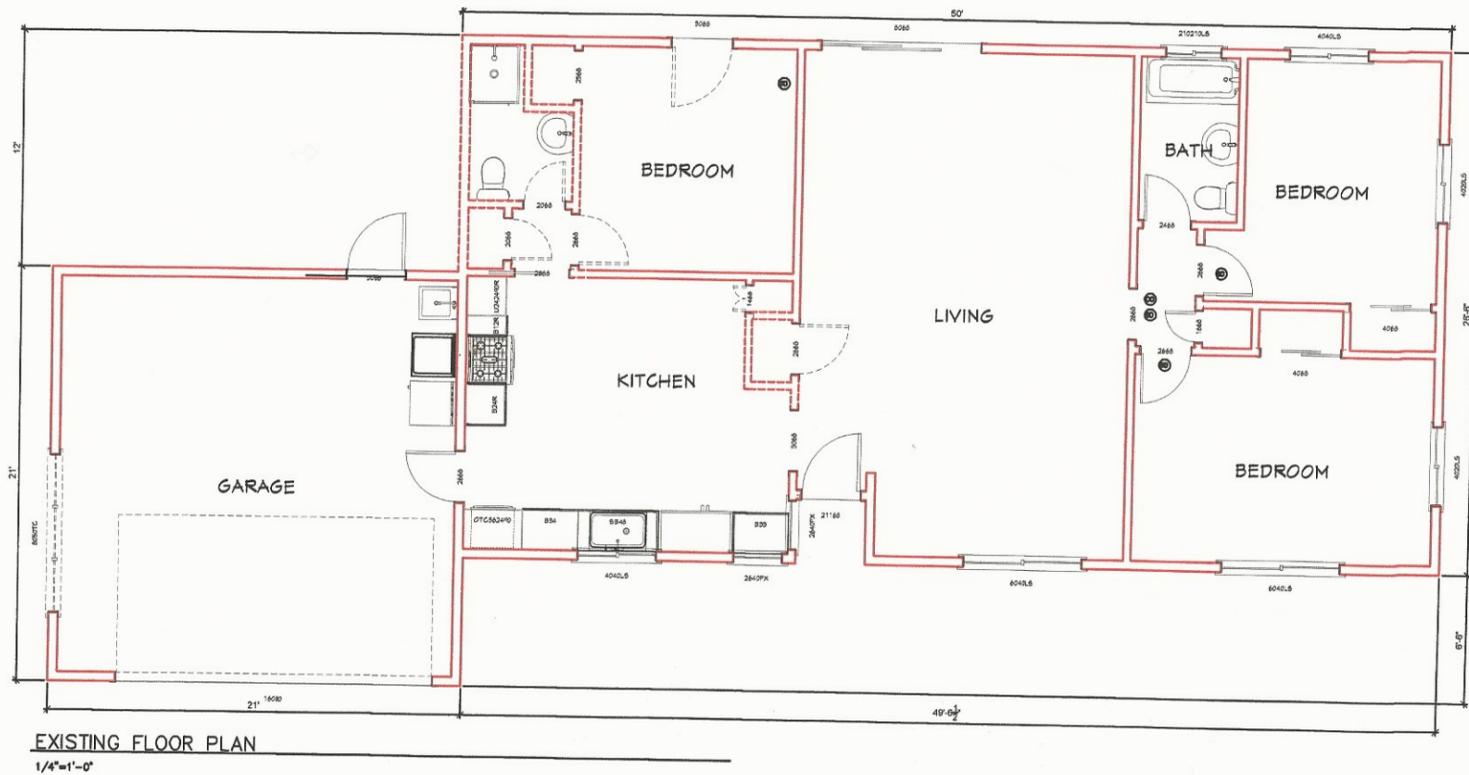
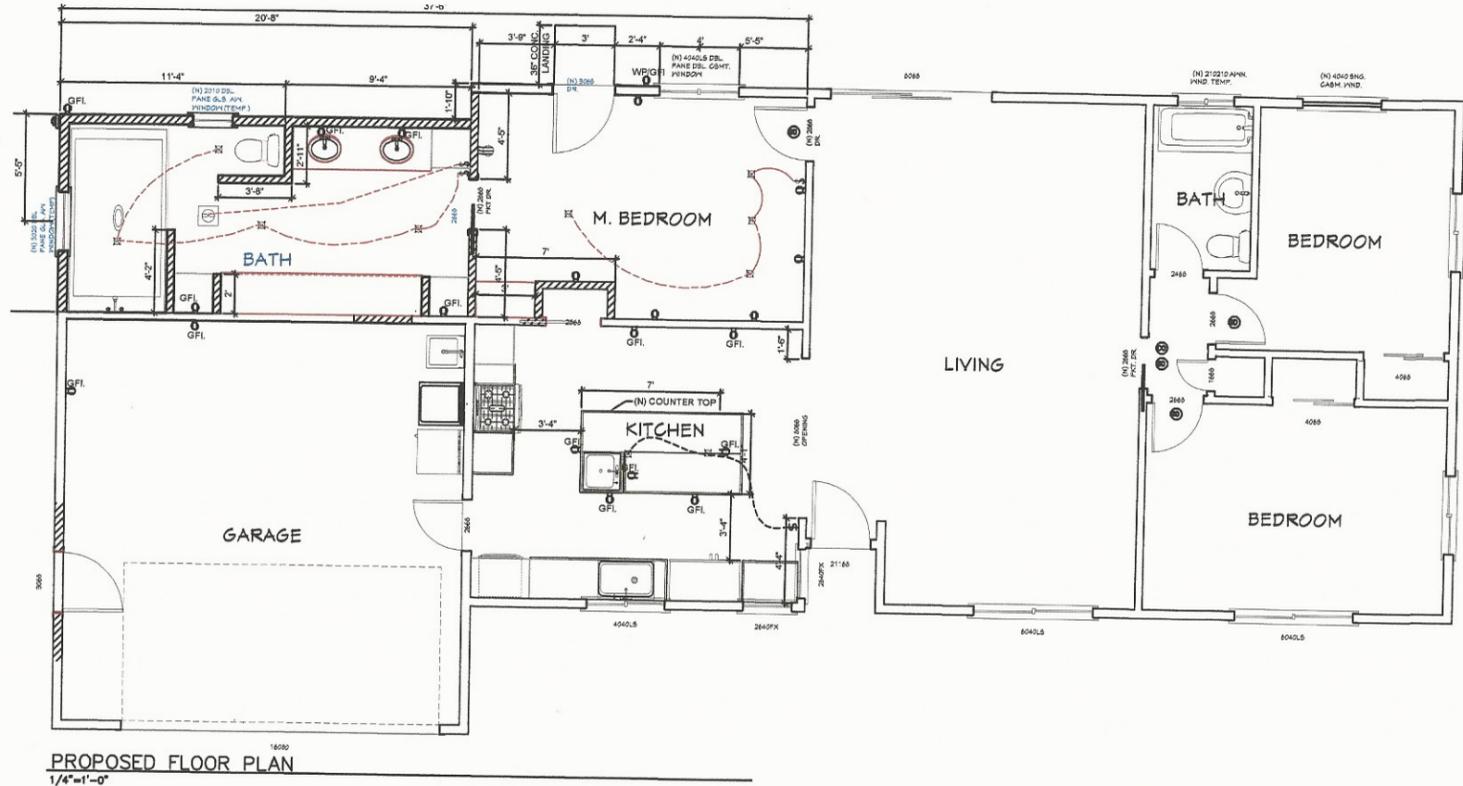
ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE, 15-AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, BEDROOMS, DINING ROOMS, LIVING ROOMS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED PER CEC 210.12B.

WALL LEGEND

- ██████ INDICATES WALLS TO BE ADDED
- INDICATES WALLS TO BE REMOVED
- _____ INDICATES WALLS TO REMAIN

ELECTRICAL NOTES #1

ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLE SHALL BE LISTED OUTLETS TAMPER RESISTANT RECEPTACLES PER CEC 408.11.



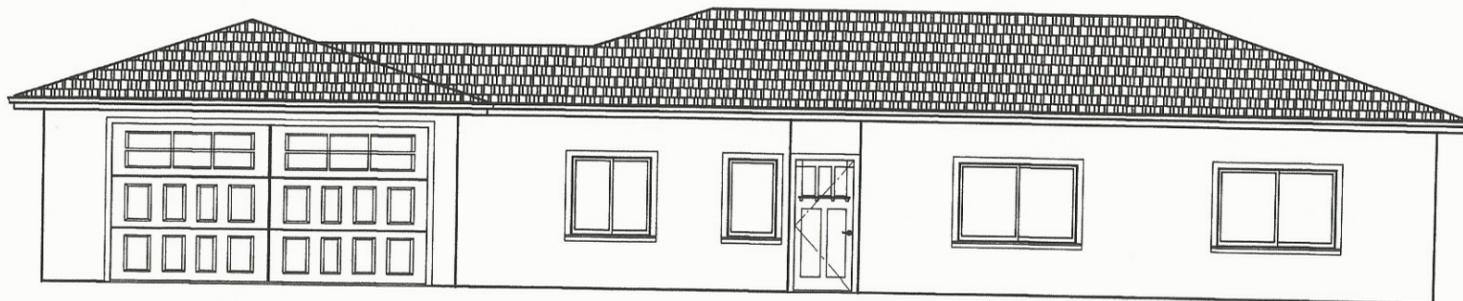
REVISIONS	BY

SAN JOSE, CALIF.
LILLIAMS DESIGN
 DRAFTING AND DESIGNS BY:
 E-MAIL ADDRESS: KEEFBW@AOL.COM
 CELL (408) 867-2446

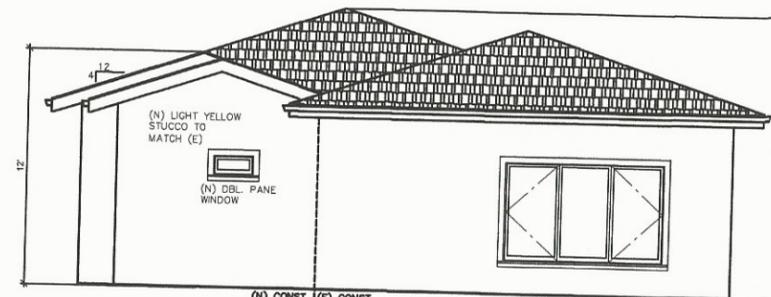
715 N. FIRST ST. ste. 34
EXISTING & PROPOSED FLOOR PLAN

REMODEL:
WISE RESIDENCE
 1110 SHADLE ST.
 CAMPBELL, CA

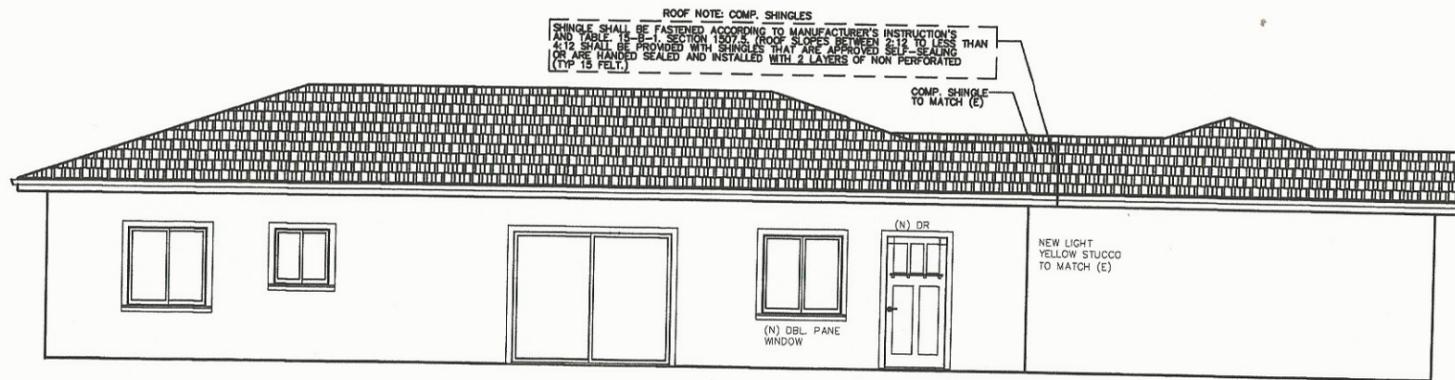
DRAWN **RLE**
 DATE **9/18/17**
 CHECKED
 SCALES SHOWN
 SHEET #
1



FRONT ELEVATION
1/4"=1'-0"



PROPOSED LEFT ELEVATION
1/4"=1'-0"



PROPOSED REAR ELEVATION
1/4"=1'-0"

ROOF NOTE: COMP. SHINGLES
SHINGLE SHALL BE FASTENED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND TABLE 11-1, SECTION 1107.5 (ROOF SLOPES BETWEEN 2:12 TO LESS THAN 4:12 SHALL BE PROVIDED WITH SHINGLES THAT ARE APPROVED SELF-SEALING OR ARE GANGED SEALED AND INSTALLED WITH 2 LAYERS OF NON PERFORATED (TYP. 15 FELT.)

COMP. SHINGLE TO MATCH (E)

NEW LIGHT YELLOW STUCCO TO MATCH (E)

(N) DBL. PANE WINDOW

(N) DR

REVISIONS	BY

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ELEVATIONS

REMODEL:
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CAMPBELL, CA

DRAWN RLE
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SHEET #
2