



CITY OF CAMPBELL
Community Development Department

May 3, 2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **May 14, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Continued Public Hearing to consider the application of Chris Morton for a Conditional Use Permit with a Parking Modification Permit (PLN2018-241) to legalize the establishment of a fitness studio (Extreme Fitness & Sports) on property located at **1600 Dell Avenue, Ste. C**. Staff is recommending that this project be deemed Categorical Exempt Under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1600 Dell Avenue, Ste. C**

Project Location Map



Project Location: 1600 Dell Ave

Application Type: Conditional Use Permit

Planning File No.: PLN2018-241



Community Development Department
Planning Division

0 750 1,500 Feet



EXTREME FITNESS & SPORTS

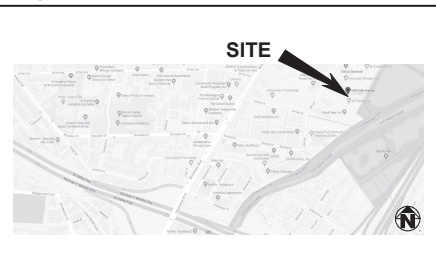
CONDITIONAL USE PERMIT

1600 DELL AVENUE SUITE C, SAN JOSE CA 95008

ABBREVIATIONS

A.B. ANCHOR BOLT	GA. GALVANIZED	REM. REMOVE
A.C. ASPHALT CONCRETE	GR. GRAB BAR	RAD. RADIUS
A.C. ACUSTICAL	GLS. GLASS	R.D. ROOF DRAIN
A.D. AREA DRAIN	GRD. GRADE	R.E. REVISION
ADJ. ADJUSTABLE	G.S.M. GALVANIZED STEEL	RER. REVISION
ALUM. ALUMINUM	GYP. GYPSUM	REIN. REINFORCING
ALUM. ALUMINUM	GLS. GALVANIZED	RM. ROOM
ANGLE AT	G.S.M. GALVANIZED	REQ. REQUIRED
A.P. ACCESS PANEL	SHEET METAL	R.H. RIGHT HAND
ARCH. ARCHITECT	H.B. HOSE BIBB	R.O. REDWOOD
BRD. BOARD	HOR. HOLLOW CORE	R.W. RAIN
BET. BETWEEN	HDR. HEADER	RWL. RIGID OPENING
BLDG. BUILDING	HRD. HARDWARE	R.W. WATER
BLKG. BLOCKING	HORZ. HORIZONTAL	LEAKER
B.M. BENCH MARK	HR. HOUR	SNK. SINK
BOT. BOTTOM	HGT. HEIGHT	S.C. SOLID CORE
B.S. BOTH SIDES	HWD. HARDWOOD	S.D. SASH DIMENSION
BSMT. BASEMENT	H.M. HOLLOW METAL	SDU SECOND DWELLING
B.W. BOTH WAYS		UNIT
CAB. CABINET	I.D. INSIDE DIAMETER	SHT. SHEET
C.B. CHALK BOARD	INCL. INCLUDE	SHTG. SHEETING
CER. CERAMIC	INSUL. INSULATION	SM. SIMILAR
CFL. COUNTER FLASHING	INT. INTERIOR	S.M. SHEET METAL
C.B. CATCH BASIN	INV. INVERT	SPEC. SPECIFICATION
C.B.T. COUNTER BOLT	JAN. JANITOR	SQ. SQUARE
C. CENTER LINE	J.H. JOIST HANGER	S.S. STAINLESS STEEL
C.G. CORNER GUARD	K.D. KILN DRIED	SS SERVICE SINK
CH. CHANNEL	L.V.R. LOUVER	STR. STRUCTURAL
CHT. CEILING HEIGHT	LAM. LAMINATED	STOR. STORAGE
CONSTR. CONSTRUCTION	LAV. LAVATORY	STL. STEEL
CLG. CEILING	L.D. LOUVER DIMENSION	SUS. SUSPENDED
C.I. CAST IRON	L.M. LAMINATED	TRD. TREAD
C.J. CONSTRUCTION	L.P. LAMINATED PLASTIC	T.B. TACKBOARD
CLR. CLEAR	M. MEN	T.C. TACKBOARD
COL. COLUMN	M.AX. MAXIMUM	T.C. TELEPHONE
COM. COMMON	M.M. MASONRY	TGL. TONGUE & GROOVE
CONC. CONCRETE	MAT. MATERIAL	T.J. TOP OF JOIST
CONT. CONTINUOUS	M.B. MACHINE BOLT	TRBL. TRIBLE
CORR. CORRUGATED	M.C. MECHANICAL	TRP. TRIPLE
CTRSK. COUNTERSINK	M.E. METAL EDGE	TRP. TRIPLE
C.A.H.R. CLEAR ALL HEART	M.L. METAL	TEMP. TEMPERED
C.T. CERAMIC TILE	MFR. MANUFACTURER	U.L. UNDERWRITERS
D. DRAIN	M.N. MINIMUM	U.O.S. LABEL UNLESS OTHERWISE
DBL. DOUBLE	MISC. MISCELLANEOUS	UNLESS NOTED OTHERWISE
DET. DETAIL	M.L. MACHINE LATH	U.N.O. UNLESS NOTED OTHERWISE
DF. DOUGLAS FIR	M.S. MACHINE SCREW	V.C.T. VINYL COMPOSITION
D.F. DRINKING FOUNTAIN	M.T. METAL THRESHOLD	TILE
DIA. DIAMETER	N. NORTH	V.B. VINYL BASE
DIAG. DIAGONAL	N.I.C. NOT IN CONTRACT	V.E. VERIFY IN FIELD
DR. DOOR	NO. NUMBER	V.G. VERTICAL GRAIN
D.S. DOWNSPOUT	NOM. NOMINAL	VERT. VERTICAL
DWG. DRAWING	NTS. NOT TO SCALE	V.C.P. VITRIFIED CLAY
EA. EACH	OCSC. ON CENTER	PIPE PIPE
EB. EXPANSION BOLT	O.C. ON CENTER	V.T.R. VENT TO ROOF
EL. EXPANSION JOINT	O.D. OUTSIDE DIAMETER	WALL WALL
EL. ELEVATION	W. WITH	W. WITH
ELEC. ELECTRICAL	W.C. WATER CLOSET	W.C. WATER CLOSET
ELEV. ELEVATOR	W.D. WINDOW DIMENSION	WD. WOOD
EMER. EMERGENCY	O.F. OVERFLOW DRAIN	W.D. WOOD
EQUIP. EQUIPMENT	O.F.S. OUTSIDE FACE OF	W.P. WATERPROOF
(E). EXHAUST	O.P.P. OPPOSITE	W.S. WOOD SCREW
EXP. EXPOSED	PARTN. PARTITION	WSC.T. WANSOCT
EXT. EXTERIOR	P.B. PANE BOLT	W.W.F. WELDED WIRE FABRIC
EQ. EQUAL	P.L. PLASTER	
F.A. FIRE ALARM	P.L. PROPERTY LINE	
F.B. FACE BRICK	P.L.W.D. PLYWOOD	
F.D. FLOOR DRAIN	P.T. PRESSURE TREATED	
F.E. FIRE EXTINGUISHER	P.T.D.F. PRESSURE TREATED	
FIN. FINISH	PL. PLASTER	
FLR. FLOOR	Q.T. QUARRY TILE	
FLRG. FLOORING		
FND. FOUNDATION		
F.O.C. FACE OF CONCRETE		
F.O.F. FACE OF FINISH		
F.O.S. FACE OF STUD		
FP. FIRE PLAGE		
FTG. FOOTING		
FG. FIXED GLASS		

VICINITY MAP



SITE



PROJECT INFORMATION

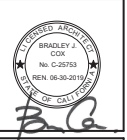
PROJECT DIRECTORY

TEAM
CHRIS MORTON
1600 DELL AVE.
CAMPBELL, CA 95008
(408) 605-1823

ARCHITECT
BRAD COX ARCHITECT, INC.
1155 MERRIMAN AVE., SUITE 208
SAN JOSE, CA 95128
HOLMAN VILCHEZ
(408) 838-3667 X222



Brad Cox, Architect, Inc.
LEED AP, AIA
(408) 838-3667
1155 MERRIMAN AVENUE, SUITE 208
SAN JOSE, CA 95128



EXTREME FITNESS & SPORTS
CONDITIONAL USE PERMIT
1600 DELL AVENUE SUITE C, SAN JOSE CA 95008

PROJECT DATA

ASSESSOR'S PARCEL NUMBER	424-33-101
OCCUPANCY	B
TYPE OF CONSTRUCTION	III-B
USE	COMMERCIAL
ZONING	C-1M
MINIMUM LOT AREA (SQ. FT.)	37,000
PERMITTED USES	CONTROLLED MANUFACTURING
GROSS LOT SIZE (SQ. FT.)	87,199
GROSS LOT SIZE (ACRES)	2
NET LOT SIZE (SQ. FT.)	83,969
NET LOT SIZE (ACRES)	1.92
LOCATED IN WUI AREA	NO
LOCATED IN FLOOD ZONE	NO
EXISTING SPRINKLERS	YES

	EXISTING	TOTAL PROPOSED	ALLOWED/REQUIRED
SETBACKS: WEST (FRONT)	29'-0"	29'-0"	20'-0"
EAST (REAR)	32'-4"	32'-4"	10'-0"
SOUTH (RIGHT)	50'-6"	50'-6"	10'-0"
NORTH (LEFT)	45'-5"	45'-5"	10'-0"
HEIGHT (FEET)	27'-0"	27'-0"	45'-0"
STORIES	1	1	

NOTES:
1. NET LOT AREA MEANS THE TOTAL AREA WITHIN THE LOT LINES OF LOT.
2. GROSS LOT AREA MEANS THE TOTAL AREA WITHIN THE LOT LINES OF A LOT, PLUS THE AREA BETWEEN THE CENTRIFUGAL OF ADJACENT PUBLIC STREETS AND THE PROPERTY LINES.

PROJECT DESCRIPTION

THIS PROJECT INVOLVES THE APPLICATION FOR A CONDITIONAL USE PERMIT OF AN EXERCISE TRAINING FACILITY. THERE IS NO PROPOSED, AND HAS NEVER BEEN, ANY TENANT IMPROVEMENT TO THIS SPACE WITH THIS TENANT.

SUITE 'C' FLOOR AREA

	EXISTING		TOTAL PROPOSED	
	AREA	PERCENT	AREA	PERCENT
GROUND FLOOR	4,924	762	0	4,924
SECOND FLOOR LOFT			0	762
TOTAL AREA	5,686 SF	0 SF	0 SF	5,686 SF

BUILDING FLOOR AREA

	EXISTING		TOTAL PROPOSED	
	AREA	PERCENT	AREA	PERCENT
INCLUDED SPACES 1				
GROUND FLOOR	30,660	0	30,660	
TOTAL AREA	30,660 SF	0 SF	30,660 SF	(36.5 %)

BUILDING LOT COVERAGE

	EXISTING		TOTAL PROPOSED	
	AREA	PERCENT	AREA	PERCENT
GROUND FLOOR	30,660	0	30,660	
TOTAL COVERAGE	30,660 SF	0 SF	30,660 SF	(36.5 %)
ALLOWED LOT COVERAGE:	33,587 SF	40 %		

NOTES:
1. INCLUDED SPACES REFERS TO THE AREA OF SPACES THAT ARE COUNTED AS FLOOR AREA ACCORDING TO THE LOCAL BUILDING DEPARTMENT.
2. SPACES NOT INCLUDED REFERS TO THE AREA OF SPACES THAT ARE NOT COUNTED AS FLOOR AREA ACCORDING TO THE LOCAL BUILDING DEPARTMENT.
3. FLOOR AREA ARE TAKEN TO THE EXTERIOR FACE OF EXTERIOR WALLS.
4. LOT COVERAGE AREAS ARE TAKEN TO THE EXTERIOR FACE OF EXTERIOR WALLS.

BUILDING OCCUPANCY AND AREAS

SPACE	SUITE	USE	OCC.	EXISTING AREA	PROPOSED AREA
MR. C'S KITCHEN	A	KITCHEN	B	2,009 SF	2,009 SF
ALL FORD AUTOMOTIVE	B	STOCK SHIPPING	B	8,038	8,038
EXTREME FITNESS & SPORTS	C	EXERCISE ROOM	B	4,924	4,924
A.Y.O.G.E.E. STORAGE	D	STORAGE	B	7,567	7,567
STORAGE	E	STORAGE	B	1,908	1,908
GLOBAL IMAGINATION	F	STOCK SHIPPING	B	788	788
FLASHING PANDA	G	STOCK SHIPPING	B	1,380	1,380
STORAGE	H	STORAGE	B	3,381	3,381
TOTAL				29,995	29,995

PARKING ANALYSIS BASED ON FLOOR AREA

SPACE	SUITE	USE	OCC.	AREA	FACTOR	STALLS REQ'D
MR. C'S KITCHEN	A	KITCHEN	B	2,009 SF	250	8
ALL FORD AUTOMOTIVE	B	STOCK SHIPPING	B	8,038	400	20
EXTREME FITNESS & SPORTS	C	EXERCISE ROOM	B	4,924	150	33
A.Y.O.G.E.E. STORAGE	D	STORAGE	B	7,567	400	19
STORAGE	E	STORAGE	B	1,908	400	5
GLOBAL IMAGINATION	F	STOCK SHIPPING	B	788	400	2
FLASHING PANDA	G	STOCK SHIPPING	B	1,380	400	4
STORAGE	H	STORAGE	B	3,381	400	9
TOTAL				29,995		100

REFERENCE: CAMPBELL PARKING ORDINANCE 21.28.040.

ACCESSIBLE STALLS REQUIRED	4	EXISTING STALLS	68
ACCESSIBLE STALLS PROVIDED	1	ADDED STALLS	0
VAN STALLS REQUIRED	1	TOTAL PROVIDED	68
VAN STALLS REQUIRED	0		

NOTE: FOR ACTUAL PARKING USE BY SUITE C, SEE NARRATIVE LETTER PROVIDED BY OWNER. FROM AN OPERATIONS POINT OF VIEW, THE EXISTING PARKING IS CONSIDERED ADEQUATE. THE SPACE IS LIMITED TO 1 CUSTOMER AT A TIME AND 3 OR LESS STAFF MEMBERS.

REGULATORY APPROVAL STAMP

THIS SET OF DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION AND SHALL NOT BE PRESENT AT THE JOBSITE UNLESS THIS COVER SHEET CONTAINS THE PERMIT STAMP OF APPROVAL FROM THE CORRESPONDING BUILDING DEPARTMENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CURRENT DOCUMENTS ON SITE, INCLUDING ANY APPROVED SUBSEQUENT REVISIONS TO THE PERMIT SET, ADDITIONAL SHOP DRAWINGS, AND SUBMITTALS.

SHEET INDEX

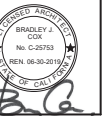
ARCHITECTURAL
A-0.0 COVER SHEET
A-1.1 SITE PLAN
A-1.2 ACCESSIBILITY PLAN
A-3.1 FLOOR PLANS

REVISIONS		
NO.	DATE	DESCRIPTION

02.26.19
DATE
COVER SHEET

A-0.0
SHEET

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EXTREME FITNESS & SPORTS
CONDITIONAL USE PERMIT
1600 DELL AVENUE SUITE C, SAN JOSE CA 95008

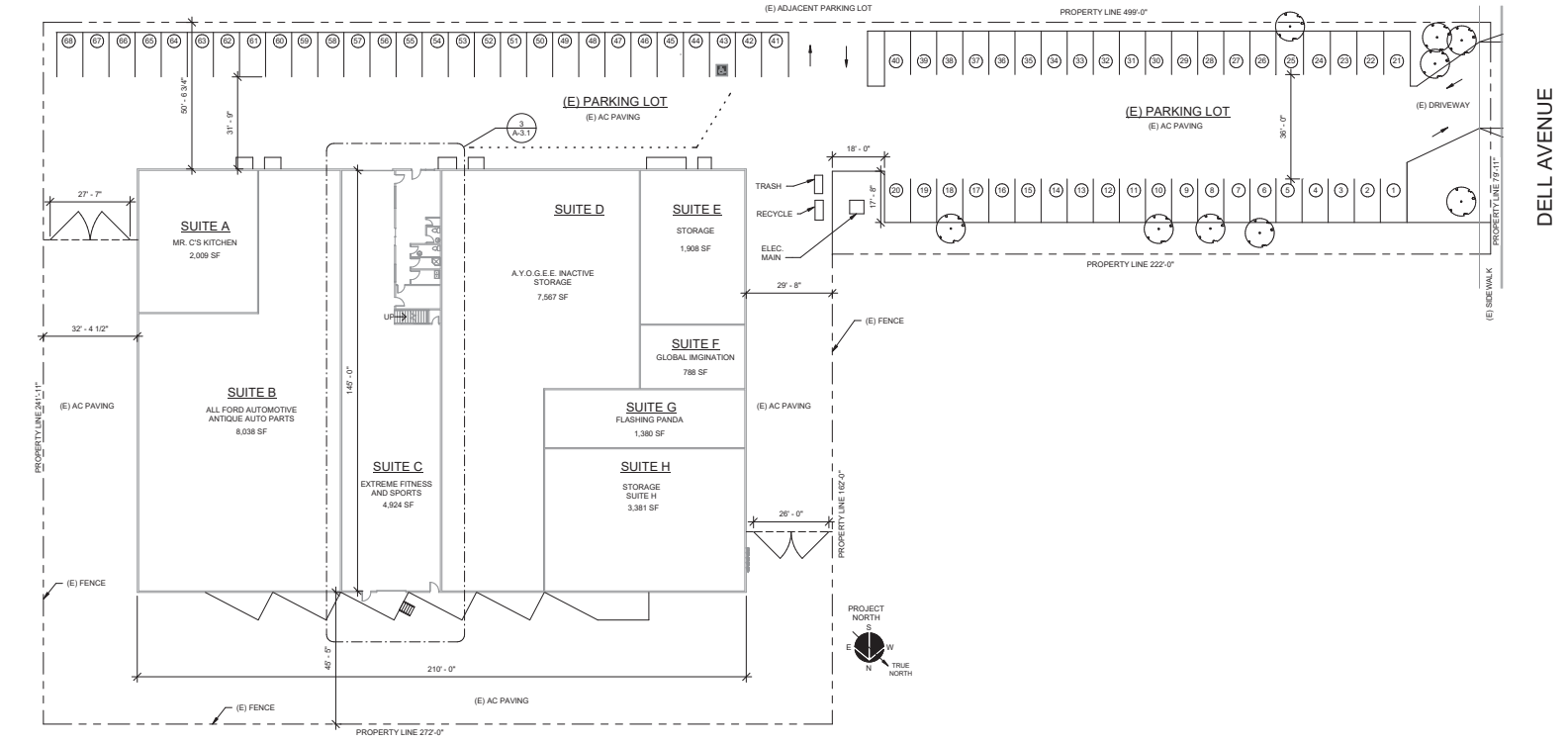
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REVISIONS		
NO.	DATE	DESCRIPTION

02.26.19
DATE
SITE PLAN

A-1.1
SHEET

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1 EXISTING SITE PLAN
1" = 20'-0"

SITE PLAN LEGEND:
..... ACCESSIBLE PATH OF TRAVEL



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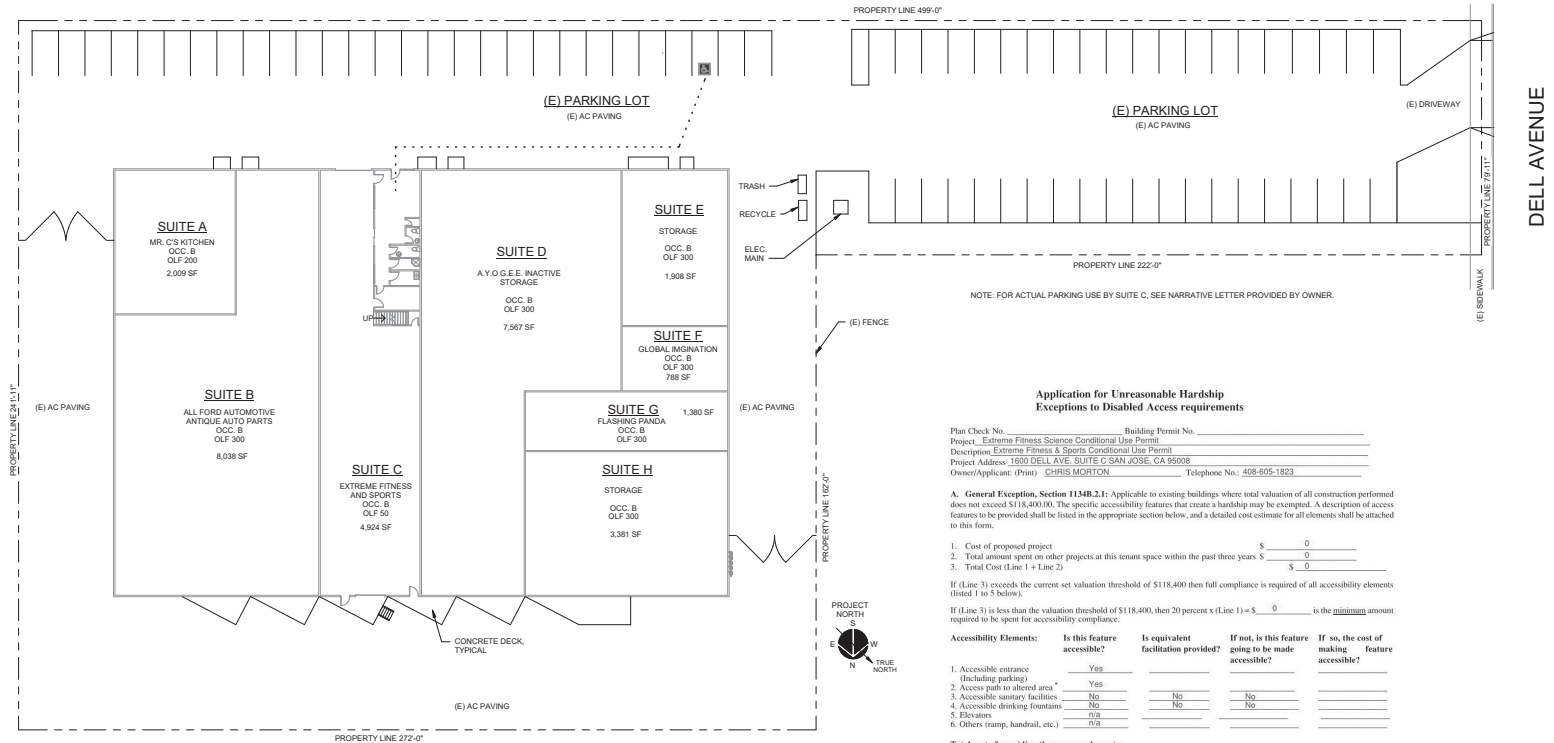
REVISIONS		
NO.	DATE	DESCRIPTION

02.26.19
DATE

ACCESSIBILITY
PLAN

A-1.2
SHEET

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**Application for Unreasonable Hardship
Exceptions to Disabled Access requirements**

Plan Check No. _____ Building Permit No. _____
 Project: Extreme Fitness Science Conditional Use Permit
 Description: Extreme Fitness & Sports Conditional Use Permit
 Project Address: 1600 DELL AVE, SUITE C SAN JOSE, CA 95008
 Owner/Applicant: (Print) CHRIS MORTON Telephone No.: 408-605-1823

A. General Exception, Section 113.4B.2.1: Applicable to existing buildings where total valuation of all construction performed does not exceed \$118,400.00. The specific accessibility features that create a hardship may be exempted. A description of access features to be provided shall be listed in the appropriate section below, and a detailed cost estimate for all elements shall be attached to this form.

- Cost of proposed project \$ 0
- Total amount spent on other projects at this tenant space within the past three years \$ 0
- Total Cost (Line 1 + Line 2) \$ 0

If (Line 3) exceeds the current set valuation threshold of \$118,400 then full compliance is required of all accessibility elements (listed 1 to 5 below).

If (Line 3) is less than the valuation threshold of \$118,400, then 20 percent x (Line 1) = \$ 0 is the minimum amount required to be spent for accessibility compliance.

Accessibility Elements:	Is this feature accessible?	Is equivalent facilitation provided?	If not, is this feature going to be made accessible?	If so, the cost of making feature accessible?
1. Accessible entrance (including parking)	Yes			
2. Access path to altered area *	Yes			
3. Accessible sanitary facilities	No	No	No	
4. Accessible drinking fountains	No	No	No	
5. Elevators	n/a			
6. Others (ramp, handrail, etc.)	n/a			

Total cost of providing these access elements:

Applicant's Statement of Impact on the financial feasibility of the project by providing full access compliance (you may attach additional information). See narrative letter provided by owner.

Description of access features to be provided: (Detailed cost estimate of all elements shall be attached)

Owner/Applicant's Signature: _____ Date: _____

Your request for accessibility compliance due to unreasonable hardship is:
 Not Approved
 Approved

Note: The determination of an unreasonable hardship exception by this office does not allow for exemption from any part of the California Codes and Regulations Title 24 Disabled Accessibility requirements or Federal Americans with Disability Act laws.

Name of the Code Official (Please print) _____ Signature _____
 Date: _____

* THERE IS NO ALTERED AREA.

SITE PLAN LEGEND:
 ●●●●● ACCESSIBLE PATH OF TRAVEL

1 ACCESSIBILITY PLAN
 1" = 20'-0"



EXTREME FITNESS & SPORTS
CONDITIONAL USE PERMIT
1600 DELL AVENUE SUITE C, SAN JOSE CA 95008

IF THIS DRAWING IS NOT AT A 1/8" = 1'-0" SCALE, ALL DIMENSIONS SHALL BE TAKEN FROM THE DIMENSIONS SHOWN ON THIS DRAWING UNLESS OTHERWISE NOTED.

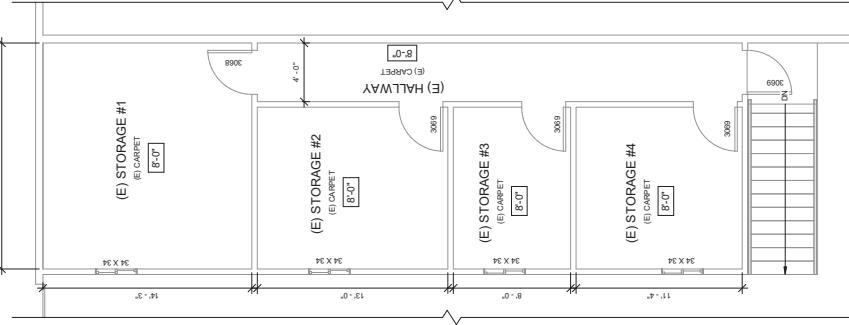
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02.26.19
DATE

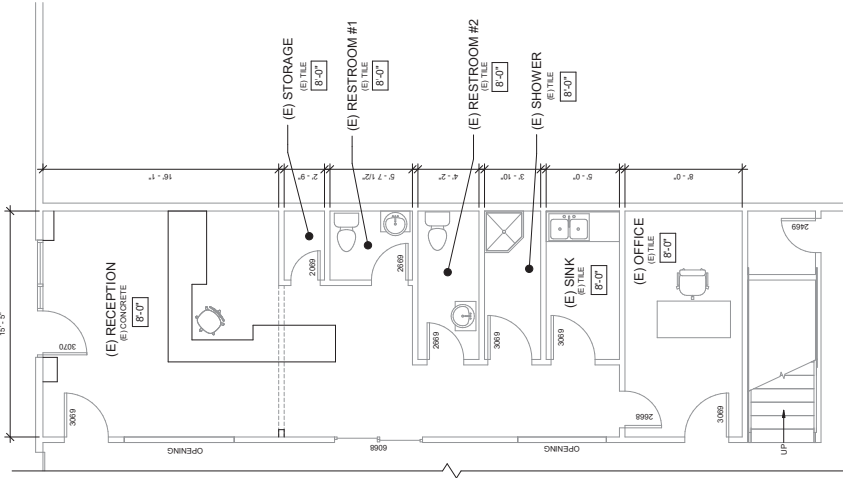
FLOOR PLANS

A-3.1
SHEET

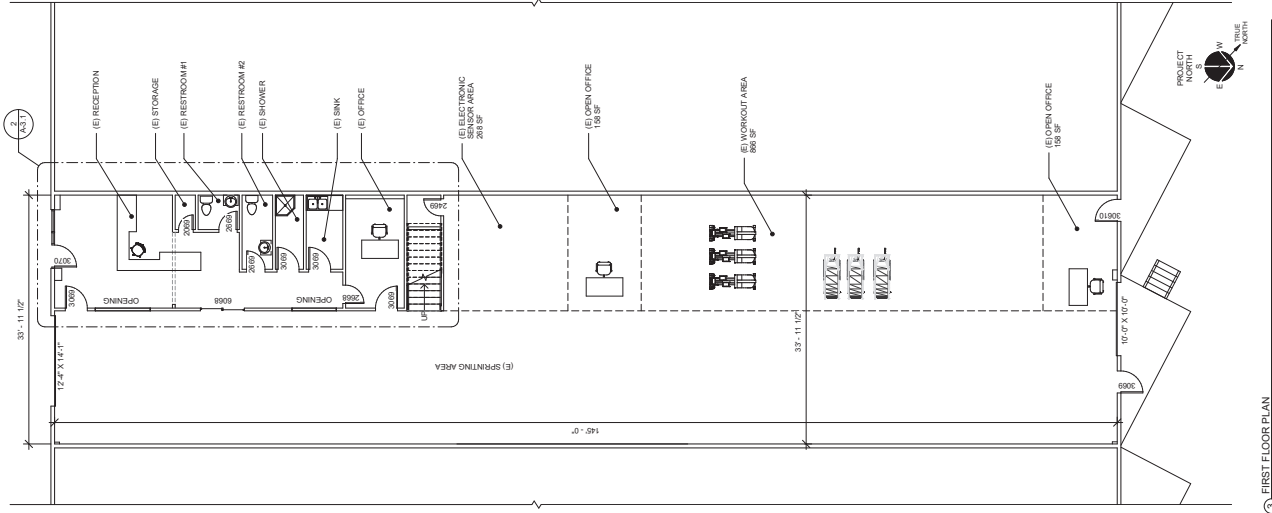
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1 ENLARGED SECOND FLOOR PLAN
1/4" = 1'-0"



2 ENLARGED FIRST FLOOR PLAN
1/4" = 1'-0"



3 FIRST FLOOR PLAN
1/8" = 1'-0"



PROJECT NORTH