



CITY OF CAMPBELL
Community Development Department

August 2, 2019

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

Project Address: 654 Sobrato Drive

Zoning/Area Plan: R-1-6 / STANP

Neighborhood Association(s): San Tomas Area Community Coalition

File No.: PLN2019-130

APN: 404-26-023

Applicant: Brendan Chapman

Property Owner: Tuber of Ross

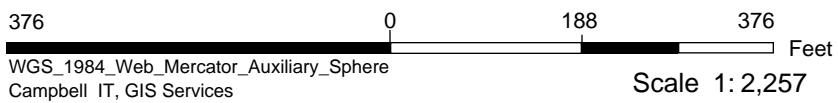
Application Type: Admin. Site and Architectural Review Permit

Project Description: To allow an approximately 125 square-foot one-story addition to the rear of an existing single-story single-family residence.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on August 3, 2019 and ends on August 13, 2019. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **August 13, 2019**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$750 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Stephen Rose, Associate Planner, in the Community Development Department, at (408) 866-2142 or by email stephenr@cityofcampbell.com.

654 Sobrato Drive



WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1:2,257

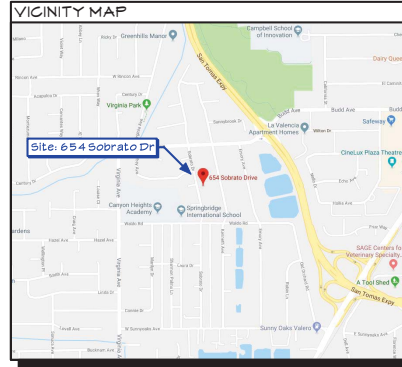
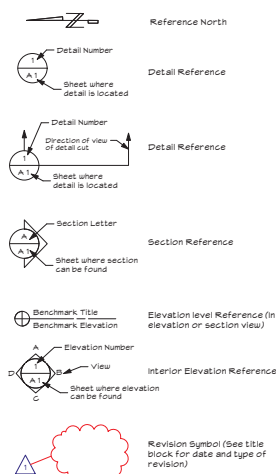
This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

TUBER/ROSS PROJECT - ADDITION/REMODEL

GENERAL PROJECT NOTES

- A. Written dimensions on these drawings shall have precedence over scaled dimensions, written dimensions are approximate and must be verified. Contractor to verify and be responsible for all existing conditions and dimensions prior to and during all phases of work.
- B. If the contractor or subcontractor should find any lack of information, discrepancy in and/or omissions from these drawings or if the contractor should be in question as to their meaning or intent, the contractor should contact Paladin Design & Engineering at once for interpretation or clarification before proceeding with that portion of the work.
- C. No changes, modifications or deviations shall be made from the drawings or specifications without first securing written permission from the Paladin Design & Engineering or the owner.
- D. All work as outlined in these documents, shall strictly conform to all applicable codes and ordinances, the event of a conflict, the more stringent requirement shall govern and be met.
- E. All materials used shall be equal to or exceed all applicable state or local codes and requirements.
- F. Contractor shall remove promptly and legally all accumulated debris, protect all exposed portions of work from elements, avoid over-loading structure, and securely store all items to be used for construction.
- G. All glass in hazardous areas (including tubs & showers), all glass within 10' of floor, and all glass within 24" of an operable door shall be safety glass & be permanently labeled as such. (CRC R309.4)
- H. All existing utilities and city services are to be maintained, kept in service, and protected against damage during construction.
- I. Contractor to verify location of all existing underground utilities prior to excavation.
- J. All electrical calculations and wire size to be provided by a licensed electrical contractor. Receptacle, fixture, and equipment locations to be found on floor plans and site plan. Contractor to verify location, fixture types and equipment with owner prior to purchase and installation.
- K. The contractor shall take all necessary precautionary measures to protect the public and adjacent properties from damage throughout construction.
- L. Any existing utilities to be abandoned shall be properly disconnected, plugged or capped, as required by code or sound construction practice.
- M. Provide adequate concealed blocking and anchoring for all ceiling and wall mounted equipment, hardware and accessories.
- N. Unless otherwise noted, electrical conduits, plumbing lines, etc., shall be run concealed and framing shall be adequate size to accomplish result without causing any changes in the wall plane.
- O. Interior dimensions are shown from finish surface to finish surface and exterior dimensions are from sheathing unless noted otherwise.
- P. If fire sprinkler system is required it shall be installed as required per NFPA and local regulations. The contractor shall submit shop drawings to the governing jurisdiction for permit.
- Q. Each bedroom shall have one exterior egress compliant window or door that is operable from interior without the use of a key or special tools, knowledge, or effort.
- R. All products listed by ICC/NER number shall be installed per the report and manufacturer's written instructions. Product substitution for products listed shall also have ICC approved evaluation report and be approved and listed by other nationally recognized testing agencies.
- S. Exterior operable windows and doors will be weather-stripped. All open joints, penetrations and other openings in the building envelope shall be sealed, caulked, gasketed or weather-stripped to limit air leakage.
- T. All sink faucets, shower heads, toilets and urinals shall comply with California Civil Code Section 1101.1 through 1101.8 and CALGreen Section 501.1.
- U. See structural sheet for project construction notes and details.
- V. See attached Title 24 forms and/or calculations for project energy efficiency requirements.

SYMBOL LEGEND



PROJECT INFORMATION

Designer: Paladin Design & Engineering
Contact - Brendan Chapman
brendan@paladin-design.net
1470 McKinley Avenue
San Jose, CA 95126
(408) 370-0730
(408) 370-3749 Fax

Client: Bob Tuber & Chris Ross
654 Sobrato Drive
Campbell, CA 95008
(408) 370-0730

APN: 404-26-023
Zoning: R1-6 / STANP
Occupancy: R-3/U
TYPE: V-B
Stories: 1
Sprinklers: Not Required
Year Built: 1964

Engineer: Contact - Quang Phan
quang@paladin-design.net

Title 24: FRI Energy Consultants, LLC
Contact Nick Bignardi
(408) 866-1620

Contractor: T.B.D.

Applicable Codes: 2016 CA Building Code
2016 CA Residential Code
2016 CA Mechanical Code
2016 CA Plumbing Code
2016 CA Electrical Code
2016 CA Energy Code
2016 CALGreen Code

SCOPE OF WORK

- New**
1. 125 SF addition to Master Bedroom
- Alterations**
1. 115 SF alteration to Master Bedroom
 2. 64 SF alteration WIG
 3. 50 SF remodel Master Bath

AREA CALCULATIONS

	Existing Area	Proposed Demolition	Proposed New	Total
Lot				6,150 SF
Living Area	1,864 SF	0 SF	125 SF	1,989 SF
Porch	18 SF	0 SF	0 SF	18 SF
Garage	453 SF	0 SF	0 SF	453 SF
Total	2,335 SF	0 SF	125 SF	2,460 SF
Lot Coverage	2,335 SF	0 SF	125 SF	2,460 SF
L.C.R.	37.97%		2.03%	40.00%
Floor Area	2,335 SF	0 SF	125 SF	2,460 SF
F.A.R.	37.97%	0.00%	2.03%	40.00%

SHEET INDEX

- A0.0 - COVER SHEET
- A0.6 - SITE PLAN
- A1.0 - EXISTING/DEMOLITION ELEVATIONS
- A2.0 - SCHEMATIC FLOOR AREA & ARCHITECTURAL ROOF PLAN
- A2.1 - PROPOSED FLOOR PLAN
- A3.0 - PROPOSED ELEVATIONS

Note: Maximum lot coverage: 40%
Maximum floor area: 49%

Landscaping = 2,405 SF
Imperious Paving = 518 SF
Pervious Pavers = 711 SF

Building Height, Existing and Proposed - 15'-2"; See A1.0 & A3.0

Building Setbacks, See Site Plan A0.6
Right Building Setback - Existing and Proposed - 6'-0"
Left Building Setback - Existing and Proposed - 7'-9"
Front Building Setback - Existing and Proposed - 25'-6"
Rear Building Setback - Existing - 20'-9"; Proposed - 15'-0"



Paladin
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REVISIONS	DATE

PROJECT:
TUBER/ROSS PROJECT
Bob and Chris
654 Sobrato Drive
Campbell, CA 95008

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COVER SHEET

A0.0

Sheet 1 of 18 Sheets

TUBER/ROSS PROJECT

Date: 7/12/18
Filename: 14-004 TUBER 1-5.rvt



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654 Sobrato Drive
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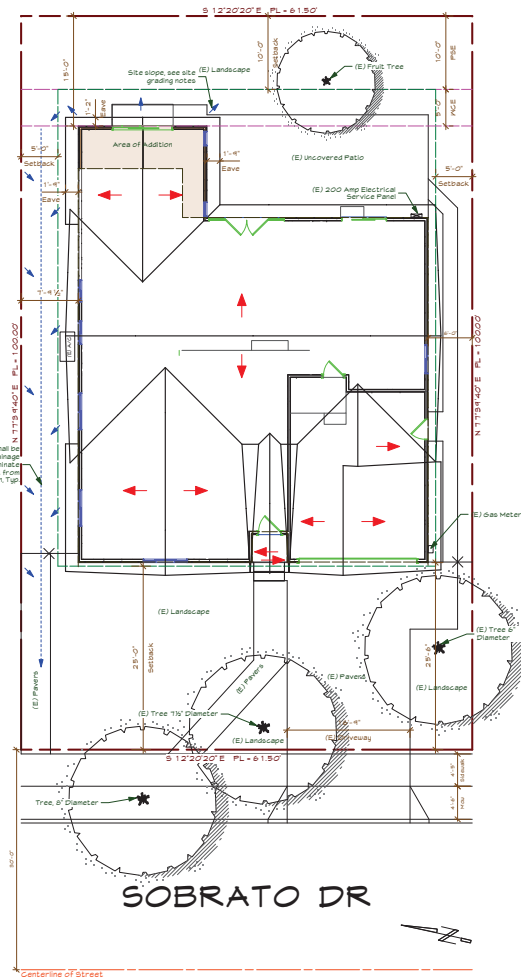
SCALE: AS NOTED FILE: 18-004

SITE PLAN

A0.6

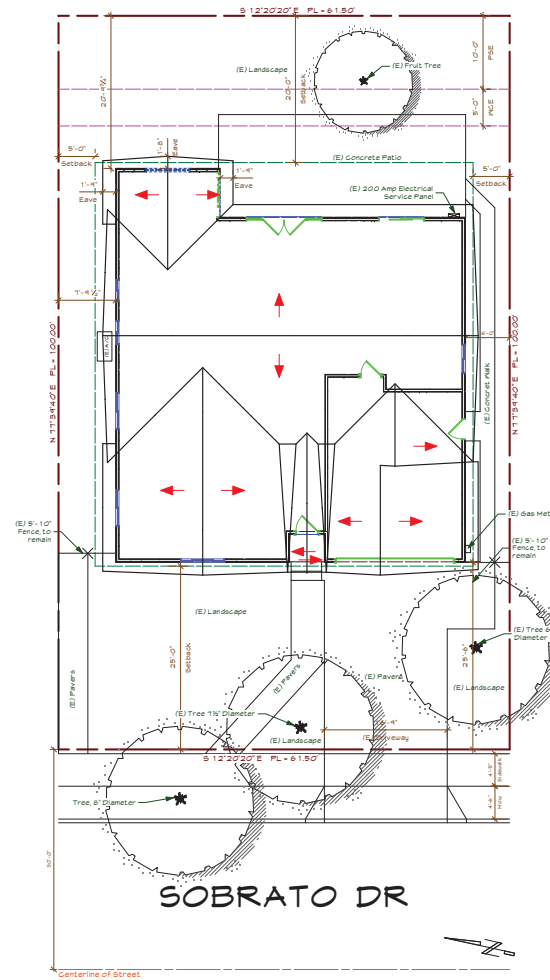
Sheet 7 of 10 Sheets

TUBER/ROSS PROJECT



PROPOSED SITE PLAN

Scale: 1/8" = 1'-0"



EXISTING SITE PLAN

Scale: 1/8" = 1'-0"



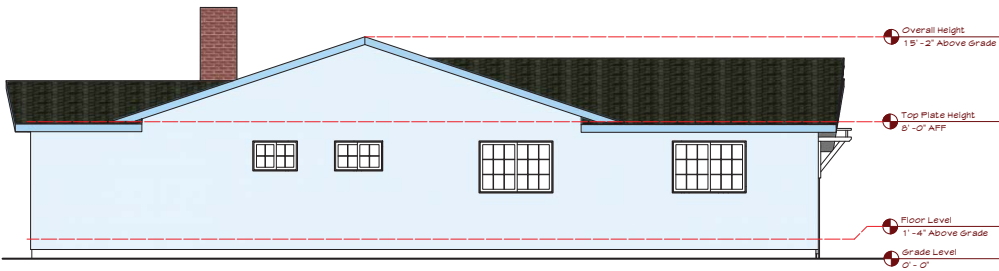
Site Grading Note:

The finish grade around the structure shall slope away from the foundation a minimum of 5% for a minimum distance of 10 feet (CBC 1804.3).

On graded sites, the top of any exterior foundation shall extend above the elevation of the street gutter at a point of discharge (or the inlet of an approved drainage device), a minimum of 12 inches plus 2%.

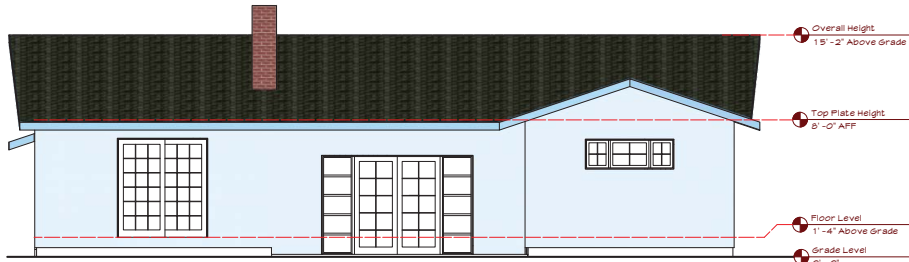
Rear setback is 10'

20 x lot width
20 x 61.5 = 1230
Existing Usable Rear Yard Area = 1510 SF
Proposed Usable Rear Yard Area = 1240 SF



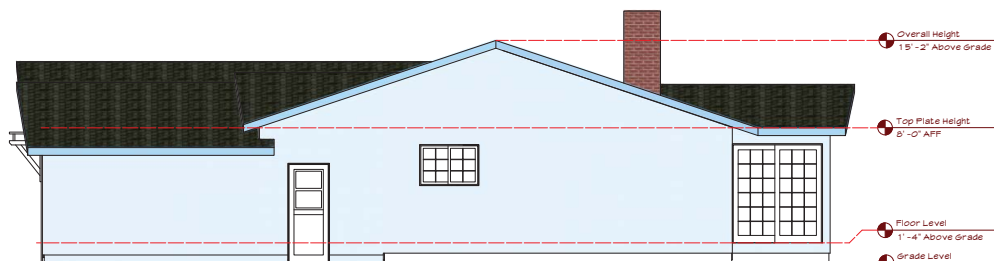
EXISTING LEFT ELEVATION (North)

Scale: 1/4" = 1'-0"



EXISTING REAR ELEVATION (East)

Scale: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION (South)

Scale: 1/4" = 1'-0"



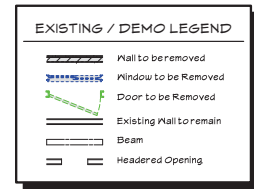
EXISTING FRONT ELEVATION (West)

Scale: 1/4" = 1'-0"



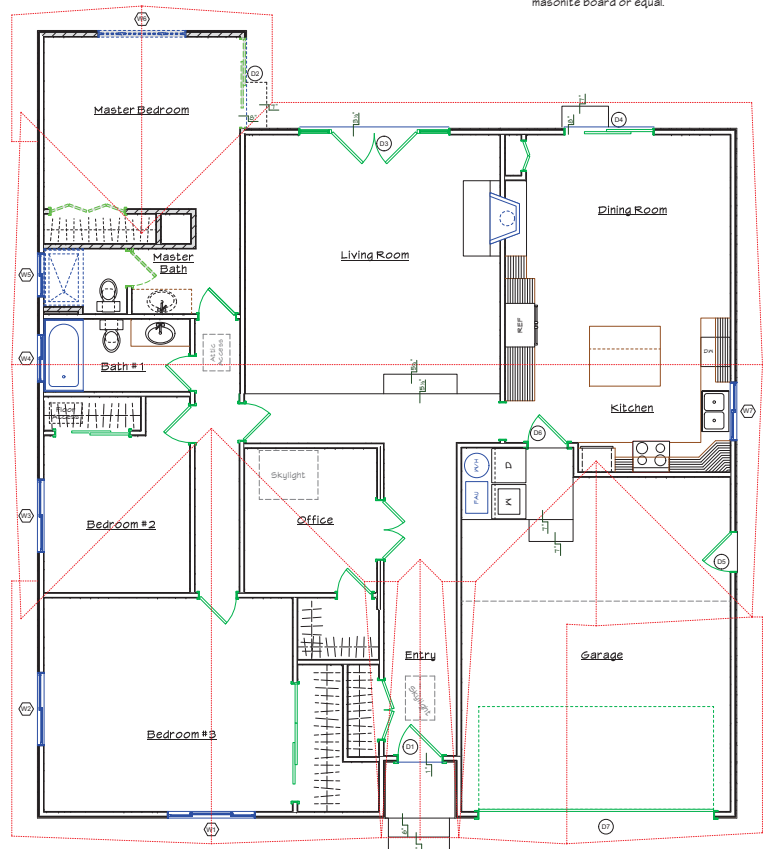
Existing Window Schedule						
Mark	Width	Height	Sash Operation	Location	Glazing	
W 1	6'0"	4'0"	Picture Window Slide	Bedroom #3	Insulated	
W 2	5'0"	3'6"	Horizontal Slider	Bedroom #3	Insulated	
W 3	5'0"	3'6"	Horizontal Slider	Bedroom #2	Insulated	
W 4	3'3"	2'0"	Horizontal Slider	Bath #1	Insulated	
W 5	3'0"	2'0"	Horizontal Slider	Master Bath	Insulated	
W 6	6'0"	2'0"	Custom	Master Bedroom	Insulated	
W 7	4'0"	2'4"	Horizontal Slider	Kitchen	Insulated	

Existing Door Schedule						
Mark	Width	Height	Operation	Location	Glazing	
D 1	3'0"	6'6"	Swing Simple	Entry	Yes	
D 2	6'0"	6'6"	Slider	Master Bedroom	Yes	
D 3	5'10"	6'6"	Swing Bi-part Slider	Living Room	Yes	
D 4	6'0"	6'6"	Slider	Dining Room	Yes	
D 5	2'8"	6'6"	Swing Simple	Garage	Yes	
D 6	2'8"	6'6"	Swing Simple	Garage	--	
D 7	16'0"	7'0"	Overhead	Garage	--	



DEMOLITION NOTES

- Demolition includes work noted below and all other work affected by work included in the demolition systems, subsystems and items related to the completed construction.
- Provide dust barrier to protect remainder of the house from any construction dirt & dust.
- Protect existing flooring with 1/4" masonite board or equal.



EXISTING/DEMOLITION FLOOR PLAN

Scale: 1/4" = 1'-0"



DESIGN

Paladin Design & Engineering

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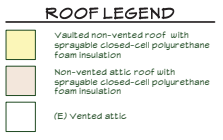
EXISTING/DEMOLITION PLAN & ELEVATION

A 1.0

Sheet 8 of 18 Sheets
TUBER/ROSS PROJECT

DWG: 17_12/18.dwg
Filename: 14-004-Tubert_1-3.dwg

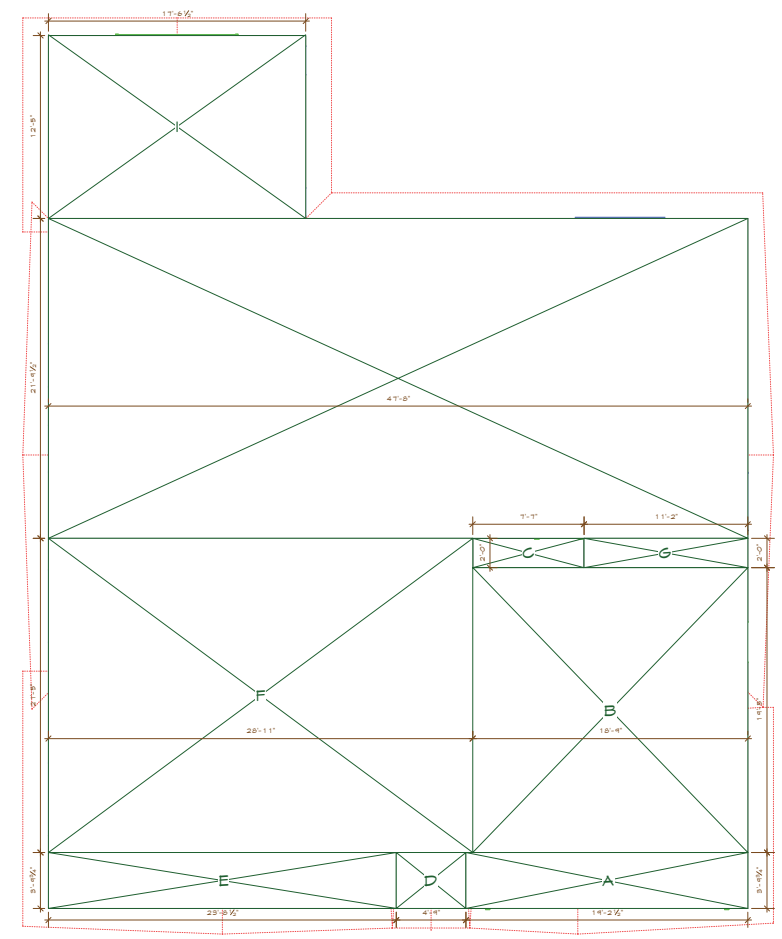
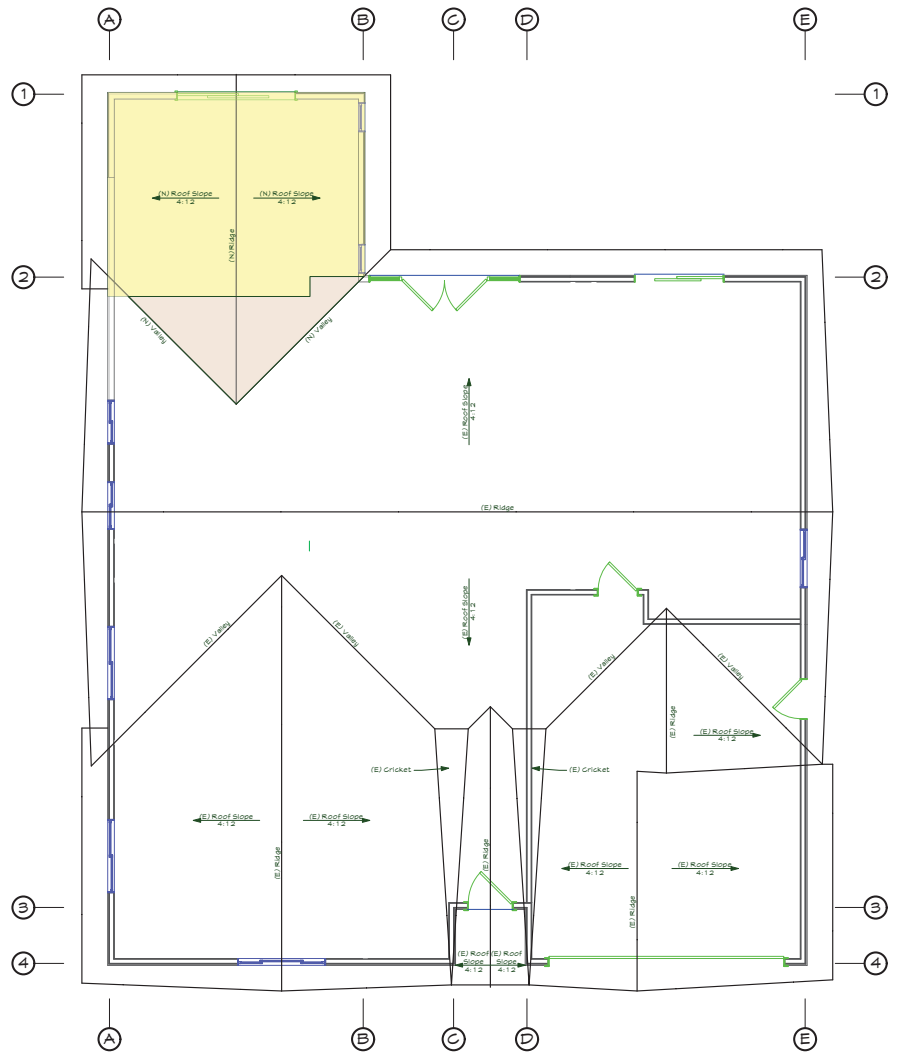
ATTIC VENTILATION
 Attic Ventilation (R-0.6, 2) Minimum area
 The total net free ventilating area shall not be less than 1/150 of the area of the space ventilated that reduction of the total area to 1/300 is permitted provided that at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilators located in the upper portion of the space to be ventilated at least 3 feet above the eave or cornice vents with the balance of the required ventilation provided by eave or cornice vents. As an alternative, the net free cross-ventilation area may be reduced to 1/300 when a glass or vapor barrier is installed on the warm-in-winter side of the ceiling.



SPRAY FOAM INSULATION
 Product - Gaco 103M spray-applied polyurethane
 Code compliance research report - GRR-1002
 Sprayable closed-cell polyurethane foam insulation shall be applied to the underside of roof sheathing as per manufacturer's specification.
 Minimum thickness required (see T24 report)
 R-21 = 3 1/2" depth
 R-30 = 6" depth

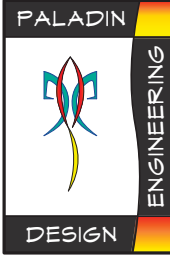
AREA CALCULATIONS

Label	Room	Width	Depth	Area
A	Garage	14'2 1/2"	3'9 3/4"	73.2 Sq. Ft.
B	Garage	18'9"	14'5"	364.1 Sq. Ft.
C	Garage	7'7"	2'0"	15.2 Sq. Ft.
Garage Total				452.5 Sq. Ft.
D	Front Porch	4'9"	3'9 3/4"	18.1 Sq. Ft.
E	Living Space	25'8 1/2"	3'9 3/4"	90.4 Sq. Ft.
F	Living Space	28'11"	2'15 1/4"	614.9 Sq. Ft.
G	Living Space	1'12"	2'0"	22.9 Sq. Ft.
H	Living Space	4'8"	2'14 1/2"	1,038.7 Sq. Ft.
I	Living Space	17'6 1/2"	12'5"	217.8 Sq. Ft.
Living Space Total				1,989.2 Sq. Ft.
Grand Total				2,454.7 Sq. Ft.



ARCHITECTURAL ROOF PLAN
 Scale: 1/4" = 1'-0"
 Scale: Feet 0 1 2 3 4 5 6 7 8 9 10 11 12
 inches 0 1 2 3 4 5 6 7 8 9 10 11 12

FLOOR AREA
 Scale: 1/4" = 1'-0"



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REVISIONS

NO.	REVISIONS	DATE

PROJECT:
 TUBER/ROSS PROJECT
 Bob and Chris
 654 Sobrato Drive
 Campbell, CA 95008

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SCHEMATIC FLOOR AREA / ARCH ROOF PLAN

A2.0
 Sheet 9 of 10 Sheets
 TUBER/ROSS PROJECT

Door Schedule												
Mark	Nominal Size			Glazing Data				Door Data				
	Width	Height	Door Operation	Jamb Thick	Type	U-Factor	SHGC	Tempered	Mfr	Location	Hardware	Comments
D 1	2'4"	6'8"	Swing Simple	3/4"	--	--	--	--	TM Cobb	Master Bath	Privacy	
D 2	2'6"	6'8"	Swing Simple	3/4"	--	--	--	--	TM Cobb	WIC	Passage	
D 3	8'0"	6'8"	Slider	3/4"	LowE	0.32	0.25	Yes	Andersen	Master Bedroom	Latch	

Window Schedule											
Mark	Nominal Size			Glass				Window Data			
	Width	Height	Sash Operation	Type	U-Factor	SHGC	Tempered	Egress	Mfr	Location	Comments
ST 1	1'2"	1'2"	Fixed Glass	LowE	0.32	0.25	--	--	Velux	Master Bedroom	UER-ER-0199
W 1	2'0"	4'0"	Single Hung	LowE	0.32	0.25	--	--	Milgard	Master Bedroom	
W 2	2'0"	4'0"	Single Hung	LowE	0.32	0.25	--	--	Milgard	Master Bedroom	

PLUMBING NOTES

- All sink faucets, shower heads, toilets and urinals shall comply with California Civil Code Section 1101.1 through 1101.8 and CALGreen Section 301.1.
- Water closets with a flow rate in excess of 1.6 gpf shall be replaced with water closets a maximum flow rate of 1.2 gpf.
- Showerheads with a flow rate greater than 2.5 gpm will need to be replaced with a maximum 1.8 gpm shower head.
- Lavatory faucets with a flow rate greater than 2.2 gpm will need to be replaced with a faucet with a maximum flow rate of 1.2 gpm.

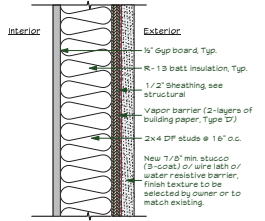
FLOOR PLAN NOTES

- See Sheet A0.2 for project notes for additional notes and specifications.
- See sheet Structural sheets for General Framing notes & typical details.
- (N) Exterior outlet to be dedicated 20 Amp

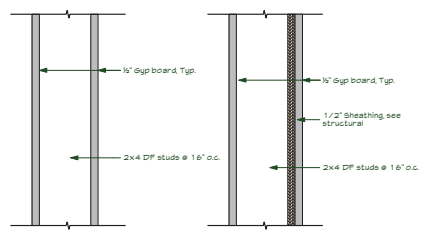
TABLE R302.1(1) EXTERIOR WALLS-DWELLINGS AND ACCESSORY BUILDINGS WITHOUT AUTOMATIC RESIDENTIAL FIRE SPRINKLER PROTECTION

EXTERIOR WALL ELEMENT	MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	1 hour-tested in accordance with ASTM E 119 or UL 263 with exposure from both sides	< 5 feet
Projections	0 hours	>= 5 feet
Openings in walls	25% max of wall area	0 hours
Penetrations	All	Comply with Section R302.4

a. Roof area fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if flashing is provided from the wall top plate to the underside of the roof sheathing.
 b. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided that gable vent openings are not installed.



WALL TYPE - X1
(Exterior)

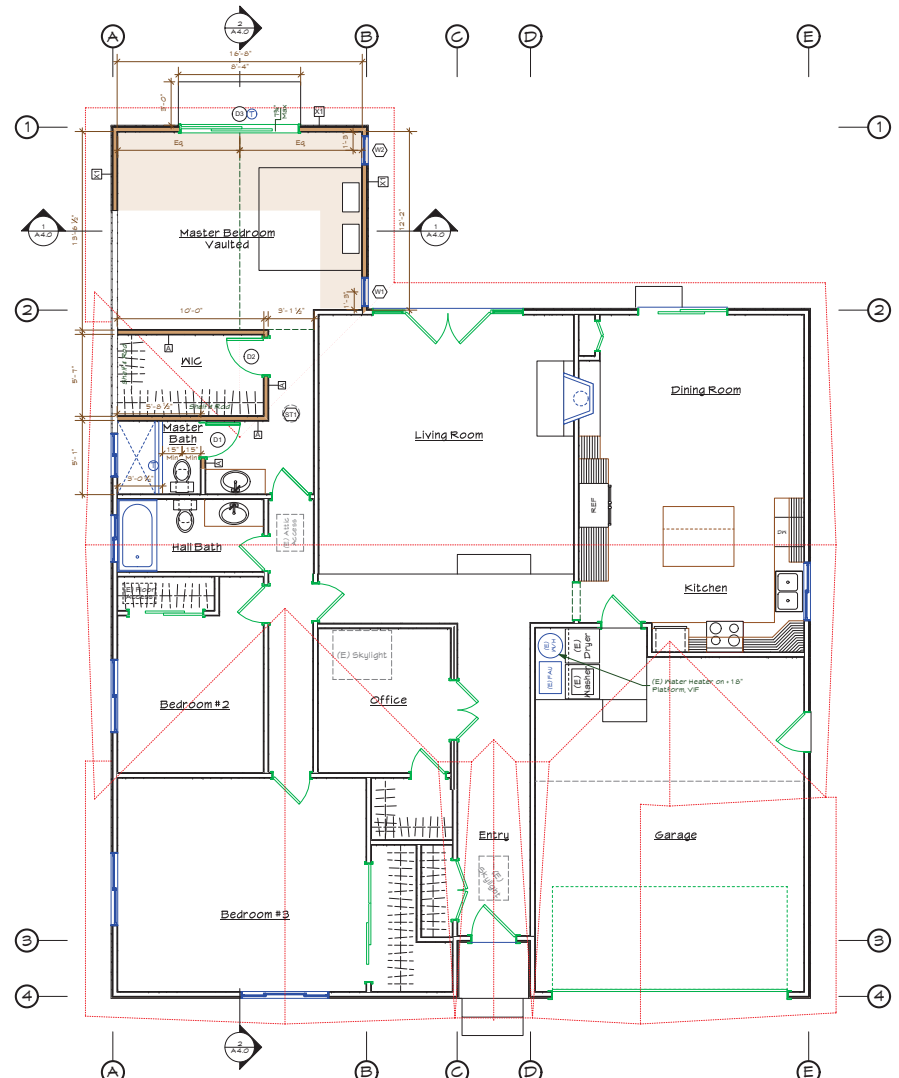


WALL TYPE - A
(Typical Interior)

WALL TYPE - C
(Interior Shear Wall)

PROPOSED LEGEND

- New Proposed Wall
- Existing Wall
- Beam
- Headered Opening
- New floor area
- Roof Lines
- Ceiling Transitions
- Window, see schedule
- Door, see schedule
- Egress Compliant
- Tempered glass
- Wall Type



PROPOSED FLOOR PLAN
Scale: 1/4" = 1'-0"



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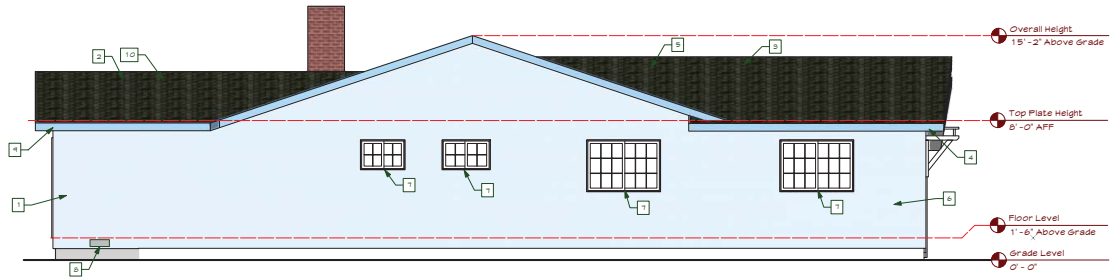
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PROPOSED FLOOR PLAN

A2.1

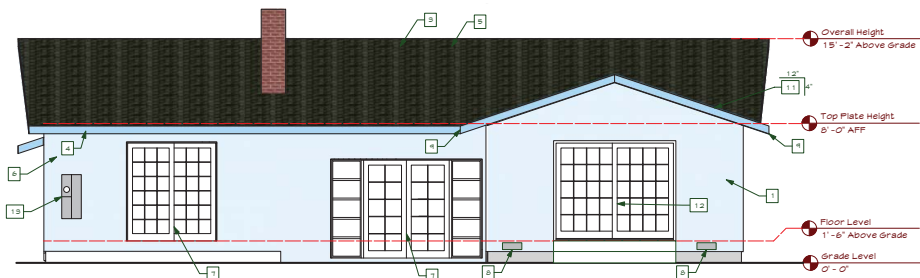
Sheet 10 of 18 Sheets
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Date: 7/12/18
Filename: 14-004-TUBER-1-5.rvt



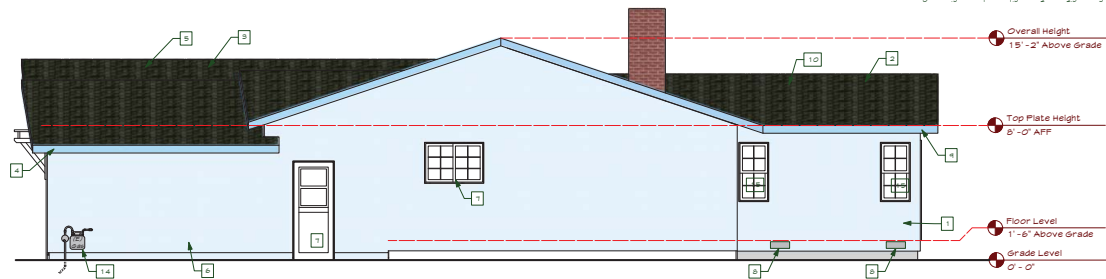
PROPOSED LEFT ELEVATION (North)

Scale: 1/4" = 1'-0"



PROPOSED REAR ELEVATION (East)

Scale: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION (South)

Scale: 1/4" = 1'-0"



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PROPOSED ELEVATIONS

A3.0

Sheet 11 of 18 Sheets

TUBER/ROSS PROJECT

BUILDING ELEVATION KEYNOTES

1. 7/8" Min. 3-Coat Stucco, color to match existing house. See Project Notes For Additional Information
2. Class 'C' Roofing to match existing house roofing material. See Project Notes For Additional Information
3. Existing Class 'C' Roofing
4. Existing fascia/gutter
5. Existing roofing to remain as-is
6. Existing stucco siding
7. Existing Window/Door
8. Foundation Vent, see underfloor vent calculation for number of vents required
9. New Fascia & Gutters, Typ
10. New roofing to match type and color of existing roofing
11. Roof slope, Typ U.O.N.
12. New door, see door schedule
13. Existing Electrical service panel
14. Existing gas meter location
15. New Window, See Window Schedule