



## City of Campbell

Building Inspection Division  
Phone: (408) 866-2130

70 North First Street  
Campbell, CA 95008

**This is a sample plan check template that will be used to review a new ADU application. It contains useful notes and explanations of requirements for design drawings.**

Permit Application#: BLD2023-      Address:  
Scope of Project: New Accessory Dwelling Unit (ADU) (      sf)  
Occupancy: R-3    Type Bldg: VB    APN:

Documents or Actions Requested (most available in “Handouts” [www.ci.campbell.ca.us](http://www.ci.campbell.ca.us))

<input type="checkbox"/> Demolition permit	<input type="checkbox"/> Completed
<input checked="" type="checkbox"/> Acknowledgement Statement	<input type="checkbox"/> Received
<input type="checkbox"/> Liability for concurrent Planning & Building review	<input type="checkbox"/> Received
<input checked="" type="checkbox"/> West Valley Sanitation District approval (408) 378-2407	<input type="checkbox"/> Received
<input type="checkbox"/> Special Inspection checklist (if requested by engineer)	<input type="checkbox"/> Received
<input type="checkbox"/> Soils Report (if in excess of presumptive 1500 psf design load)	<input type="checkbox"/> Received
<input checked="" type="checkbox"/> Structural Design	<input checked="" type="checkbox"/> Received
<input type="checkbox"/> Truss Design- Stamped (if mfg trusses will be used)	<input type="checkbox"/> Received
<input type="checkbox"/> Construction Tax Exemption	<input type="checkbox"/> Received
<input checked="" type="checkbox"/> Waste Management Form (Contact Peri @ 408-866-2155)	<input type="checkbox"/> Received
<input checked="" type="checkbox"/> Title-24 Energy Report	<input checked="" type="checkbox"/> Received
<input checked="" type="checkbox"/> Clean Bay – Santa Clara Valley Pollution Control	<input type="checkbox"/> Outdated version in Planset
<input type="checkbox"/> Park Fees call Public Works Department (408) 866-2164	<input type="checkbox"/> Paid
<input type="checkbox"/> School district payment for developer fees	<input type="checkbox"/> Paid
<input checked="" type="checkbox"/> ADU Deed Restriction call Planning @ (408) 866-2140	<input type="checkbox"/> Recorded
<input checked="" type="checkbox"/> New Addressing    call Marge @ (408) 871-5102	<input type="checkbox"/> Completed

[x] an x in this box indicated the requirement is applicable to this project

[x] A ~~lined-out~~ comment usually means that the requirement is in-place and acceptable.

[x] A **bold face** comment usually means the comment was listed on a previous letter.

[x] A **bold face and underlined** comment usually means the comment was listed on more than one previous comment letter.

[x] With multiple agencies conducting plan review, it is common to have redundant comments or sometimes conflicting comments. Contact Campbell’s Building Department with any questions or explanations desired. If there is a comment regarding a missing note and the reviewer simply missed it, state the location in the response letter. Clouding is not required for plan check comments. Clouding is reserved for revisions after the project has been permitted.

[x] Include the standard, Santa Clara Valley Clean-Bay sheet in your plan set downloadable from [www.ci.campbell.ca.us](http://www.ci.campbell.ca.us) website → Community Development → Building and Inspection Division → Handouts and Forms → Templates (The one in place is outdated)

[x] Campbell Municipal Code Ordinance # 2260 prohibits the use of natural gas in a new ADU.

[x] This set of plans contains two projects for two separate permits. The plans must be separated so that the ADU is on separate and distinct set of drawings. There may be shared elements such as a site plan and some details but they may not include elements of another permit and another address. X-out any views, details, or notes that are not applicable to that specific Scope of Work. Edit the Scope of Work to include only that of the specific permit.

[x] A detached ADU may not use a sewage ejector to flow the waste but rather a gravity slope to the sewer main lateral. If the main home has a back flow device, the ADU would connect downstream of the device in order to reduce the potential of flooding the main home with sewage. Clean outs are required: 2 feet from the ADU at the building drain, end of line in the back of the ADU, every 100' distance, or right angle bends.

[x] ADU's and Jr.ADU's will be issued separate addressing consisting of the anchor property address numbers with a -B or a -C afterwards. The addressing will notify the post office, police, fire and Santa Clara Tax Assessor. Contact Marge at (408) 871- 5102 to coordinate addressing.

[x] Per CMC 21.23.040, A Jr ADU must have an exterior entry/exit door and a door into the primary residence. It must also have a means for cooking and food preparation. It cannot exceed 500 sf. Bathroom facilities may be shared with the main house or not.

[x] New for 2023:

The solar panel requirements from Equation 150.1-C have been increased

Hot water pipes will need pipe insulation

The main electrical panel busbar rating shall be 225amp

The elect system shall be ESS ready by providing a separate 60a panel with 4 circuits

Under-slab Vapor Barrier (VB) shall have a minimum thickness of 10mil

The roof rafters will need insulation as well as the ceiling

The airflow for a range hood has been increased to

< 750sf- 160 cfm, 750-1000sf- 130cfm, 1000-1500+sf- 110cfm

Wall outlets and switches shall be placed min 15" max 48" from finished floor (AFF)

All bathrooms shall receive 2x continuous blocking for the future installation of grab bars.

There are to be no sewage ejector pumps used for home or ADU sewage disposal

There are to be no two way cleanouts, use double combo fittings or Texas two way

## Building, Structural, & T-24 Energy

### I. The cover sheet shall include:

- a. Legal job address and APN (assessor's parcel number)
- b. Name, address, phone, **email** of owner, architect, engineer, and designer
- c. Applicable building codes including, Campbell's Municipal Code
- d. Add the following to the project data: Type of construction- VB
- e. Add the following to the project data: Occupancy Classification- R-3
- f. Date of drawings
- g. A **Drawing Index** that lists where to find the MEP information and the Window Schedule

- h. A **Deferred Submittal (DS)** heading; Deferred Submittals may include later applications for Solar (PV), Fire Sprinklers, some types of encroachment permits, Landscape watering design. All DF's must be submitted prior to receiving a rough frame inspection.
- i. *Construction hours shall be 8-5 M-F, 9-4 Saturdays, No Work Sundays or Holidays*
- j. Add notation per Cal Green 4.50: There shall be no use of products, materials, paints, solvents, primers, caulks, or glues that exceeds California's limit on Volatile Organic Compounds (VOC)
- k. Add notation per R408.5: All construction debris shall be removed from the crawlspace and attic areas
- l. Add Notion per CFC 505: Address numbers shall be a minimum of 4" high, 1/2" wide, placed visible from the street
- m. Add notation per R401.3: Finish grade shall be 5% away from foundation and have sufficient slope to retain storm water on-site and not to flow to the neighbor's property or to the street.
- n. Add Notation: This project will require that a surveyor approve the foundation forms in terms of setback accuracy and floor level heights prior to placing concrete. Language for the letter must be as written as per Campbell's surveyor handout available through the Building Department.
- o. Add Notation:

**Waste Management Statement**

*Construction wash-out water from concrete, mortar, tile, taping, and painting shall be done in a portable containment pool or in a lined evaporative pit. Wash-out shall not enter the street, neighboring property, or the storm water system.*

*Trash piles shall not be located in the front yard or visible from the street. Trash piles shall not contain: paints, solvents, glues, taping compound, food products, or easily recycle-able discards such as bottles, cans, plastics, or paper. Remaining trash shall be limited to concrete, wood, drywall, roofing, and assorted metals and shall be covered with a waterproof tarp. Trash shall be separated at an approved bay area disposal site such as Guadalupe Recycling. All trash is to be quickly hauled off site. Retain and upload disposal receipts into your **Green Halo** project account. Proof of recycle and disposal of the job site trash must be approved and signed off prior to final inspection and issue of a Certificate of Occupancy.*

**Deferred Submittals**

2. Cal Energy 150.1 (14) and 110.10 requires that all new homes and ADU's include a photovoltaic solar system, consult table 150.1.c for required system sizing per Zone 4. If you elect, the solar permit may be applied for as a deferred permit submittal. State on the cover sheet under a Deferred Submittal heading: *A permit for a photovoltaic solar system will be applied for as a deferred submittal. If the deferred submittal is not applied for before the rough trade inspections, the project will be put on-hold until the submittal is approved. Make an additional notation on the MEP: Plumbing and attic venting shall be placed clear from future solar panels.*
3. If SCCFD requires the ADU to be equipped with a residential fire sprinkler system, you may elect the sprinkler system may be applied for as a deferred permit submittal. State under a Deferred Submittal heading: *A permit for a NFPA 13D residential fire suppression sprinkler system shall be applied for as a deferred submittal. Submit calculations and design direct to Santa Clara County Fire Department (SCCFD), 14700 Winchester Blvd,*

*Los Gatos (408) 378-4010. The deferred submittal must be applied for, and approved, before any rough inspections are made.*

4. If manufactured trusses are intended to be used, state under a Deferred Submittal heading: *Engineered off-site fabricated roof truss design drawings shall be submitted as a deferred submittal prior to any rough frame or trade inspections.*
5. The Scope is an important element of the design drawings. If the scope does not completely list the indented work for the project and the discrepancy is discovered during a site inspection, a resubmittal, revision, and/or a re-definition of the type project may be required. These actions will create a “STOP WORK” until the documents align with the site and additional fees are paid. Review the Scope and edit if necessary.
6. The Site/Plat/Plot Plan shall include:
  - a. Building location with all setback distances to property lines.
  - b. Show all exterior appliances
  - c. Show all trees.
  - d. Show all hard surface driveways and walkways.
  - e. Show any hot tubs, garden sheds, pergolas, or detached structures.
  - f. Show the Building’s water retention plan, compliant to CGBS Section 4.106.2. and ordinance 2290. Show roof gutters and downspouts that connect to subsurface drain pipes that terminate into drywells or pop-up emitters or retention basins located in the middle of the front and/or back yards. The plan must clearly identify the actions necessary to retain all storm waters on site and not to flow to the public storm system or neighboring properties. Splash blocks are only allowed when located 12 feet from the property line and directed towards the center of the parcel.
  - g. Show the location and size of the main electric panel on the main home and if the service wires are overhead or underground and the direction those wires travel. Show the location and the size of the sub panel on the ADU. Show and specify the general location of the conduit, size of wires, and the burial depth (PVC conduit 18”) of the feed wires.
  - h. Show the approximate location of the main sewer lateral, the ADU wye connection, and any cleanouts or backflow prevention devices as required by West Valley Sanitation District (WVSD). State the size and type of pipe required along with the required slope of the pipe.
  - i. Show the main water shut-off valve for the ADU and any hose bibs.
  - j. All utility lines may share the same trench; if the water and sewer will share the trench, add a notation requiring a 12” vertical and horizontal separation between the water and sewer pipes. Identify all types and sizing and burial depth of the piping (PVC conduit- 18”) (PVC gas w/ tracer wire-18”) (PVC or Type L water- 12”) (ABS sewer- no depth requirement).
  - k. Add this note to the cover sheet: *A detached ADU may not use a sewage ejector to flow the waste but rather a gravity slope to the sewer main lateral. If the main home has a back flow device, the ADU will connect downstream of the back flow device and then require an additional backflow device for the ADU placed well upstream of the lateral connection in order to reduce the potential of flooding the main home with sewage. Clean outs are required: 2 feet from the ADU at the building drain, at the end-of-line of the ADU sewer system, and every 100’ distance, and right angle bends.*

7. On the elevation, State the finish floor height as well as the top roof height. These two dimensions must be verified as part of the surveyor placement verification letter.
8. Add notation per R317.3.1: *Underfloor post, sills on concrete, and exterior deck & stair superstructure shall be of pressure treated lumber; coatings for fastener, post bases, hangars, and connectors in contact with PT shall be H.D. Galvanized, Z-Max, or Stainless Steel, or rated for PT contact. The end nails of the shear wall into the PT plate need to be H.D. Galvanized.*
9. Per CBC 420.2, 708, and R302.3, the **main home** and the **ADU** are required to have 1 hour fire separation from each other Add notations to ensure the separation wall to have R-13 insulation, be 5/8" finished sheetrock on each side, concrete-to-rafters, insulated, metal electric boxes (16 sq in max) shall not total more than 100 sq in within a 100 sq ft area. Junction boxes on opposite walls shall have 24" separation. If the wall is placed over a crawlspace and not on a concrete slab, provide a draftstop below the firewall in the crawlspace and above the firewall the attic space. In these spaces, the fire draft wall may be constructed of single layer corrugated sheet metal, Hardi siding, 1/2" gypsum, 3/8" ply or OSB. Seal all air gaps and annular spaces with caulk, foam, or putty.
10. Per CBC 420.2, 708, and R302.6, the **garage** and the **ADU** are required to have a modified fire wall between each other. Add notations to ensure the separation wall to be 1/2" finished sheetrock on each side, concrete-to-rafters, insulated, metal electric boxes (16 sq in max) shall not total more than 100 sq in within a 100 sq ft area. Junction boxes on opposite walls shall have 24" separation.
11. Per Table 302.1 CRC, Any wall less than 5' from the property line requires a 1-hour fire rating. Any overhang less than 5' but not more than 2' does not req a fire rating but does require solid 2x blocking and may not have venting. Any overhang less than 2' requires a 1-hour fire rating.
12. Provide a window schedule **or** note on applicable windows to identify glazing subject to **tempered** safety glass requirements per R308.4 and identify an **egress** window in each bedroom per R310 CRC 2019. *A ground floor egress window will have a net clear opening of 5.0 SF.*
13. Mechanical Electrical & Plumbing: Provide an MEP plan or assign a floor plan as an FMEP (A-3), edit the Sheet Index for easy reference location. The plan should include: **All** MEP notations categorized and numbered.
 

**Mechanical**

  - a. Add a notation and show (per CEC 150): *Kitchen hood vent to have damper and be ducted to the exterior with smooth wall sheet metal per mfg's installation requirements.* The airflow requirement for a range hood has been increased to  
 < 750sf- 160 cfm, 750-1000sf- 130cfm, 1000-1500+sf- 110cfm
  - b. Show the HVAC system and make note of the type energy to be used.
  - c. Show all condensers, exhaust fans, appliances, or fixtures
  - d. Add notation: *Bathrooms require 50 cfm minimum humidity controlled exhaust fans (by fan or switch) ducted to the exterior per R405.6. and be switched separately from lighting systems.*

**Electrical**

  - e. Show the attic and subfloor access.
  - f. Show the electric panel and label the size of the panel.

- g. Per Article 250.52 CEC, Identify the panel ground to be either of the following.  
 A concrete encased 20' steel rebar (Ufer ground) or  
 (2) 5/8 x 8' diameter copper ground rods spaced 6' apart  
 If the panel will receive a Ufer ground (presumed to be a better, more reliable ground) add a note on the foundation plan for the *Contractor to place one #4 -20' bar of steel in the lower area of the foundation and bent 90 degrees to extend past the plate line for a bonding attachment.*
- h. *Provide an exterior outlet in the front of the ADU.*
- i. *Show A 120V receptacle shall be placed within 3' of a water heater and within 25' of an A/C condenser*
- j. *Show (per CRC 314.2.2) Hardwired smoke detection is required in each bedroom within 3' of the exit door, Combination Smoke and Carbon Monoxide detection is required outside each bedroom.*
- k. Add Notation per CEC Art. 406.12 : *All new and replaced duplex receptacles placed below 66" AFF shall be listed "tamper-resistant receptacles".*
- l. Add Notation per Art. 210.12 and 210.8 CEC 2016: *Arc fault (AFCI) required in family rms, dining rms, parlors, libraries, dens, bedrooms, sun rooms, rec rms, closets, and hallways and lighting. Ground fault (GFCI) is required in bath rms, garages, accessory areas, exterior, crawlspaces, basements, dishwashers, and disposals. Combination AFCI/GFCI is required in kitchens, and laundry areas.*
- m. Add Notation: *All new lighting shall be high-efficacy compliant to table 150.0A CEC. Screw-based permanently installed light fixtures must contain screw-based JA8 (Joint Appendix 8) compliant lamps. JA8 compliant light sources in ceiling recessed downlights and LED's are to be controlled by vacancy sensors or dimmers. Exhaust fans shall be switched separately from lighting. Exterior lighting shall be controlled by photocell and motion per energy 110.9 At least one fixture in each Bathroom is to be controlled by a vacancy sensor. Under cabinet lighting shall be controlled by separate switching.*
- a. *Kitchen counters shall be served by two 20amp circuits, outlets shall be placed a maximum of 48" apart; so that at no point along the counter will be more than 24" away from an outlet. Islands and peninsula countertops to have at least one outlet.*
- b. *Main electrical panel replacements or upsize shall have a minimum busbar rating of 225amps.*
- c. *The elect system shall be ESS ready by providing a separate 60a panel with 4 circuits*
- d. *A Jr. ADU is to have an efficiency kitchen and not allowed to have 220V appliances.*
- e. *Wall outlets and switches shall be placed min 15" max 48" from finished floor*
- f.

## **Plumbing**

- g. Add Notation: *Clothing and dish washing machines shall be fitted with water hammer arrestors.*
- h. *Show the Water Heater and state the energy used for that water heater, show or note any tank strapping required.*
- i. Place this maximum water use per fixture notation on the MEP drawings (from CA civil code sections 1101.1-1101.8)
- | <u>Fixture</u>         | <u>Maximum water use</u> |
|------------------------|--------------------------|
| <i>Water Closet</i>    | <i>1.28 gal/flush</i>    |
| <i>Shower Head</i>     | <i>1.8 gal/minute</i>    |
| <i>Lavatory Faucet</i> | <i>1.2 gal/minute</i>    |
| <i>Kitchen Faucet</i>  | <i>1.8 gal/minute</i>    |

- n. The fire sprinkler and the domestic water system is limited to one shut-off valve past the meter, show that valve and the water line as it enters the building, make a note to provide freeze protection.
- o. Hot water pipes will need pipe insulation
- p. There are to be no two way cleanouts, use double combo fittings or Texas two way
- q. Bathrooms shall receive 2x continuous blocking for future installation of grab bars.
- r. There are to be no sewage ejector pumps used for home or ADU sewage disposal
- s. Show the building drain to the sewer with a clean out and add a note: *Provide an end-of-line clean-out that is accessible from the outside of the home.*
- t. If WVSD is requiring a property line clean-out or a back-flow device, make a large, bold note and/or show the placement of the device/s.

14. Obtain an approval letter from West Valley Sanitation District (408) 378-2407. This letter is often used as the sewer permit. If W.V.S.D. requires “check valve protection or a property line cleanout” on this project, mark the location on the site plan and the plumbing plan and place a boxed note: *West Valley Sanitation District (W.V.S.D) has required a check valve or a property line cleanout or both (only list exactly what they are requesting). The sewer line modification will require inspection from WVSD and the City of Campbell.*

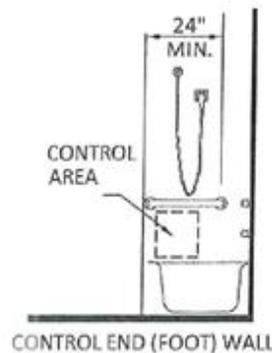
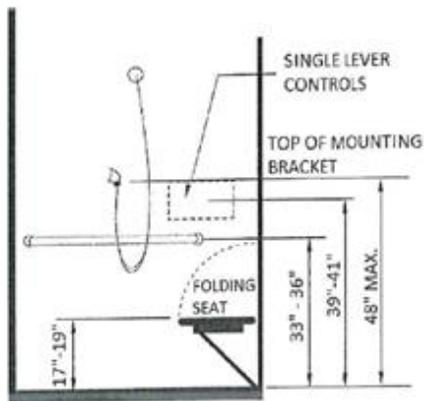
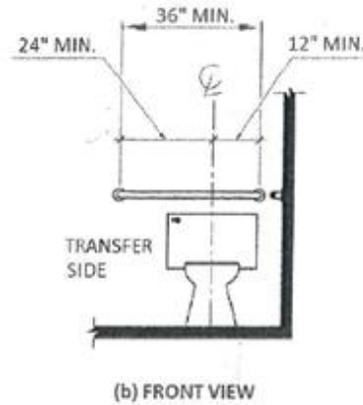
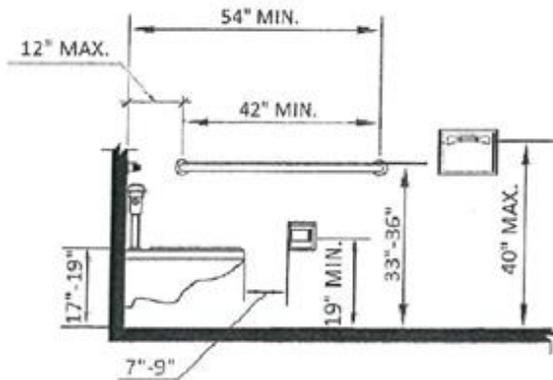
15. Quite often, the fire department will request a *Fire Flow Letter* from the water purveyor to verify the capacity and pressure of the water supplied from a local fire hydrant. A typical required fire flow will be a minimum of 1,000 gallons per minute at a pressure of 20 psi. To obtain this letter, contact San Jose Water Company by calling (408) 918-7361 or email [marty.henderson@sjwater.com](mailto:marty.henderson@sjwater.com) to supply the parcel information.



Bob Lennen  
Building Official Direct (408) 866-2133 bobl@campbellca.gov

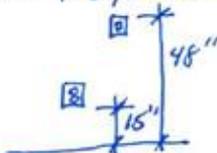
PER RESIDENTIAL BUILDING CODE R327.1.1

- \* PROVIDE CONTINUOUS 2X BLOCKING FOR FUTURE GRAB BAR ATTACHMENT
- DOCUMENT THE LOCATION IN THE HOMES O & P MANUAL

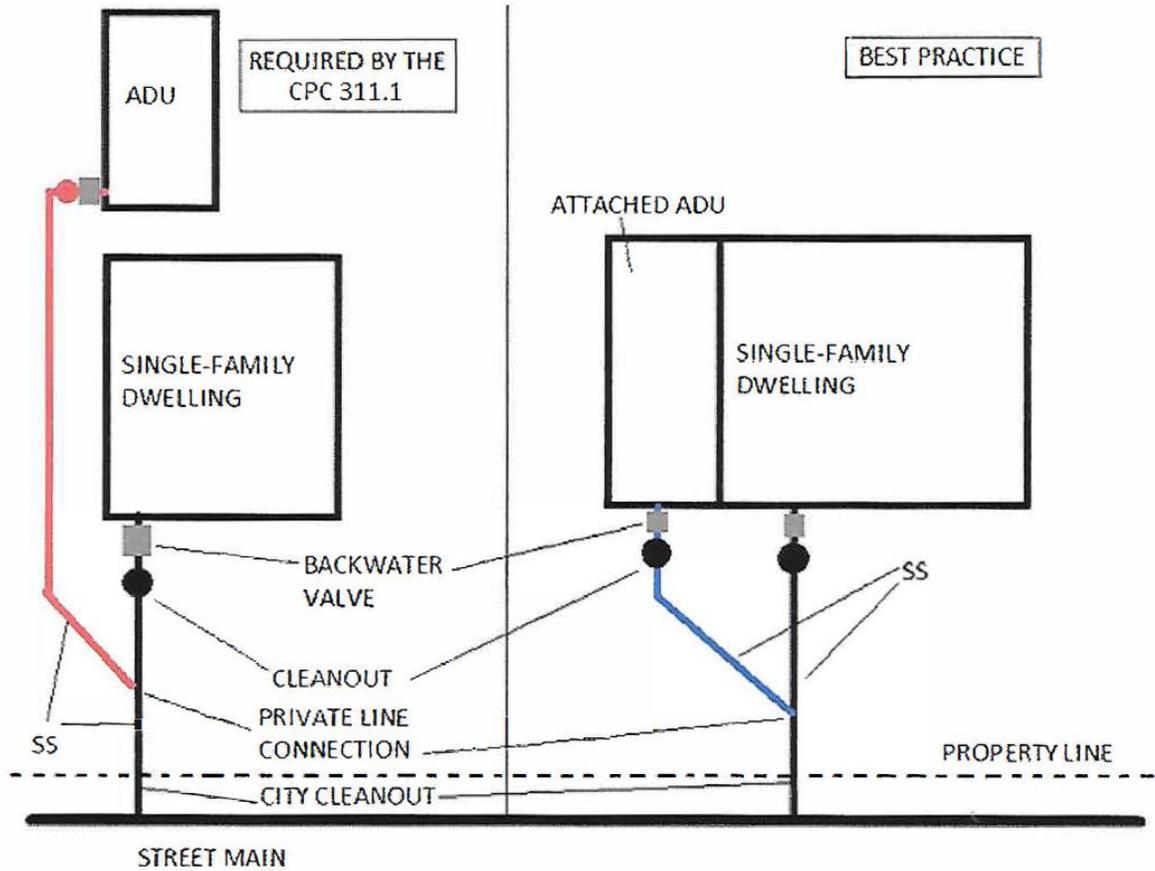


- \* AT LEAST ONE BATHROOM & BEDROOM ON THE ENTRY LEVEL SHALL HAVE A MIN 32" DOOR.

- \* ALL REGULAR WALL OUTLETS



For detached accessory dwelling unit/attached accessory dwelling unit and accessory structure configuration see Figure # 2 below. The drainage system of each new building and of new work installed in an existing building shall be separate and independent from that of any other building. (CPC 311.1)



-ADU/Accessory Structure When a Backwater Valve is Required

The scope of work being performed for your project requires you to follow the below steps.

Following the below steps will ensure 1) access to your lower building sewer lateral meets standards for District maintenance access, 2) your property is protected from backups in the District sanitary sewer system, 3) proper connection and disconnection to the District sanitary sewer system is being made, and 4) appropriate fees and charges are levied.

## Steps

1

### **Describe Your Work**

Describe your proposed work and submit any and all plan sets showing your proposed work using our **residential related work** form at <https://bit.ly/WVSDResPermitApp>, our **non-residential related work** form at <https://bit.ly/WVSDNon-ResPermitApp>, and if **food service related work** our food service review form at <https://bit.ly/WVSDFoodServiceReview>.



Residential application



Non-residential application



Food service review

2

### **District Reviews Your Scope of Work**

The District will review your scope of work and determine if a District permit is required.

**If no District permit is required**, then a “*No District Permit Required*” letter will be emailed to you typically the **next business day** (after receiving all required scope of work information) for you to deliver to your agency building permit staff.

3

### **District Determines Your Requirements**

**If the District determines a District permit is required**, your work will be analyzed and a field investigation may need to be performed to outline your District requirements. Typically, **three business days** (after receiving all required scope of work information) are needed to issue a District permit. For ADU’s and non-residential use up to **ten to fifteen business days** may be required for issuance of a District permit.

4

### **Pay Fees & Issue Permit**

When you are informed your permit is ready, schedule a counter appointment at <https://bit.ly/WVSDCounterAppointment>. Pay by check (*payable to WVSD*) or cash (*max accepted \$2,000*) and **give your issued District permit copy to your agency building permit staff**. Sample fees are on page 2.



Schedule a permit counter appointment

5

### **Ensure Your District Requirements are Met**

Install all required infrastructure per your District issued permit handouts.



**Sample Fees**

<i>Administration Fee Type</i>	<i>Fee</i>
Permit Processing (requiring no TV inspection)	\$250
Permit Processing (requiring TV inspection)	\$425
Sewer Lateral Disconnection	\$135

<i>Building Use Type</i>	<i>Approximate One-time Fee</i>	<i>Approximate Monthly Sewer Service Charge<sup>1</sup></i>
<b>New or Discovered Residential<sup>2</sup></b>		
Single-Family Residence	\$12,700	\$60
Accessory Dwelling Unit <sup>3</sup>	\$8,100	\$40
<b>New or Discovered Non-Residential<sup>2</sup></b>		
Full Service Restaurant (2,300 sq. ft.)	\$77,000	-
Fast Food Restaurant (1,000 sq. ft.)	\$29,000	-
Coffee Shop (1,500 sq. ft.)	\$14,000	-
Market - Grocery (15,000 sq. ft.)	\$91,000	-
Small Retail Store (1,300 sq. ft.)	\$2,800	-
Office - General (1,800 sq. ft.)	\$7,000	-
Medical Office - Doctors (12,500 sq. ft.)	\$89,000	-

<sup>1</sup> Charges are billed via property tax bill, and non-residential charges are based on prior calendar year potable water usage.

<sup>2</sup> Change in use receives credit for fees paid on previous use.

<sup>3</sup> One-time ADU fee based on the number of plumbing code drainage fixture units, not to exceed the maximum amount shown.